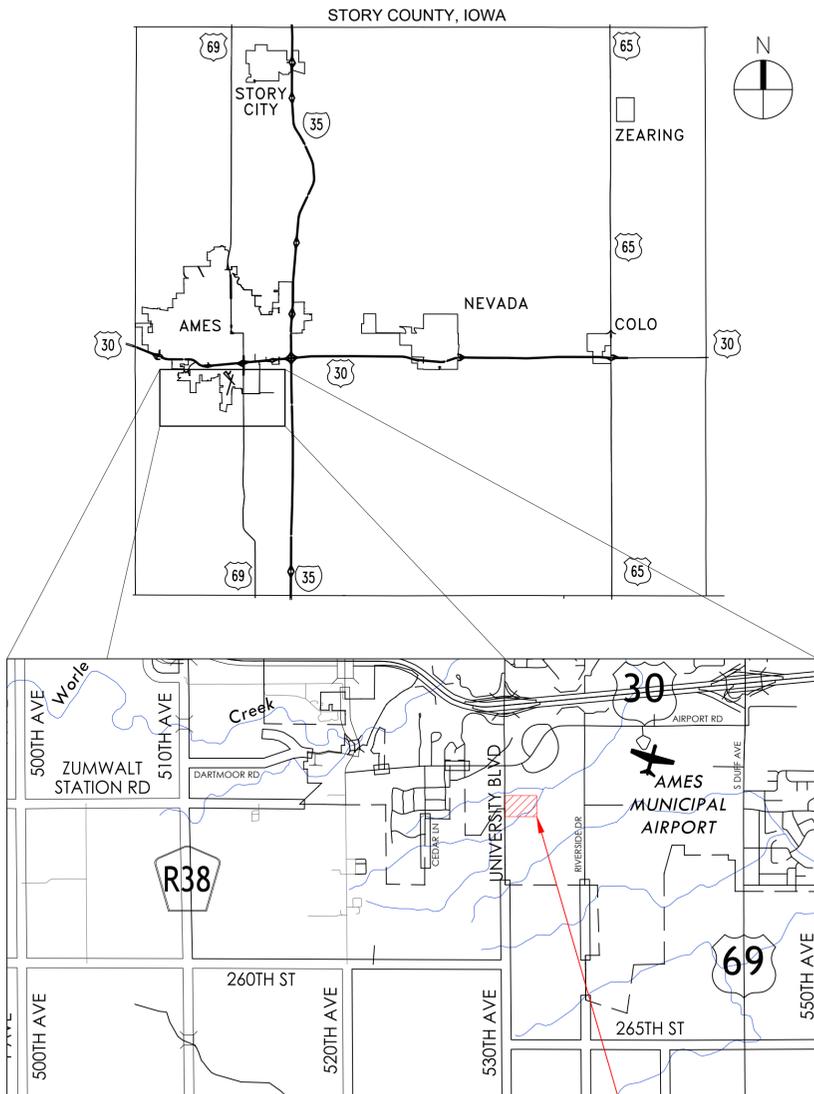


# TEDESCO ENVIRONMENTAL LEARNING CORRIDOR BID PACKAGE #4 - SHELTER AND PARKING LOT

## STORY COUNTY CONSERVATION, AMES, IOWA

### LOCATION MAP



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#### OWNER:

STORY COUNTY CONSERVATION  
 ATTN: MICHAEL COX  
 56461 180TH ST  
 AMES, IA 50010  
 MCOX@STORYCOUNTYIOWA.GOV  
 (515) 232-2516

#### ZONING:

RI - RESEARCH PARK INNOVATION DISTRICT

#### SITE ADDRESS:

1914 DISCOVERY PL  
 AMES, IOWA 50010

#### PAVEMENT THICKNESS:

SIDEWALKS: 5 INCH PCC  
 PAVING: 6 INCH PCC

#### PARKING SUMMARY

USE: COMMUNITY BUILDING  
 REQUIREMENT: 1 STALL PER 200 SF  
 CALCULATED: 1,190 SF / 200 = 6 STALLS  
 TOTAL PROVIDED PARKING = 16 STALLS  
 ADA SPACES REQUIRED (1-25 SPACES) = 1  
 ADA STALLS PROVIDED: 2

#### ENGINEER / APPLICANT:

ATTN: ANTHONY HARBAUGH  
 SHIVE-HATTERY, INC.  
 4125 WESTOWN PARKWAY, SUITE 100  
 WEST DES MOINES, IA 50266  
 AHARBAUGH@SHIVE-HATTERY.COM  
 (515) 223-8104

#### SETBACKS:

STREET LOT LINE UNIVERSITY AVE - 30 FEET, MINIMUM  
 STREET LOT LINE - 10 FEET, MINIMUM  
 SIDE LOT LINE - 10 FEET, MINIMUM  
 REAR LOT LINE - 10 FEET, MINIMUM  
 LOT LINE ABUTTING A RESIDENTIAL ZONED LOT - 50 FEET, MINIMUM  
 MAXIMUM HEIGHT - 100 FEET  
 MAXIMUM NUMBER OF STORIES - NO LIMITATION

NOTE THAT THE SITE IS INTERNAL TO THE LARGER STORY COUNTY CONSERVATION PROPERTY, SO ONLY THE NORTHERN STREET LOT LINE SETBACK APPLIES.

#### LEGAL DESCRIPTION

IOWA STATE UNIVERSITY RESEARCH PARK PHASE III, 2ND ADDITION, OUTLOT B.

#### ELECTRICAL ENGINEER

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

EDIN SMAILOVIC  
 21953

SIGNATURE: *Edin Smailovic* DATE: XX/XX/XXXX  
 PRINTED OR TYPED NAME: EDIN SMAILOVIC  
 LICENSE NUMBER: 21953  
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2026  
 PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: C300, C301

#### STRUCTURAL ENGINEER

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

EVAN TIMM  
 P26626

SIGNATURE: *Evan Timm* DATE: XX/XX/XXXX  
 PRINTED OR TYPED NAME: EVAN TIMM  
 LICENSE NUMBER: 26626  
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2026  
 PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: ALL 'S' SHEETS

#### CIVIL ENGINEER

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

ANTHONY J. HARBAUGH  
 P26394

SIGNATURE: *Anthony J. Harbaugh* DATE: XX/XX/XXXX  
 PRINTED OR TYPED NAME: ANTHONY HARBAUGH  
 LICENSE NUMBER: 26394  
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2027  
 PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: G000, ALL 'C' SHEETS

#### LANDSCAPE ARCHITECT

I HEREBY CERTIFY THAT THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

HOLLY C. REID  
 00653

SIGNATURE: *Holly C. Reid* DATE: XX/XX/XXXX  
 PRINTED OR TYPED NAME OR SECURE ELECTRONIC SIGNATURE: HOLLY C. REID  
 PAGES OR SHEETS COVERED BY THIS SEAL: ALL 'L' SHEETS

License Expires: 06/30/2027



GENERAL NOTES:

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP (PUBLIC OR PRIVATE) SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE IOWA STATEWIDE URBAN AND DESIGN AND SPECIFICATIONS (SUDAS), UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCY CODES, STANDARDS AND SPECIFICATIONS.
- ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION TO BE ALLOWED FOR THE COMPLETION OF THIS WORK.
- WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSE, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY THE ENGINEER, AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE INSTRUCTIONS OF THE ENGINEER, WORK DONE BEYOND THE LINES SHOWN ON THE PLANS OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.
- STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES FROM THE APPLICABLE GOVERNING AUTHORITIES.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES, ELEVATIONS, SETBACKS, AND EASEMENTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER, UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- PROTECT ALL EXISTING FEATURES (INCLUDING BUT NOT LIMITED TO WALLS, TREES, LANDSCAPING, DRIVEWAYS, SIDEWALKS, CURBS, PAVEMENT, UTILITIES, ETC.) NOT SPECIFICALLY NOTED FOR REMOVAL. FEATURES NOT DESIGNATED FOR REMOVAL THAT ARE DAMAGED OR REMOVED RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC., TO MATCH THE NEW SURFACE. ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO THE CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER, REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
- IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL BY CALLING 811 OR 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
- CONTRACTOR SHALL SCHEDULE A UTILITY LOCATING SERVICE AND/OR NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION AND HORIZONTAL AND VERTICAL ELEVATION OF UNDERGROUND UTILITIES AND PROPOSED POINTS OF CONNECTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. IF CONFLICTS ARE FOUND, NOTIFY THE ENGINEER. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING PUBLIC AND PRIVATE UTILITIES WHETHER INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES MARKED PRIOR TO CONSTRUCTION.
- NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS PRIOR TO EACH STAGE OF CONSTRUCTION. NOTIFY THE APPROPRIATE PUBLIC AND PRIVATE UTILITY OWNER A MINIMUM OF 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ON ANY FACILITIES OWNED OR OPERATED BY THAT UTILITY.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES/OWNERS REGARDING OUTAGES, RELOCATION, ADJUSTMENT, CONNECTIONS, OR TEMPORARY SUPPORT OF THEIR FACILITIES. COORDINATE ALL UTILITY OUTAGES WITH PROVIDER OF UTILITY A MINIMUM OF 12 BUSINESS DAYS IN ADVANCE.
- THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. AT NO TIME WILL EITHER THE OWNER OR THE ENGINEER TAKE RESPONSIBILITY FOR EITHER THE MEANS OF THE WORK OR THE SAFETY OF THE CONTRACTOR'S EMPLOYEES.
- ALL OPEN EXCAVATIONS SHALL BE PROTECTED IN ACCORDANCE WITH REGULATORY REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION. ANY DAMAGE CAUSED BY A FAILURE TO MAINTAIN POSITIVE DRAINAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL EMERGENCY ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- SITE CLEAN-UP TO BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. WITHIN AND ADJACENT TO PROJECT LIMITS SHALL BE KEPT CLEAN AT ALL TIMES. ALL COSTS FOR CLEANING SHALL BE INCIDENTAL TO THE CONTRACT.
- ALL INSPECTIONS REQUIRED FOR PUBLIC OR PRIVATE IMPROVEMENTS SHALL BE FACILITATED BY THE CONTRACTOR.
- CONTACT THE OWNER FOR PROCEDURES FOR HANDLING CONTAMINATED SOILS IF LOCATED ON SITE.
- PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE REVIEWED AND APPROVED BY THE OWNER OR THEIR REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE THEIR WORK FOR A PERIOD OF 12 (TWELVE) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
- ALL TRAFFIC AND PEDESTRIAN CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE TRAFFIC AND PEDESTRIAN CONTROL MEASURES (SIGNS, BARRICADES, FLAGGERS, ETC.) IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
- WHEN PERFORMING WORK WITHIN THE PUBLIC RIGHT OF WAY, CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLAN TO CITY ENGINEER AT LEAST SEVEN (7) DAYS PRIOR TO STARTING WORK. IF THE AUTHORITY HAVING JURISDICTION REQUIRES ADDITIONAL TRAFFIC CONTROLS, IT SHALL BE INCIDENTAL TO THE PROJECT.
- ALL PROPERTY MARKERS AND SURVEY REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITNESSED OR OTHERWISE TIED IN BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.

GENERAL NOTES (CONTINUED):

- REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
  - ALL CONSTRUCTION STAKING, LAYOUT, SCHEDULING, AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS AND WHEN REQUIRED BY THE GOVERNING AUTHORITY(S), CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM (WHERE APPLICABLE TO THE SCOPE OF WORK) THE FOLLOWING ITEMS:
    - TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES.
    - HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDINGS OR OTHER PERMANENT SITE FEATURES.
    - RIM AND INVERT AND/OR TOP OF PIPE ELEVATIONS FOR ALL PROPOSED UTILITIES.
    - RECORD DRAWING INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION. ANY AND ALL DEVIATIONS FROM THESE APPROVED PLANS SHALL BE SHOWN BY MEANS OF STRIKING THROUGH THE PROPOSED INFORMATION AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET.
- SITE PREPARATION AND DEMOLITION NOTES:**
- ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER, AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, WHEEL STOPS, AND MISCELLANEOUS DEBRIS) NOTED TO BE REMOVED AND/OR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT SHALL BE DEMOLISHED, REMOVED FROM THE SITE, AND LEGALLY DISPOSED OF BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE WASTE AREAS OR LEGAL DISPOSAL SITES FOR DEMOLISHED ITEMS. NO PAYMENT FOR OVERHAUL WILL BE ALLOWED FOR MATERIAL HAULED TO THESE SITES. NO MATERIAL SHALL BE PLACED WITHIN THE EASEMENTS, UNLESS SPECIFICALLY STATED IN THE PLANS OR APPROVED BY THE ENGINEER. DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER OR OWNER. CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND TEMPORARY HAUL ROADS TO PREVENT THE SPREAD OF DUST. OFF-SITE DISPOSAL SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNMENTAL REGULATIONS.
  - WHERE A SECTION OF PAVEMENT, CURB AND GUTTER, OR SIDEWALK IS CUT OR OTHERWISE DAMAGED BY THE CONTRACTOR, THE ENTIRE SECTION SHALL BE REMOVED AND REPLACED. PAVEMENT, CURBS, GUTTERS, AND SIDEWALKS SHALL BE REMOVED A MINIMUM OF TWO FEET BEYOND THE EDGE OF THE TRENCH CUT AND TO THE NEAREST JOINT.
  - DOUBLE SAWCUT EDGES OF PAVEMENT FULL DEPTH PRIOR TO REMOVAL TO PREVENT DAMAGE TO ADJACENT SLABS AND FIXTURES.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL TREES AND SHRUBS IN PROJECT AREA FROM DAMAGE DUE TO CONSTRUCTION ACTIVITY UNLESS SHOWN ON THE PLANS OR DIRECTED BY THE OWNER'S REPRESENTATIVE.
  - REMOVAL AND DISPOSAL OF EXISTING TREES AND SHRUBS WITHIN CONSTRUCTION LIMITS SHALL BE INCIDENTAL TO THE PROJECT. STUMPS ARE TO BE GROUND TO TWO FEET BELOW FINISHED GRADE. TREES THAT QUALIFY FOR ENDANGERED BAT HABITAT ARE TO BE FELLED BETWEEN OCTOBER 1ST AND MARCH 31ST.
  - ALL FENCES WHICH ARE IMPACTED BY THIS PROJECT ARE TO BE REMOVED AND REPLACED TO AN EQUAL OR BETTER CONDITION. SALVAGED MATERIALS MAY BE USED UPON APPROVAL OF THE OWNER'S REPRESENTATIVE. FENCES SHALL NOT BE REMOVED UNTIL PROPERTY OWNER HAS BEEN NOTIFIED. TEMPORARY FENCING MAY BE REQUIRED OVERNIGHT DURING CONSTRUCTION AND SHOULD BE INCIDENTAL TO THE PROJECT.
  - CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH THE OWNER'S REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF EXISTING SITE FEATURES NOT NOTED FOR REMOVAL.
  - THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY PROVIDED TO THE ENGINEER FOR DESIGN. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY REQUIRE REMOVAL FOR THE PROPOSED SITE IMPROVEMENTS BUT THAT ARE NOT SHOWN HEREIN. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS.
  - VOIDS LEFT BY ANY ITEM REMOVED (FENCE POST, UTILITIES, SIGN, ETC.) SHALL BE BACKFILLED IN ACCORDANCE WITH SUDAS SPECIFICATION AND THE PROJECT SPECIFICATIONS AND GEOTECHNICAL ENGINEERING REPORT.
  - AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED, FINAL GRADE OF BACKFILL IN DEMOLITION AREAS SHALL BE COMPACTED PER SUDAS SPECIFICATIONS AND THE GEOTECHNICAL ENGINEERING REPORT TO PRESENT A NEAT, WELL DRAINED APPEARANCE, AND TO PREVENT WATER FROM DRAINING UNNECESSARILY ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL PROVIDE TEMPORARY DIVERSION SWALES OR OTHER MEANS OF MAINTAINING ADEQUATE SITE DRAINAGE.
  - ALL EXISTING SANITARY SEWERS, STORM SEWERS, WATER MAINS OR IRRIGATION LINES AND APPURTENANCES NOTED FOR REMOVAL WITHIN THE AREA OF THE PROPOSED CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. ALL ABANDONED SEWER LINES SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO (2) FEET LONG NON-SHRINK CONCRETE MORTAR PLUGS UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF A FIELD OR DRAIN TILE IS ENCOUNTERED AND SHALL INDICATE THE METHOD OF RESOLVING THE CONFLICT. THE ENGINEER SHALL APPROVE THE PROPOSED METHOD. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE OWNER AND/OR ENGINEER UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS. EXISTING FIELD TILE LINES ENCOUNTERED IN THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR IN ONE OF THE FOLLOWING WAYS:
    - CONNECT TILE TO THE NEAREST STORM SEWER.
    - DAYLIGHT TO FINISHED GROUND.
    - REPAIR TILE AND MAINTAIN SERVICE.
- EROSION CONTROL NOTES:**
- USE ALL AVAILABLE MEANS TO MINIMIZE THE AMOUNT OF SOIL EROSION CAUSED BY THE WORK OF THE PROJECT. THIS INCLUDES RESPONSIBILITY FOR MAINTENANCE OF ALL SOIL EROSION CONTROL DEVICES INDICATED.
  - BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
  - CONTROL DUST FROM ALL WORK AND STAGING AREAS.
  - ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED. SEE PLANS FOR MINIMUM EROSION AND SEDIMENT CONTROL MEASURES.
  - STABILIZE ALL DISTURBED AREAS IMMEDIATELY IF THEY REMAIN INACTIVE FOR 14 DAYS OR MORE WITH A TEMPORARY SEED MIX PER SUDAS SPECIFICATION 9010. TEMPORARY SEEDING SHALL BE INCIDENTAL TO THE PROJECT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, PERIODIC CHECKING AND REINSTALLATION/MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES. EROSION CONTROL DEVICES SHALL BE CHECKED ONCE PER WEEK AND AFTER EACH RAINFALL TO ENSURE WORKING ORDER.

LEGEND		
UTILITY LINES		
EXISTING LINE TYPE	DESCRIPTION	PROPOSED LINE TYPE
	ELECTRIC - OVERHEAD	
	ELECTRIC - UNDERGROUND	
	GAS MAIN	
	WATER MAIN	
	SANITARY SEWER	
	SANITARY FORCE MAIN	
	STORM SEWER	
	TELEPHONE - OVERHEAD	
	TELEPHONE - UNDERGROUND	
	CABLE LINE - OVERHEAD	
	CABLE LINE - UNDERGROUND	
	FIBER OPTICS	
	PROCESS/HEATING STEAM	

LEGEND	
UTILITIES - PROPOSED	
PLAN MARK	DESCRIPTION
	WATER SHUTOFF VALVE
	FIRE HYDRANT
	FLARED END SECTION
	UTILITY END CAP
	VALVE
	CLEANOUT
	MANHOLE
	STORM MANHOLE
	SANITARY MANHOLE
	TRANSFORMER
	CURB INLET

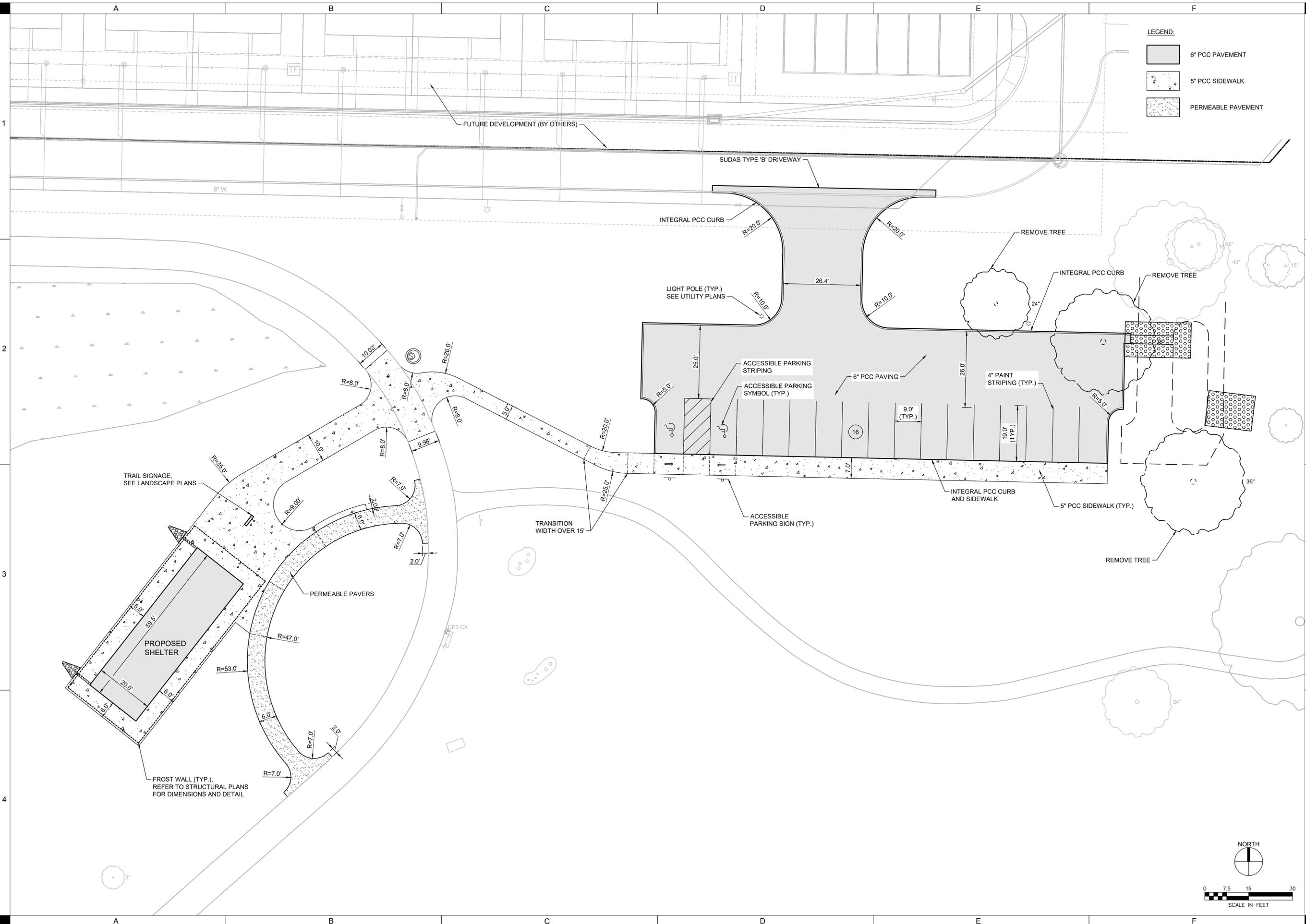
LEGEND	
GENERAL SITE - PROPOSED	
PLAN MARK	DESCRIPTION
	STRUCTURE
	HANDICAPPED PARKING
	DECIDUOUS TREE
	CONIFEROUS TREE
	SINGLE POLE SIGN
	TREE LINE
	MINOR CONTOUR - PROPOSED
	MAJOR CONTOUR - PROPOSED
	MINOR CONTOUR - EXISTING
	MAJOR CONTOUR - EXISTING
	CONTROL POINT
	SPOT ELEVATION
	TOP OF CURB AND GUTTER ELEVATION
	TOP OF CURB EQUALS GUTTER ELEVATION
	MATCH EXISTING ELEVATION
	SLOPE ARROW
	FLOW ARROW
	LIMITS

DRAWN BY	KCH
APPROVED BY	AJH
ISSUED FOR	BIDDING
ISSUE DATE	2/10/2026
PROJECT NUMBER	2280011990
CLIENT PROJECT NUMBER	1

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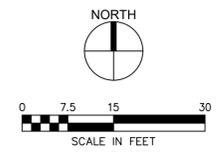


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**LEGEND:**

	6" PCC PAVEMENT
	5" PCC SIDEWALK
	PERMEABLE PAVEMENT



**TELC BP#4 SHELTER AND  
 PARKING LOT**

STORY COUNTY CONSERVATION  
 1815 PLAZA LP, AMES, IA 50010

DRAWN BY	KCH
APPROVED BY	AJH
ISSUED FOR	BIDDING
ISSUE DATE	2/10/2026
PROJECT NUMBER	2280011999
CLIENT PROJECT NUMBER	---

**SITE PLAN**

**C101**

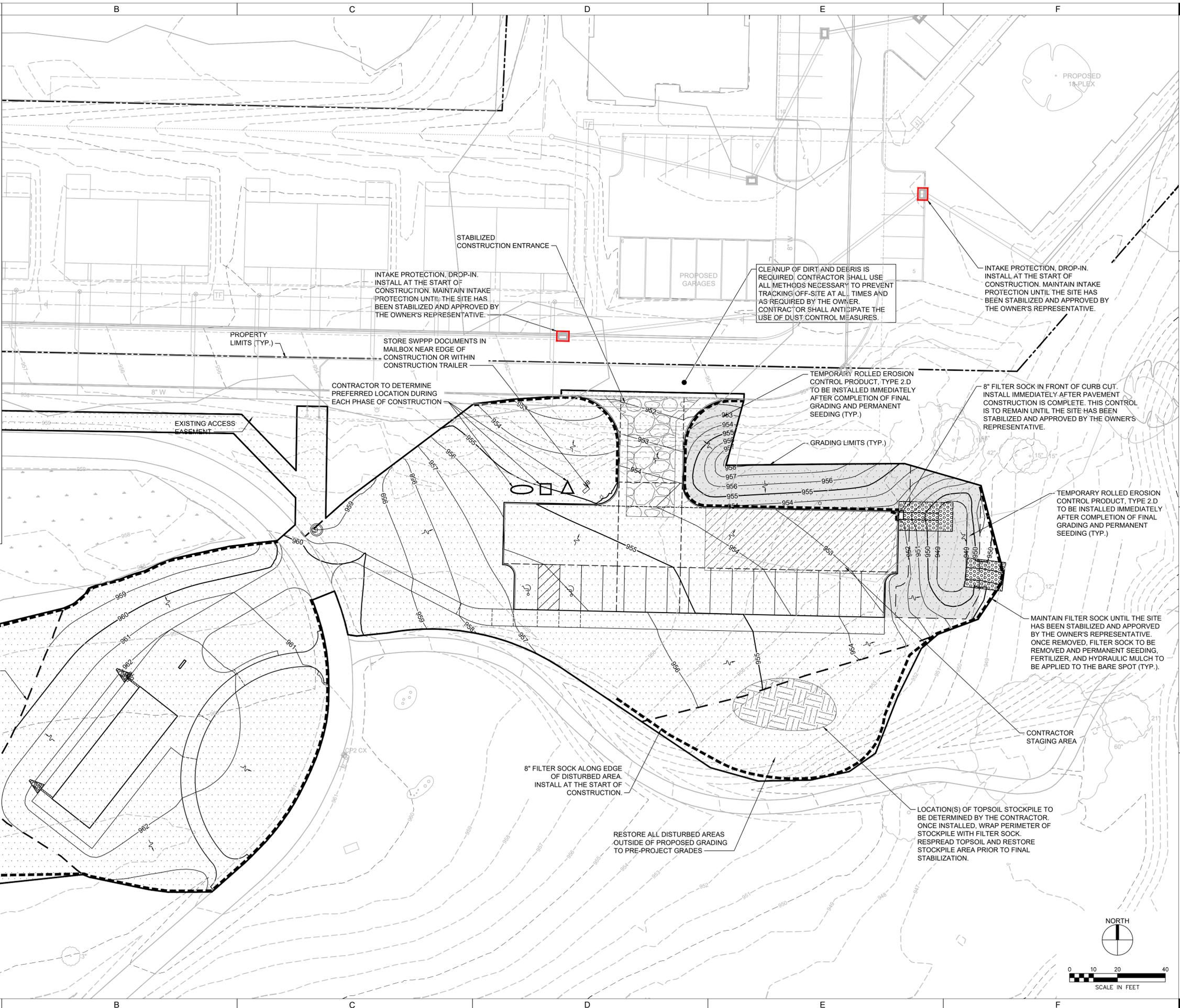


**GENERAL NOTES:**

- CONTRACTOR TO PROVIDE BMP PLAN FOR SITE IN ACCORDANCE WITH NPDES PERMIT.

**LEGEND:**

-  PROJECT SITE/DISTURBED AREA
-  8" FILTER SOCK (SUDAS 9040.02.05) SHALL HAVE "J" HOOKS AT MAXIMUM 25' INCREMENTS
-  INLET PROTECTION (SUDAS 9040.02.19)
-  TEMPORARY TOPSOIL STOCKPILE
-  CONTRACTOR STAGING AREA FOR PORTABLE RESTROOM FACILITIES, TEMPORARY FUEL TANKS, WASTE CONTAINERS AND OTHER HAZARDOUS CHEMICALS. RELOCATE AS REQUIRED FOR CONSTRUCTION.
-  STABILIZED CONSTRUCTION ENTRANCE (SUDAS FIGURE 9040.120)
-  TEMPORARY ROLLED EROSION CONTROL PRODUCT, TYPE 2.D WITH BIODEGRADABLE STAKES (NOTE: POLYPROPYLENE NETTING IS NOT ALLOWED). SEE SUDAS 9040.02.06.
-  CONCRETE, PAINT, AND GROUT WASHOUT AREA PER SUDAS SECT 11.050. CONTRACTOR TO HAUL OFF WASTE MATERIAL. SUGGESTED LOCATION. RELOCATE AS REQUIRED FOR CONSTRUCTION.
-  SPILL KIT TO BE INSTALLED AND RELOCATED AS REQUIRED FOR CONSTRUCTION
-  PORTABLE RESTROOM FACILITY LOCATION
-  SWPPP DOCUMENT LOCATION
-  11.5% EXISTING GRADE
-  DIRECTION OF DRAINAGE

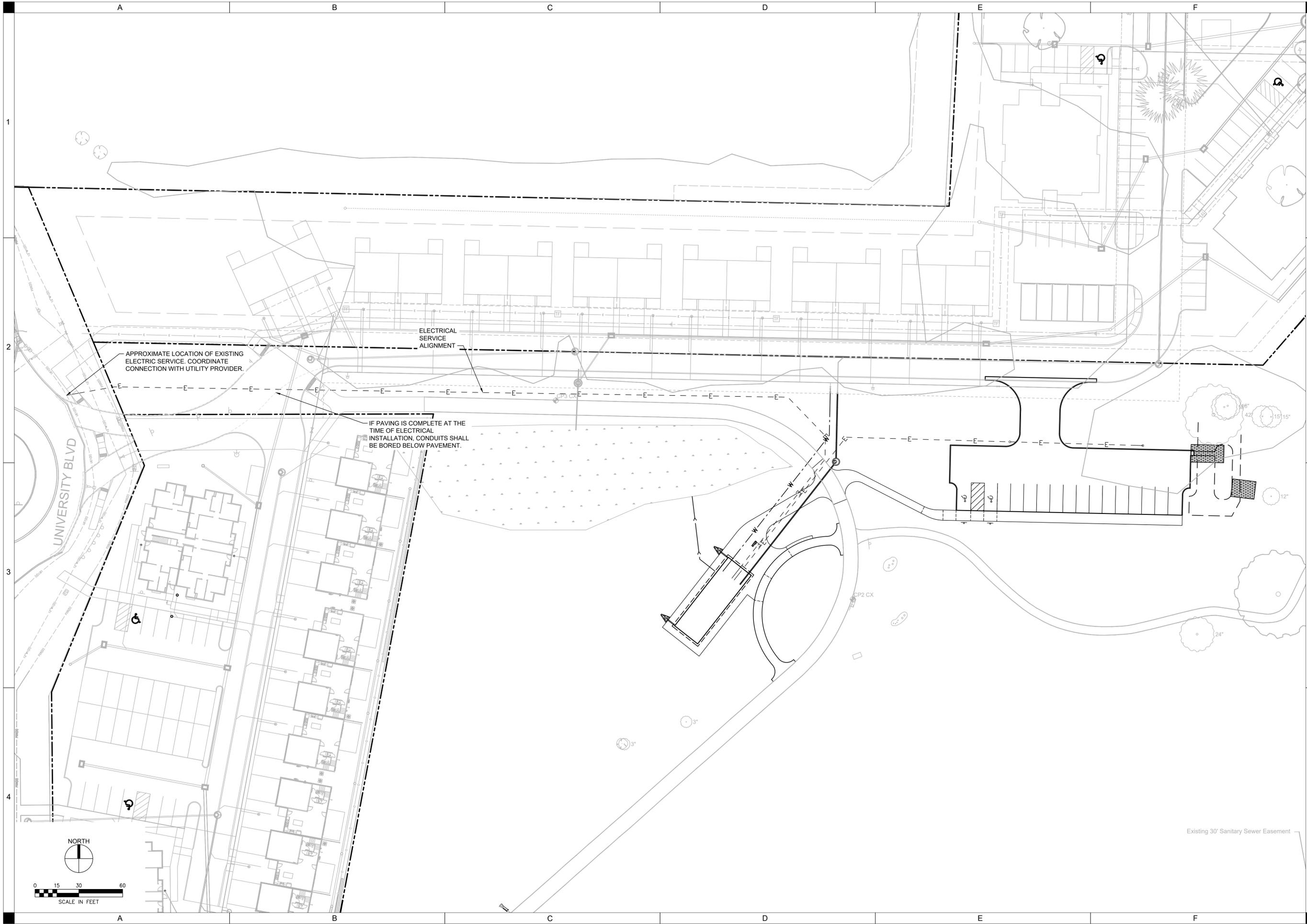


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APPROVED BY	AJH
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ISSUE DATE	2/10/2026
PROJECT NUMBER	2250011990
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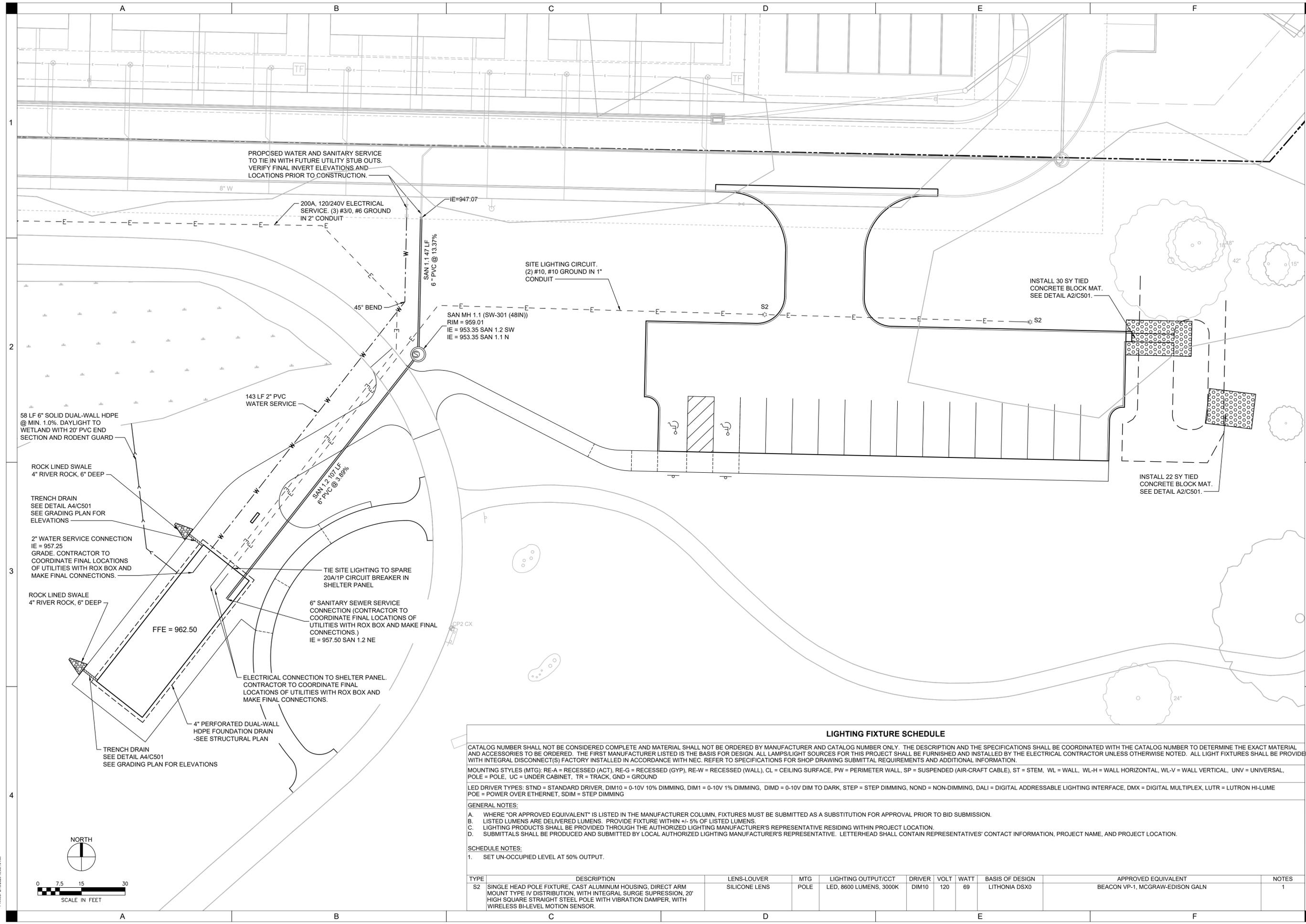
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ISSUE DATE	2/10/2026
PROJECT NUMBER	2250011990
CLIENT PROJECT NUMBER	-

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<b>SHIVEHATTERY</b> ARCHITECTURE + ENGINEERING	
4125 WESTTOWN PARKWAY, SUITE 100 WEST DES MOINES, IA 50266 515.223.8104   SHIVEHATTERY.COM	
 <b>STORY COUNTY CONSERVATION</b>	
<b>TELC BP#4 SHELTER AND PARKING LOT</b>	
STORY COUNTY CONSERVATION 1815 PLAZA LP, AMES, IA 50010	
DRAWN BY	KCH
APPROVED BY	AJH
ISSUED FOR	BIDDING
ISSUE DATE	2/10/2026
PROJECT NUMBER	2250011990
CLIENT PROJECT NUMBER	---
<b>OVERALL UTILITY PLAN</b>	
<b>C300</b>	

DRAWN BY	KCH
APPROVED BY	AJH
ISSUED FOR	BIDDING
ISSUE DATE	2/10/2026
PROJECT NUMBER	2250011990
CLIENT PROJECT NUMBER	-



TYPE	DESCRIPTION	LENS-LOUVER	MTG	LIGHTING OUTPUT/CCT	DRIVER	VOLT	WATT	BASIS OF DESIGN	APPROVED EQUIVALENT	NOTES
S2	SINGLE HEAD POLE FIXTURE, CAST ALUMINUM HOUSING, DIRECT ARM MOUNT TYPE IV DISTRIBUTION, WITH INTEGRAL SURGE SUPPRESSION, 20' HIGH SQUARE STRAIGHT STEEL POLE WITH VIBRATION DAMPER, WITH WIRELESS BI-LEVEL MOTION SENSOR.	SILICONE LENS	POLE	LED, 8600 LUMENS, 3000K	DIM10	120	69	LITHONIA DSX0	BEACON VP-1, MCGRAW-EDISON GALN	1

**LIGHTING FIXTURE SCHEDULE**

CATALOG NUMBER SHALL NOT BE CONSIDERED COMPLETE AND MATERIAL SHALL NOT BE ORDERED BY MANUFACTURER AND CATALOG NUMBER ONLY. THE DESCRIPTION AND THE SPECIFICATIONS SHALL BE COORDINATED WITH THE CATALOG NUMBER TO DETERMINE THE EXACT MATERIAL AND ACCESSORIES TO BE ORDERED. THE FIRST MANUFACTURER LISTED IS THE BASIS FOR DESIGN. ALL LAMPS/LIGHT SOURCES FOR THIS PROJECT SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR UNLESS OTHERWISE NOTED. ALL LIGHT FIXTURES SHALL BE PROVIDED WITH INTEGRAL DISCONNECT(S) FACTORY INSTALLED IN ACCORDANCE WITH NEC. REFER TO SPECIFICATIONS FOR SHOP DRAWING SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION.

MOUNTING STYLES (MTG): RE-A = RECESSED (ACT), RE-G = RECESSED (GYP), RE-W = RECESSED (WALL), CL = CEILING SURFACE, PW = PERIMETER WALL, SP = SUSPENDED (AIR-CRAFT CABLE), ST = STEM, WL = WALL, WL-H = WALL HORIZONTAL, WL-V = WALL VERTICAL, UNV = UNIVERSAL, POLE = POLE, UC = UNDER CABINET, TR = TRACK, GND = GROUND

LED DRIVER TYPES: STND = STANDARD DRIVER, DIM10 = 0-10V 10% DIMMING, DIM1 = 0-10V 1% DIMMING, DIMD = 0-10V DIM TO DARK, STEP = STEP DIMMING, NOND = NON-DIMMING, DALI = DIGITAL ADDRESSABLE LIGHTING INTERFACE, DMX = DIGITAL MULTIPLEX, LUTR = LUTRON HI-LUME POE = POWER OVER ETHERNET, SDIM = STEP DIMMING

GENERAL NOTES:

A. WHERE "OR APPROVED EQUIVALENT" IS LISTED IN THE MANUFACTURER COLUMN, FIXTURES MUST BE SUBMITTED AS A SUBSTITUTION FOR APPROVAL PRIOR TO BID SUBMISSION.

B. LISTED LUMENS ARE DELIVERED LUMENS. PROVIDE FIXTURE WITHIN +/- 5% OF LISTED LUMENS.

C. LIGHTING PRODUCTS SHALL BE PROVIDED THROUGH THE AUTHORIZED LIGHTING MANUFACTURER'S REPRESENTATIVE RESIDING WITHIN PROJECT LOCATION.

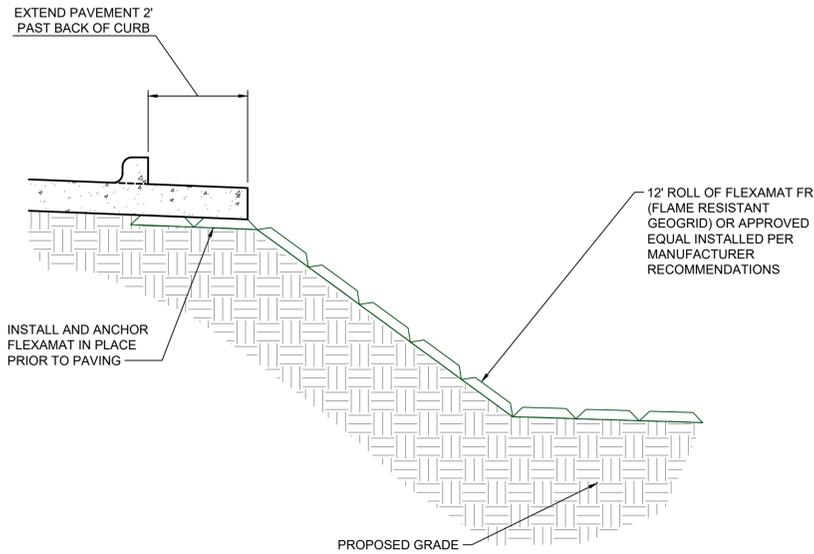
D. SUBMITTALS SHALL BE PRODUCED AND SUBMITTED BY LOCAL AUTHORIZED LIGHTING MANUFACTURER'S REPRESENTATIVE. LETTERHEAD SHALL CONTAIN REPRESENTATIVES' CONTACT INFORMATION, PROJECT NAME, AND PROJECT LOCATION.

SCHEDULE NOTES:

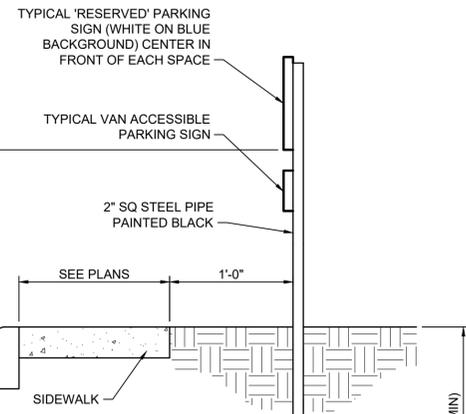
1. SET UN-OCCUPIED LEVEL AT 50% OUTPUT.

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- NOTES:**
- PERFORM SEED BED PREP AND SEED AREA ABOVE NORMAL WATER LEVEL (ELEV = 895.50') UNDERNEATH FLEXAMAT PRIOR TO FLEXAMAT INSTALLATION.



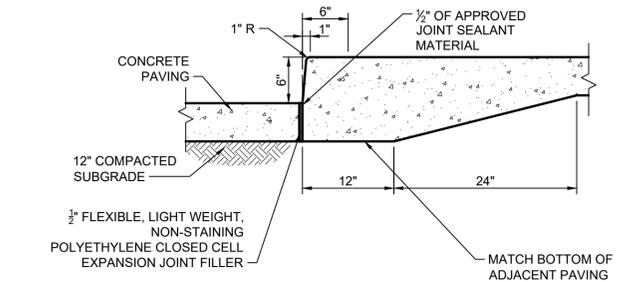
**A2** TIED CONCRETE BLOCK MAT  
NOT TO SCALE



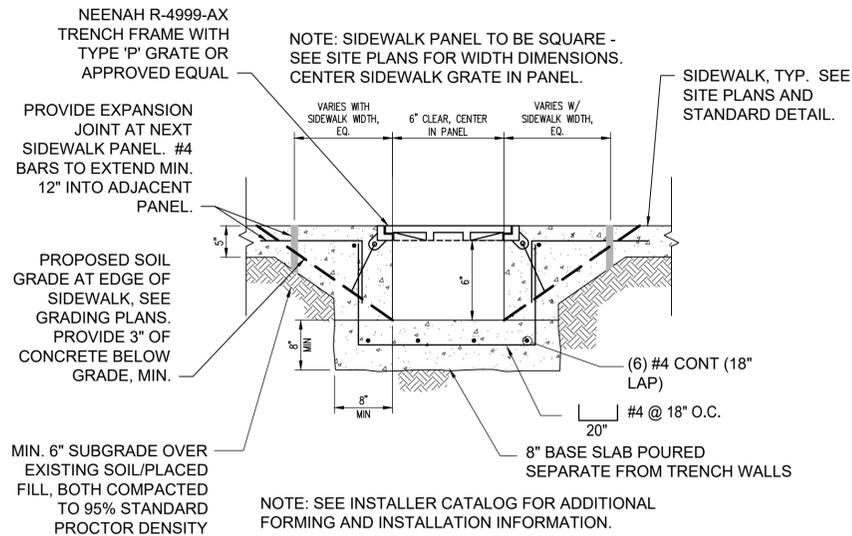
- NOTES:**
- CONTRACTOR TO VERIFY SIGN GRAPHICS AND INSTALLATION WITH STATE AND LOCAL CODES.
  - TRAFFIC SIGN AND INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON TRAFFIC CONTROL DEVICES

**F5** R7-8 AND R7-8 MOD 'RESERVED' PARKING SIGN  
NOT TO SCALE

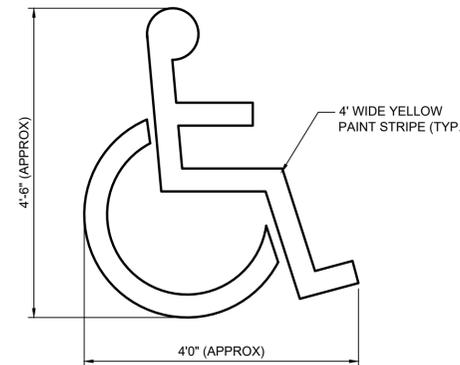
STANDARD SUDAS DETAILS		
THE FOLLOWING STANDARD DETAILS APPLY TO CONSTRUCTION WORK ON THIS PROJECT		
NUMBER	DATE	TITLE
3010.103	04-21-21	FLEXIBLE GRAVITY PIPE TRENCH BEDDING
3010.104	04-20-21	PRESSURE PIPE TRENCH BEDDING
6010.301	10-18-22	CIRCULAR SANITARY SEWER MANHOLE
7010.101	04-19-22	JOINTS
7030.102	01-01-23	CONCRETE DRIVEWAY, TYPE B
7030.204	10-20-15	GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK
7030.206	10-16-12	CURB RAMP OUTSIDE OF INTERSECTION RADIUS
7030.207	10-16-12	CURB RAMP FOR CLASS B OR C SIDEWALK



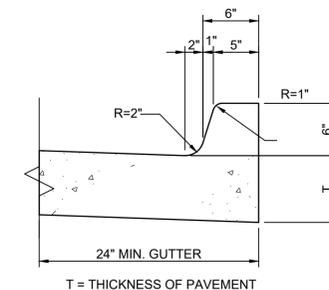
**H5** INTEGRAL PCC CURB AND SIDEWALK  
NOT TO SCALE



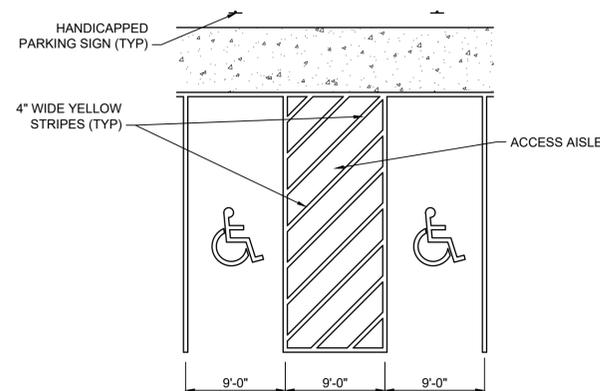
**A4** TRENCH DRAIN - TYPICAL SECTION  
NOT TO SCALE



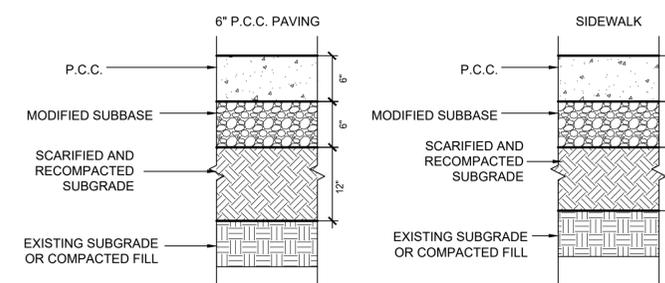
**F6** ACCESSIBLE PARKING SYMBOL  
NOT TO SCALE



**H6** PCC INTEGRAL CURB  
NOT TO SCALE



**F7** ACCESSIBLE PARKING STRIPING  
NOT TO SCALE



**H7** PCC PAVEMENT CROSS SECTIONS  
NOT TO SCALE

- NOTES:**
- SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING.
  - ALL SUBBASE AND SUBGRADE TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, MIN.

DRAWN BY	KCH
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PROJECT NUMBER	2280011890
CLIENT PROJECT NUMBER	



**TELC BP#4 SHELTER AND  
PARKING LOT**

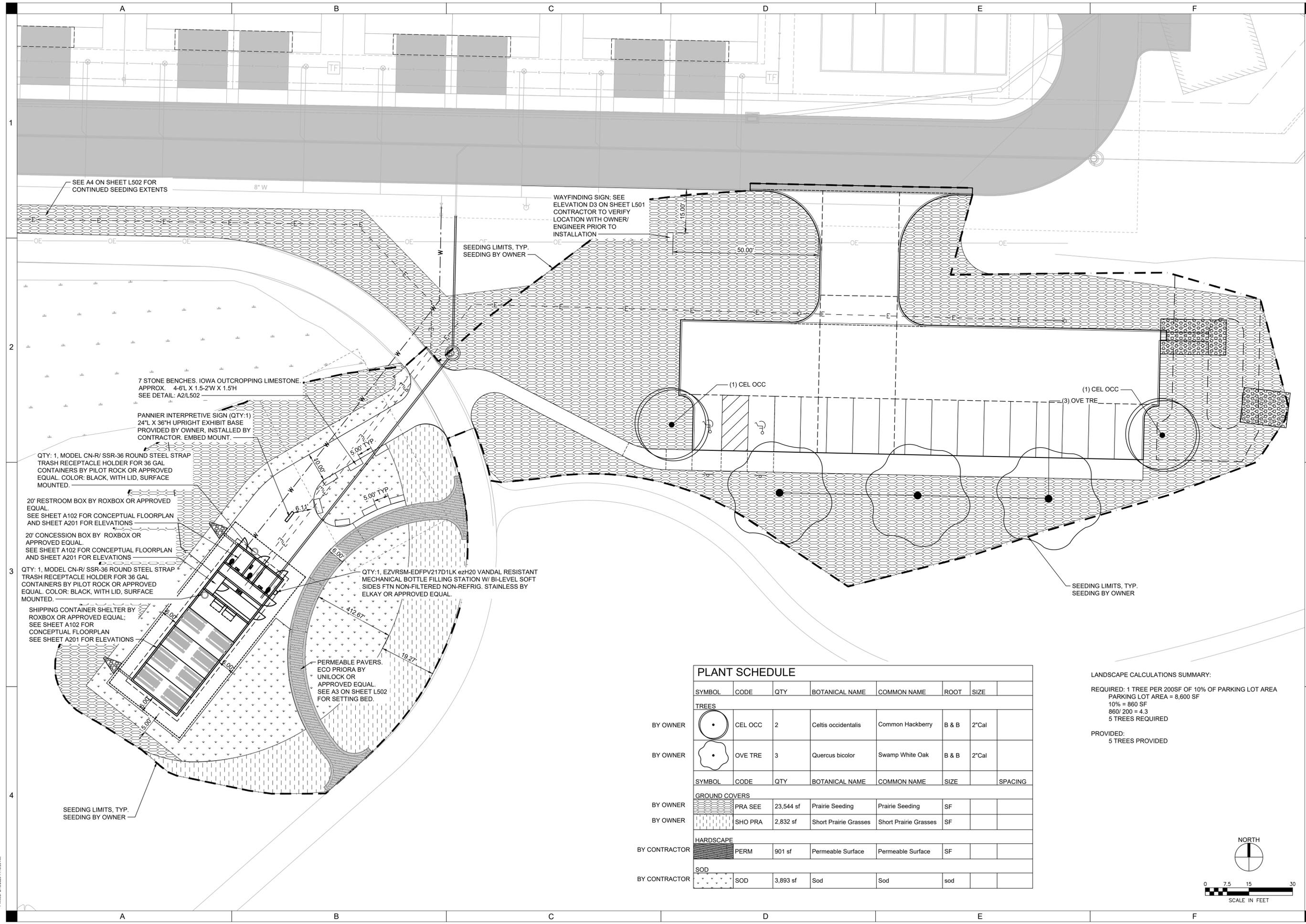
STORY COUNTY CONSERVATION  
1815 PLAZA LP, AMES, IA 50010

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**L101**

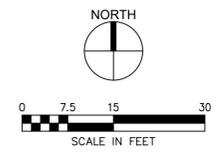


PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
<b>TREES</b>						
BY OWNER		CEL OCC	2	Celtis occidentalis	Common Hackberry	B & B 2"Cal
BY OWNER		OVE TRE	3	Quercus bicolor	Swamp White Oak	B & B 2"Cal
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>GROUND COVERS</b>						
BY OWNER		PRA SEE	23,544 sf	Prairie Seeding	Prairie Seeding	SF
BY OWNER		SHO PRA	2,832 sf	Short Prairie Grasses	Short Prairie Grasses	SF
<b>HARDSCAPE</b>						
BY CONTRACTOR		PERM	901 sf	Permeable Surface	Permeable Surface	SF
<b>SOD</b>						
BY CONTRACTOR		SOD	3,893 sf	Sod	Sod	sod

LANDSCAPE CALCULATIONS SUMMARY:

REQUIRED: 1 TREE PER 200SF OF 10% OF PARKING LOT AREA  
PARKING LOT AREA = 8,600 SF  
10% = 860 SF  
860 / 200 = 4.3  
5 TREES REQUIRED

PROVIDED:  
5 TREES PROVIDED

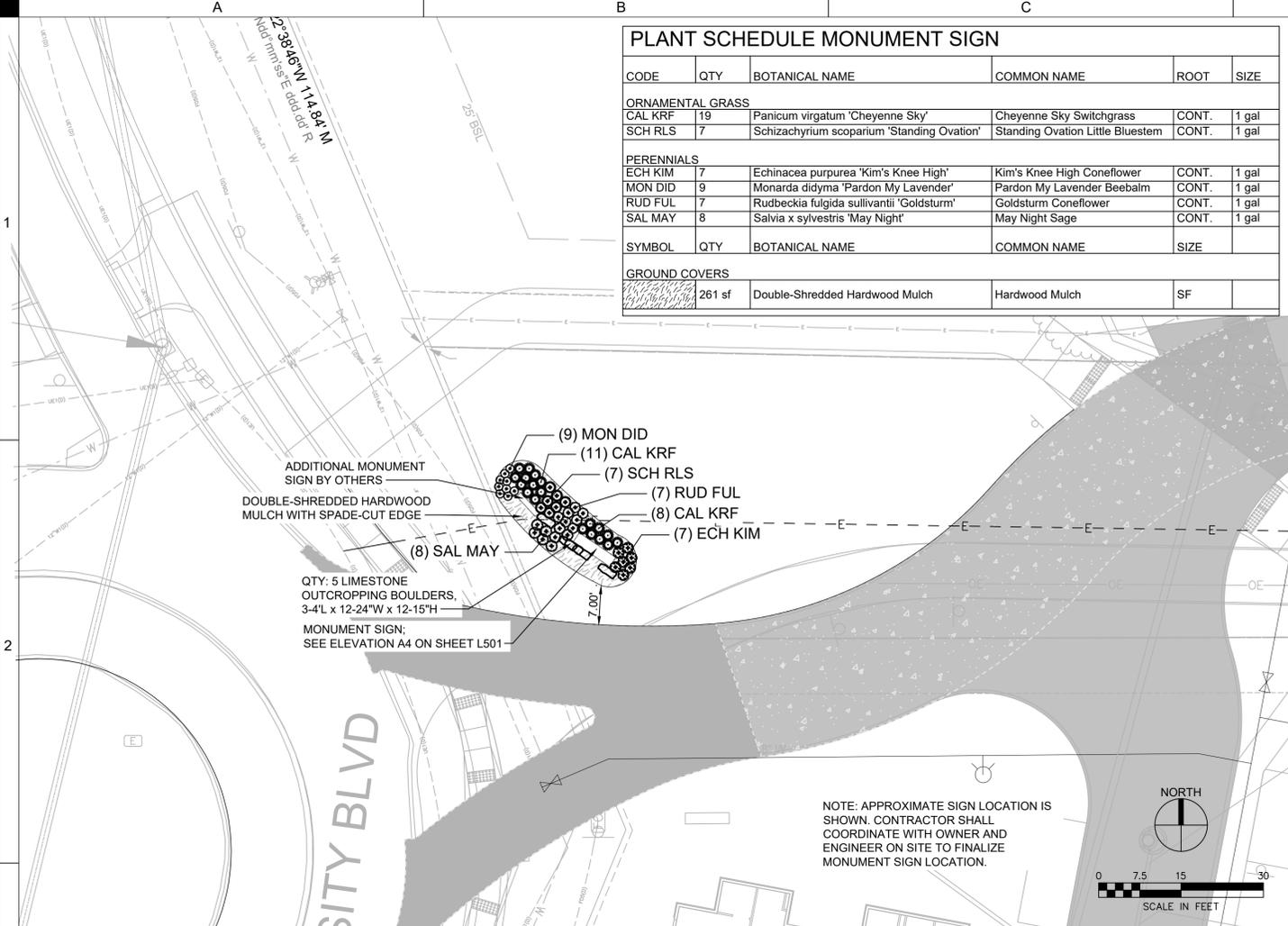


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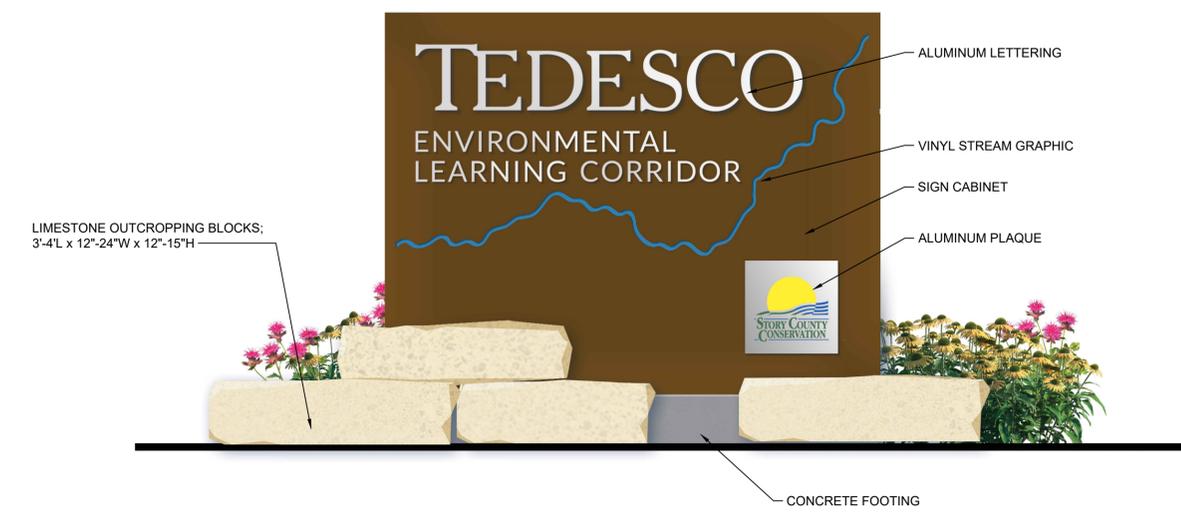
**PLANT SCHEDULE MONUMENT SIGN**

CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE
<b>ORNAMENTAL GRASS</b>					
CAL KRF	19	Panicum virgatum 'Cheyenne Sky'	Cheyenne Sky Switchgrass	CONT.	1 gal
SCH RLS	7	Schizachyrium scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	CONT.	1 gal
<b>PERENNIALS</b>					
ECH KIM	7	Echinacea purpurea 'Kim's Knee High'	Kim's Knee High Coneflower	CONT.	1 gal
MON DID	9	Monarda didyma 'Pardon My Lavender'	Pardon My Lavender Beebalm	CONT.	1 gal
RUD FUL	7	Rudbeckia fulgida sultivantii 'Goldsturm'	Goldsturm Coneflower	CONT.	1 gal
SAL MAY	8	Salvia x sylvestris 'May Night'	May Night Sage	CONT.	1 gal
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
<b>GROUND COVERS</b>					
	261 sf	Double-Shredded Hardwood Mulch	Hardwood Mulch	SF	

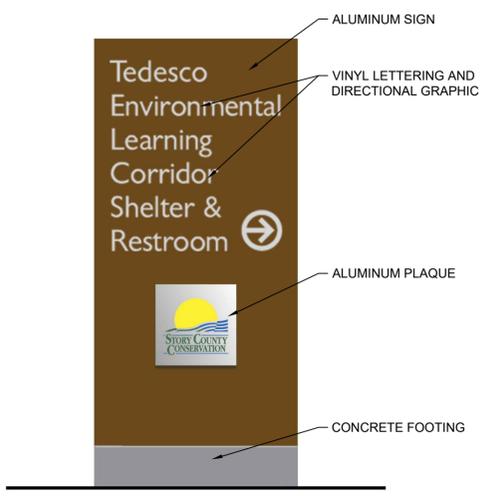
ALL MONUMENT SIGN PLANTINGS BY OWNER



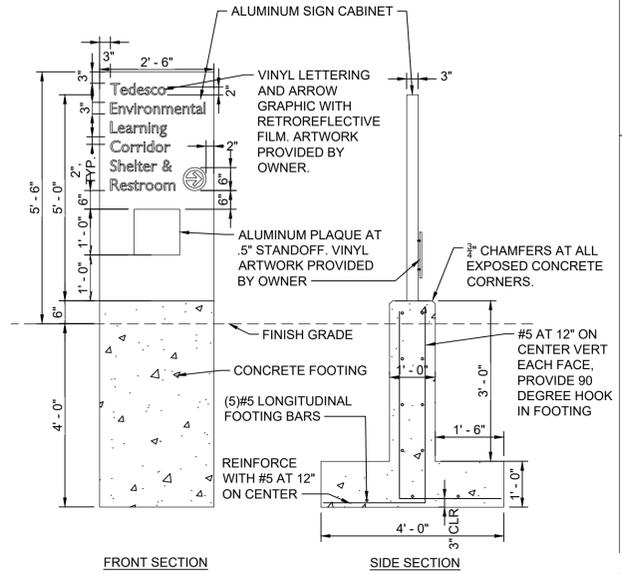
**A3** MONUMENT SIGN LOCATION  
1" = 15'



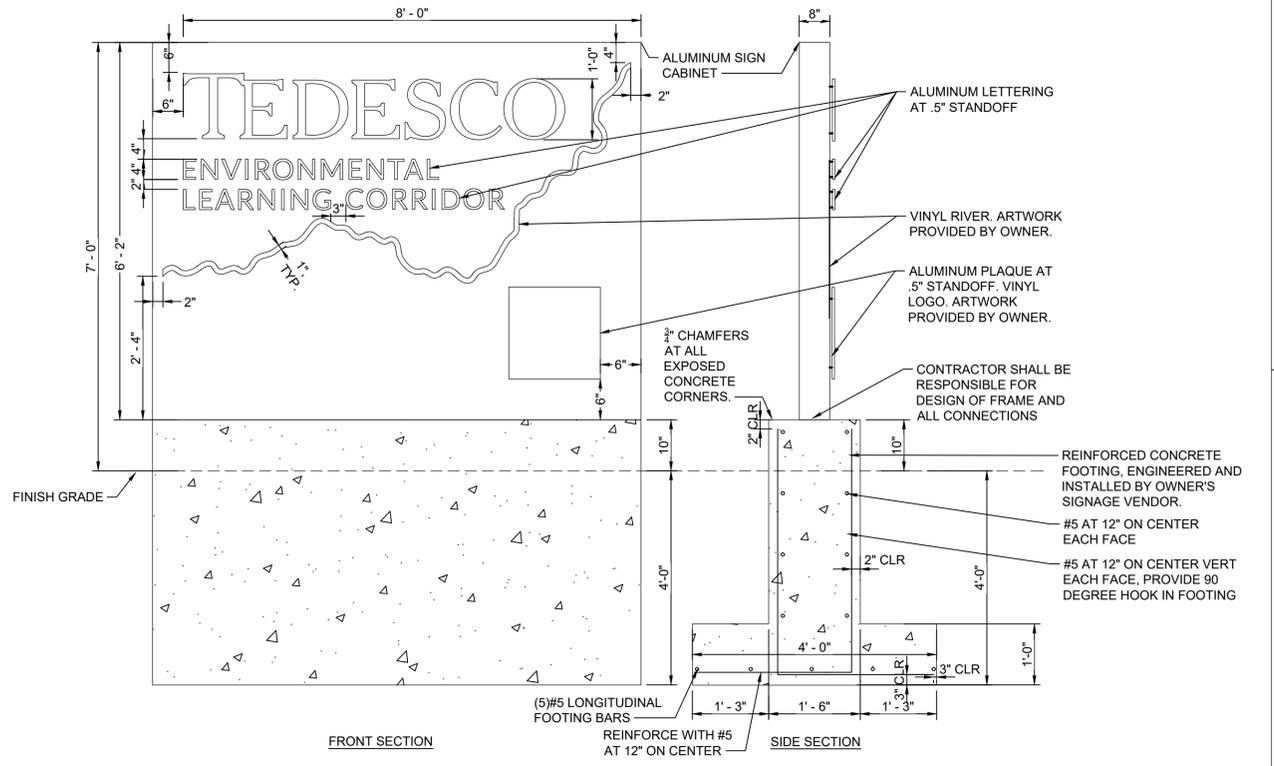
**A4** MONUMENT SIGN ELEVATION  
NTS



**D3** WAYFINDING SIGN ELEVATION  
NTS



**E3** WAYFINDING SIGN WITH FOOTING SECTION  
NTS



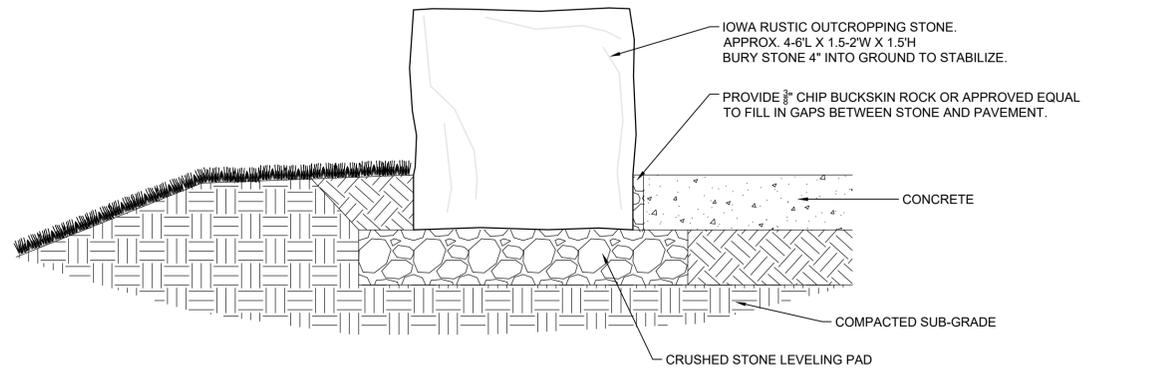
**D4** MONUMENT SIGN WITH FOOTING SECTION  
NTS

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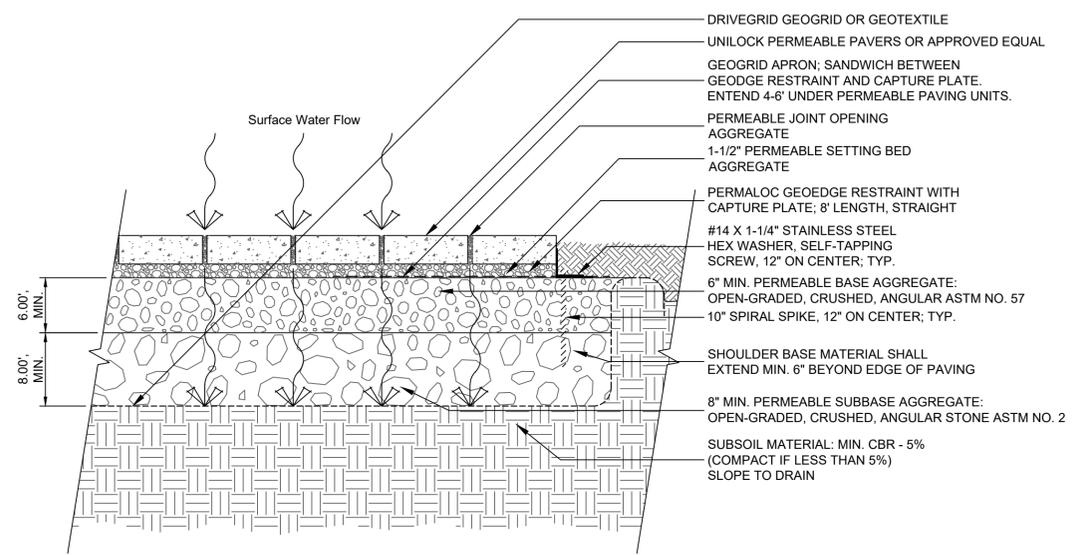
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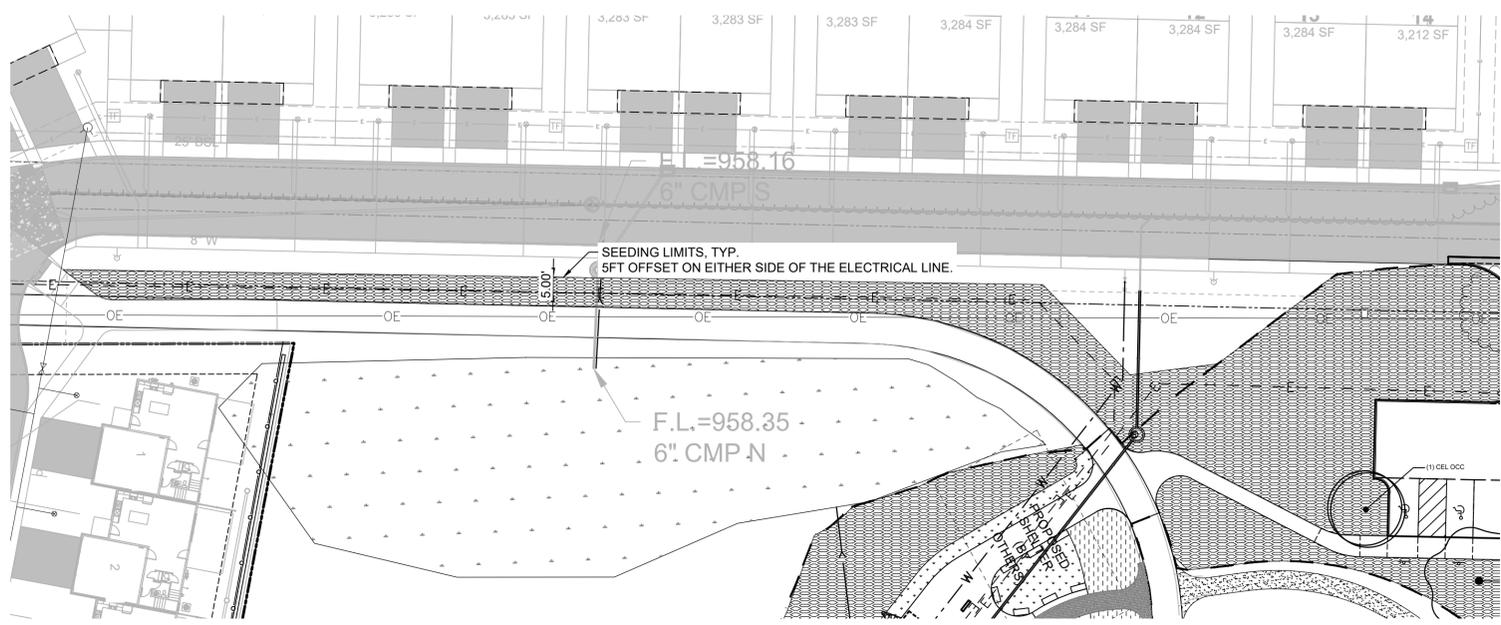
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**A2** STONE BENCHES  
NTS



**A3** PERMEABLE PAVERS  
NOT TO SCALE



**A4** SEEDING EXTENTS ALONG ROADWAY  
1" = 30'

**SODDING PART 1 - GENERAL**

- 1.1 SECTION INCLUDES
  - Sod Installation
- 1.2 DESCRIPTION OF WORK
  - This section includes preparation of the sodbed, furnishing and installing sod, fertilizing, watering, and maintenance for completed sodded areas.
- 1.3 SUBMITTALS
  - A. Sod grower's certification of grass species and location of sources.
  - B. Certification of the fertilizer analysis.
  - C. Written instructions recommending procedures for maintenance of sodded lawns, prior to final acceptance of sod.
- 1.4 SUBSTITUTIONS
  - A. No substitutions are allowed without approval from the Owner's Representative.
- 1.5 DELIVERY, STORAGE, AND HANDLING
  - A. Harvest, deliver, and transplant sod within a period of 24 hours unless a suitable preservation method is approved by the Owner's Representative prior to delivery.
  - B. Do not harvest or transport sod when moisture content may adversely affect sod survival.
  - C. Protect sod that cannot be placed immediately on delivery from sun, wind, dehydration, and rain prior to installation.
  - D. Sod showing visible signs of heating or dehydration will be rejected.
  - E. Do not tear, stretch, or drop sod during handling and installation.
  - F. Deliver fertilizer to the site in original, unopened, and non-damaged containers, each bearing the manufacturer's guaranteed analysis.
  - G. Store packaged materials off the ground and protect from moisture and deterioration.
- 1.6 SCHEDULING AND CONFLICTS
  - A. Notify the Owner's Representative at least 3 calendar days prior to start of sodding operations.
  - B. Perform sod installation after planting and other work affecting ground surface has been completed, or as approved by Owner's Representative.
- 1.7 MEASUREMENT AND PAYMENT
  - A. Sod:
    - 1. Measurement: Measurement will be in squares, each square containing 100 square feet of sod.
    - 2. Payment: Payment will be at the unit price per square of sod.
    - 3. Includes: Unit price includes, but is not limited to, preparation of sod and sodbed, stakes, fertilizing, watering, maintenance, and clean up. Also includes any necessary sod replacements during maintenance period.

**PART 2 - PRODUCTS**

- 2.1 SOD
  - A. Provide a well-established (no less than 18 months old), well rooted, healthy, nursery-grown sod blend of improved 90-10 Fescue-Bluegrass Blend with a uniform color, leaf texture, density, and varieties consisting of a minimum of three cultivars.
  - B. Sod grown in peat bedded soil will not be accepted.
  - C. Ensure sod is free from objectionable grasses and broadleaf weeds, roots of trees or shrubs, stones, thatch, and other objectionable materials, nematodes and soil-borne insects, and free from disease. Sod will be considered free of weeds if less than two such plants are found per 100 square feet of area.
  - D. Mow at a height of 2 inches prior to cutting.
  - E. Cut sod with a sod machine in strips of uniform width and length, with square ends. Cut to a uniform soil thickness of approximately 1 inch, thickness measurement excludes top growth.
  - F. Ensure sod is moist when placed.
- 2.2 STAKES
  - A. Softwood Stakes: 3/4 inch diameter and 8 inches long.
  - B. Steel Pins: Tee shaped with a 4 inch head and 8 inch leg.
- 2.3 WATER
  - A. Unless otherwise specified in the contract documents, provide water and watering equipment such as hoses and sprinklers. Provide water free of substances harmful to plant growth.

**PART 3 - EXECUTION**

- 3.1 PREPARATION OF SODBED
  - A. Limit preparation to areas that will be immediately sodded.
  - B. Where weed growth has developed, remove all weeds and weed debris.
  - C. Shape and fine grade sodbed to remove washes or gullies, water pockets, and irregularities. Provide an even surface, true to grade and cross-section.
  - D. Rototill and cultivate sodbed to a fine and mellow condition to a minimum depth of 3 inches. Clear the top 3 inches of soil lumps, stones over 3/4 inch, and foreign material using hand labor as required.
- 3.2 FERTILIZING - FIRST APPLICATION
  - A. Provide a guaranteed analysis of 20-26-6 commercial fertilizer or the equivalent units of nitrogen (N), phosphate (P), and potash (K) by weight at the rate of 200 pounds per acre.
  - B. Incorporate fertilizer into soil to a depth of 1 1/2 inches prior to placing sod.
- 3.3 SOD INSTALLATION
  - A. Do not install sod between the dates of June 15 and August 15, unless authorized by the Owner's Representative.
  - B. Do not lay frozen sod; do not lay sod on frozen soil or when freezing conditions are forecasted within 24 hours.
  - C. Dampen dry soil prior to placing sod.
  - D. Firm or heal in soil along the edges of the sodded areas.
  - E. Carefully place sod in rows or strips evenly, with the longest edge parallel to the finished contours, and at right angles to the centerline of ditches and channels. On slopes, begin placing sod at the bottom and progress upward.
  - F. Minimize traffic on newly laid sod during installation. Provide plank or wood sheets to protect sod already laid from equipment and vehicles.
  - G. Tightly fit each strip against each other without voids. Do not overlap edges. Stagger joints at the ends of sod strips with adjacent strips of sod.
  - H. Finish sod edges at walks, curbs, planting, mulch edges, and other vertical surface by cutting and fitting tightly to edge.
  - I. Place sod mat approximately 1 inch below finished surface of walks, pavement, curbs, or other

- permanent features. Remove any sod not conforming to this requirement, adjust the subgrade, and re-lay the sod.
- J. Where new sod joins existing lawns, cut straight and neatly into existing lawn and level subgrade to match height.
- K. Stake sod on grades exceeding 4:1 and in drainage channels. Stake each roll at 2 foot intervals or as required to prevent movement during rainfall and stormwater runoff events.
- L. Roll lightly-watered sod with a small mechanical or hand sod roller to sufficiently set or heal sod into soil and remove lumps. Roll as required to firm and level the sodded areas.
- 3.4 WATERING
  - A. Water sod within 1 hour of placement. During initial watering, thoroughly wet sod and sodbed.
  - B. Water all sodded areas during the maintenance period as necessary to maintain sod and soil moisture, supplement rainfall, promote growth and proper rooting, ensure sod survival, and prevent dormancy.
  - C. Apply water uniformly and consistently on all sodded areas to prevent damage to sod, trees, and shrubs.
- 3.5 FERTILIZING - SECOND APPLICATION
  - A. Apply second application of fertilizer with a guaranteed analysis of 10-10-10 commercial fertilizer or the equivalent units of nitrogen (N), phosphate (P), and potash (K) at the rate of 300 pounds per acre 2 weeks after laying sod and prior to final acceptance.
- 3.6 MAINTENANCE
  - A. Begin maintenance immediately following installation of sod and continue for a period of 60 days.
  - B. Maintenance of sodded areas includes:
    - 1. Watering.
    - 2. Weeding.
    - 3. Mowing. Once sod has grown to a height between 3 and 4 inches, mow to a 2 to 2 1/2 inch height.
    - 4. Remove and replace sodded areas that fail to survive.
- 3.7 CLEAN UP
  - A. Remove all excess materials, debris, and equipment from site.
  - B. Clean all paved surfaces.
  - C. Repair any damage resulting from sodding operations.
- 3.8 ACCEPTANCE
  - A. Sod acceptance will be based on the following criteria:
    - 1. All requirements for the completed installation and maintenance have been met.
    - 2. Sodded areas are healthy and even-colored, and a viable lawn is established, free from weeds, undesirable grass species, disease, and insects.
    - 3. Sod is knit down to the soil so that it cannot be pulled up.
    - 4. Sodded areas are without scattered bare spots and dead or dormant sod.
    - 5. Clean up operations are completed.

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APPROVED BY	HCR
ISSUED FOR	BIDDING
ISSUE DATE	2/10/2026
PROJECT NUMBER	2250011990
CLIENT PROJECT NUMBER	

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**LANDSCAPE PLANTING PART 1 - GENERAL**

**1.1 WORK INCLUDED**

A. The Contractor shall furnish all labor, materials, tools, equipment, supervision, and services necessary to install plant material, preparation of soil, fine grading, planting, mulching, landscape stone, gully, pruning, watering, edging, and the proper disposal of any excess earth or debris, maintenance all in accordance with the accompanying Drawings and these Specifications.

**1.2 QUALITY ASSURANCE**

A. Comply with applicable requirements of Federal, State, and Local laws, regulations and codes having jurisdiction at the project site. The Contractor shall take out all required permits, arrange for all necessary inspections and shall pay any fees and expenses in conjunction with the same as a part of the work under this section.  
B. Contractor shall be responsible for certificates of inspection of plant material that may be required by Federal and Local authorities to accompany shipments of plants.  
C. The entire installation shall fully comply with all local and state laws and ordinances and with all the established codes applicable thereto.  
D. Local zone hardy plant material shall be utilized.  
E. Reference Standards

1. "Standardized Plant Names" by the American Joint Committee of Horticultural Nomenclature.  
a. "American Standard of Nursery Stock" by the American Association of Nurseryman current edition. Standards: All plant materials, methods, etc., are to conform to the Standards of the American Association for Nursery Stock. In the event there is a discrepancy between these standards and this Specification, the most restrictive requirement shall govern.  
b. American National Standards Institute (ANSI); Publication ANSI/AHIA Z60.1-current edition.

F. Inspection of Plant Material  
1. The nursery supplier shall tag and photograph all plant material to be delivered to the site. Photographs shall be sent to the Owner and/or Owner's Representative and Contractor for review and coordination.  
2. At the time the plant material is delivered to the job site, the Contractor shall be responsible to inspect plant material and reject any material that does not meet standards detailed in ANSI Publication ANSI/AHIA Z60.1-current edition standards and Section 2.4 of this specification. Plant material shall be unwrapped in order to thoroughly inspect trunk, bark, branches, rootball, leaders and form. If material is rejected it shall be sent back to the nursery at the time of delivery at no additional charge to the owner or contractor.  
3. The Owner and/or Owner's Representative shall be notified of plant inspection times at least 3 days prior by the Contractor once plant delivery has begun.

G. Coordination  
1. Work in conjunction with other trades as directed, taking all reasonable precautions to avoid disturbance or interference with any other operation or installation on the site. Contractors shall be responsible for the cost of replacing any material damaged as a result of his/her negligence.  
2. Pre-Installation Meeting: The Contractor shall meet with the Owner and/or Owner's Representative to review schedule, submittals, and project expectations. This meeting shall occur at least 10 days prior to the start of any work or deliveries to the job site.  
3. Punch List Inspection(s): A punch list by the Landscape Architect/Owner's Representative shall be created and sent to the Contractor to coordinate. Refer to PART 3 -Section 3.5 for requirements.  
4. Warranty Inspection: Refer to PART 3 -Section 3.7

**1.3 SUBMITTALS**

A. Contractor shall submit the following to the Owner and/or Owner's Representative at least thirty (30) days prior to start of the work  
1. The source and supplier of all plant material, planting schedule, fertilizer, hardwood mulch, weed barrier, edging compost and other materials along with the type of equipment to be used on this project.  
2. Photo samples and photos representative of typical plant stock of the following: Mulches, Plant Material  
B. Grower's Certificates: Proof of certification of Nursery Stock Grower and Dealer Inspection as well as any other certificates required by governmental authorities.  
C. Fertilizer Manufacturer's Certificate of Compliance: Written documentation verifying compliance with chemical analysis of fertilizer furnished. Submit to Owner and/or Owner's Representative 5 days prior to delivery.  
D. Substitutions: Substitutions of plant material will not be permitted unless authorized in writing by the Owner and/or Owner's Representative.

**1.4 STORAGE, HANDLING, AND DELIVERY**

A. All materials delivered to the job shall be stored so as to keep them in new condition and free from deterioration. Fertilizer, etc., shall be stored in temporary sheds off-site at Contractor's expense.  
B. All nursery stock must be kept secure, cool, and moist while being stored. If storing B&B plants on site, store in either a refrigerated truck or heeled into soil or mulch.  
C. Deliver packaged materials in unopened containers showing weight, analysis, and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.  
D. Plants shall not be delivered to the site until the corresponding beds are fully prepared and approved. Vegetated material shall be inspected upon delivery at job site by the Contractor. All materials must arrive with identification labels calling out the size and species name. All plant material is subject to rejection by the Contractor, Owner and/or Owner's Representative either at time of delivery or at the 1-year warranty inspection, provided it does not comply with the requirements stated herein. Any rejected stock shall be immediately removed from the premises and replaced with approved stock. All plant tags shall stay on plants through planting and shall NOT be removed until Owner and/or Owner's Representative has performed the initial inspection. The plant tags shall be removed, collected, and provided to the owner once Initial Inspection is completed.

**1.5 JOB CONDITIONS**

A. Examination of Site:  
1. The bidder must acknowledge that he has examined the site, Drawings and Specifications and the submission of a quotation shall be considered evidence that examinations have been made.  
a. Field Conditions: The Contractor shall verify drawing dimensions with actual field conditions and inspect related work and adjacent surfaces. The Contractor shall report to the Owner and/or Owner's Representative all conditions which prevent proper execution of this work. The Contractor agrees to be fully responsible for any and all damage which might be occasioned by the Contractor's failure to exactly locate and preserve any and all utilities, structures, and geogrid reinforcement.  
b. Soil moisture must be at or below field capacity to avoid destroying the soil structure before any work begins.

**1.6 SEQUENCING/SCHEDULING**

A. Planting Time: Proceed with and complete planting as rapidly as portions of the site become available, working within seasonal limitations for each kind of landscape work required.  
B. Allowable Planting Dates:  
1. Evergreen Plants: September 1 to October 15 and prior to June 1, but not after candles exceed 1 inch.  
2. Deciduous Plants (Balled and Burlapped and Container): August 15 to November 15 or the 1st frost of the season and in the spring prior to June 1

3. Perennials: August 15 to September 30 and prior to June 1.  
4. Weather Restrictions: Planting may be conducted under unseasonable conditions, except in weather below 32 degrees or above 90 degrees. No variance from plant warranty or other requirements will be given for plants installed outside the specified period.

**1.7 MATERIALS CLEAN-UP**

A. The Contractor shall keep the premises free from rubbish and all debris associated with their work at all times and all unused materials and debris shall be removed from the site.

**PART 2 - MATERIALS**

**2.1 TOPSOIL**

A. Refer to Plan Notes.  
B. Topsoil shall be fertile, natural topsoil, typical of the locality. Stockpiled topsoil may be used if approved by the Owner and/or Owner's Representative. It shall be free of subsoil, slag, clay, stones, lumps, sticks, plants or their roots, toxic substances or other extraneous matter that may be harmful to plant growth or would interfere with future maintenance

**2.2 PLANTING BED SOIL MIXTURE**

A. Cultivate the top 12" of topsoil for planting tree holes and beds blended with 3" organic compost. Submit data for compost for approval.  
B. Very poor soils of clay, gumbo, gravel, hard-pan, or other soils injurious to plants shall not be used. Notify Owner/Owner's Representative if these conditions exist before proceeding.

**2.3 FERTILIZER**

A. All fertilizers shall be horticultural grade complete formula fertilizers and shall conform to the applicable State Fertilizer Laws. Fertilizer shall consist of uniform dry granulated nutrients produced by mining and manufacturing processes and commonly used in the agricultural or lawn care industries. It shall contain the three major plant nutrients of nitrogen, phosphorus, and potassium. Commercial fertilizer may be furnished as a homogenous or blended form. Submit product information for Owner and/or Owner's Representative approval.

**2.4 PLANT MATERIALS**

A. Plant Schedule: A list of plant materials is scheduled on the Drawings. In the event of any discrepancy between this schedule and the Plan Drawing showing the plants, the Plan Drawing shall govern.  
B. Certification of inspection of plant materials required by Federal, State, or other governmental agencies to accompany all shipments to be furnished to the Owner and/or Owner's Representative. Plants shall have been grown under climatic conditions similar to those in the locality of the project.  
C. Planting stock shall be well-branched and well formed, sound, vigorous, healthy, free from disease, sun-scare, windburn, abrasion, and harmful insects or insect eggs; and shall have healthy, normal unbroken root systems. Deciduous trees and shrubs shall be symmetrically developed with branches of uniform growth, with straight trunks and central leaders, and free from objectionable disfigurements. One-sided branching plant material will be rejected.  
D. Evergreen trees and shrubs shall have well-developed symmetrical tops with typical spread of branches for each particular species or variety. Evergreen leaders shall be straight and central. Evergreen trees and shrubs shall not be sheared.  
E. Stock Sizes: All stock measurements - caliper, height, branching level, number of canes, ball sizes shall be in strict accordance with the latest edition of the American Standard for Nursery Stock, unless otherwise noted on the plans. Plants used on the project shall meet or exceed all minimum requirements indicated in the size, condition, and remarks sections of the planting legend on the plan sheets.  
F. Provide plants free of the following:  
1. Harmful insects, insect eggs, borers, and all forms of infestation  
2. Plant diseases and moldy or dried roots  
3. Damage to trunk, bark, branches, leaders, root systems, or cut-leaders  
4. Defects, disfiguring knots, sunscald injuries, and frost cracks  
5. Rodent or deer damage to bark and buds  
G. Plants with broken or cut back terminal leaders will be rejected. Plants with crooked or split leaders will be rejected.  
H. All stock shall be balled and burlapped or container grown stock. Bareroot stock of any kind is unacceptable.  
I. All plant material must be watered the same day it is planted in order to comply with these Specifications.  
J. Delivered trees with more than 4" or more of soil over the root flare shall be rejected. If after carefully removing the soil over the trunk flare unveils encircling or excessive roots and/or unhealthy conditions the tree will be rejected. The trunk of the tree shall not be more than 10% off center within the rootball. The Contractor, Owner and/or Owner's Representative may open soil balls to inspect for root condition, size, balance, and trunk location within the ball.  
K. Ornamental grasses and perennials shall be inspected by root mass and top growth. Containers shall be removed to ensure roots have grown to the width and the depth of the container and have a solid root mass per ANSI standards to hold the soil ball intact. If root mass is undersized the plant shall be rejected. 1 gallon container plants shall also have a minimum of 6" vertical height.

**2.5 MULCHES**

A. Double Shredded Hardwood Mulch shall be used in planting beds as indicated on plans:  
1. Locally obtained or a proprietary product.  
2. Shredded hardwood mulch as approved by the Owner and/or Owner's Representative. No artificially colored mulch will be accepted.  
3. Provide 4" depth in perennial/ornamental grass planting beds where shown on plan.  
B. WEED BARRIER & WEEDING  
A. Provide a chemical base weed prevention plan for all planting beds. Apply once installation is complete.  
B. Contractor shall be responsible for weeding of vegetated areas through warranty period.  
C. Provide wire of sufficient gauge to resist breaking during high winds.  
D. Remove staking materials at the end of warranty period or per Owner's discretion.  
C. STAKING MATERIALS  
A. Stakes for tree support shall be steel "T" bar fence post, 6' long, painted dark green with the top 6" painted white.  
B. Hose shall be reinforced garden hose no less than 1/2" inside diameter or fabric straps or other material approved by the Owner and/or Owner's Representative. Provide hose of adequate length to prevent contact of staking or guying wire with tree trunk.  
D. Remove staking materials at the end of warranty period or per Owner's discretion.

**2.6 WEED BARRIER & WEEDING**

A. Provide a chemical base weed prevention plan for all planting beds. Apply once installation is complete.  
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**2.7 STAKING MATERIALS**

A. Stakes for tree support shall be steel "T" bar fence post, 6' long, painted dark green with the top 6" painted white.  
B. Hose shall be reinforced garden hose no less than 1/2" inside diameter or fabric straps or other material approved by the Owner and/or Owner's Representative. Provide hose of adequate length to prevent contact of staking or guying wire with tree trunk.  
C. Provide wire of sufficient gauge to resist breaking during high winds.  
D. Remove staking materials at the end of warranty period or per Owner's discretion.

**2.8 BED EDGING**

A. Provide Spade Cut Edge between turf and plant bed areas.

**2.9 WATER**

A. Water shall not contain elements toxic to plant life. It shall be the Contractor's responsibility to obtain water to be used for a temporary watering system of plant material. The Contractor shall coordinate with the Owner to locate the best area for water connection.  
B. Provide temporary watering through the growing season to establish plant material and as needed

through the warranty period to keep plant material in a thriving and healthy condition.  
C. The transition of maintenance responsibilities shall be summarized by the Contractor and provided in written form to the Owner once the Contractor has fulfilled work requirements to ensure watering and maintenance care keeps plants in a thriving condition.

**PART 3 - EXECUTION**

**3.1 TREE, SHRUB, AND PERENNIAL INSTALLATION**

A. All planting shall be performed by personnel familiar with the accepted procedure of planting and under the constant supervision of a qualified planting foreman.  
B. All planting is to be done as shown on drawings and as specified herein and in strict accordance with standard horticultural practices.  
C. Preparation of Planting Mixture and Beds  
2. Plant material locations and planting bed outlines shall be staked on the project site by the Contractor and approved by the Owner and/or Owner's Representative before any plant pits or beds are excavated. Plant material locations and bed outlines may be adjusted by the Owner and/or Owner's Representative to meet field conditions.  
3. Mix recommended soil amendments and fertilizers with topsoil at recommended manufacturers rates. Delay addition of fertilizer if planting mixture will not be used within two (2) days.  
4. Planting beds shall be cultivated to a minimum depth of 12".  
5. The Contractor shall be responsible for testing percolation rates to measure adequate drainage in the planting area. Where trees, shrubs, or perennials are planted a test bed shall be prepared with the location selected by the Owner and/or Owner's Representative. A percolation test shall be conducted by filling a 16" deep planting hole with water and measuring the time it takes for the water to drain. Adequate drainage will be considered equal to or greater than a percolation rate of 1/2" per hour. In case of inadequate drainage, the Owner and/or Owner's Representative shall be notified. Beds shall be free of rocks larger than one inch diameter, weeds, scrap material, and objectionable materials.  
D. Installation of Trees, Shrubs and Perennial.

1. Planting pits shall be excavated to produce vertical sides and flat bottoms. Scarify side walls to alleviate glazing and loosen any hard subsoil in bottom of pit. Minimum pit sizes shall be as shown on drawings.  
2. Dispose of all subsoil, clay, and rock (off-site) removed from planting excavations. The top six (6) inches of topsoil excavated from the planting pit, if free from subsoil, clay, rocks, roots, or other debris, may be utilized in the topsoil mixture as specified.  
3. Setting Plants  
a. The Contractor shall install the first balled and burlapped tree with the Owner and/or Owner's Representative present to ensure proper planting methods. Refer to planting details and specifications for the proper planting procedure of hole preparation and removal of all twine, wire cage and other trappings of the root ball. Root ball crowns shall also be set so that they are 2" higher than the surrounding grade to ensure the root flare is slightly above grade.  
b. Balled and burlapped and container grown plants shall be handled and moved only by the ball or container. Remove all the wire cage and burlap except for 1/3 of the bottom before placing root ball in the ground. Inspect rootball to ensure specifications are met in Section 2.4. Plants shall be set stumpled and held in position until a sufficient quantity of planting soil mixture has been firmly placed around roots or ball. Once the tree is stabilized in the planting hole, carefully remove burlap, twine, and all other trappings as much as possible before partially backfilling. Trees shall be watered in allowing water to completely soak into ground after partial backfill.  
c. The remainder of backfill of planting soil mixture shall be tamped and watered.  
4. Double Shredded Hardwood Mulching  
a. Mulch for planting beds shall be installed to a minimum depth of four inches (4") unless otherwise noted on the drawings.  
b. Mulching shall take place within 48 hours after planting.  
c. Mulch shall be kept out of the crowns of shrubs and off walls, sidewalks, light standards, and other structures.  
d. The top of all areas of mulch cover shall be 1/2" below the top of adjacent curb, walk, wall, wall cap, or edge of pavement.  
e. Mulching shall be considered incidental to the overall project. No additional compensation shall be allowed.

**3.2 INSTALLING MULCH**

1. The top of all areas of mulch cover shall be 1/2" below the top of adjacent curb, walk, wall, limestone edger, wall cap, or edge of pavement. Chemically treat beds once installation is complete.  
2. Weed prevention and mulching shall be considered incidental to the overall project. No additional compensation shall be allowed.  
3. MAINTENANCE  
A. Begin maintenance immediately following installation of plant material and continue until Owner's Representative issues the Notice of Acceptance. Upon the Notice of Acceptance, the Contractor

1. Replacement Plants: Plants of the same kind and size as specified in the Plant Schedule; furnished and planted as specified herein. Guyed or staked, mulched, fertilized, pruned, and restored to original condition as originally specified at no cost to Owner.  
J. Replacement cost shall be borne by Contractor except for possible replacements resulting from loss or damage due to occupancy at project in any part, vandalism, civil disobedience, and acts of neglect on the part of others, physical damage by animals, vehicles, fire, or losses due to curtailment of water by local authority, or to "Acts of God". Droughts, floods, tornadoes, winds of hurricane force, and hail are not normal and the damage they do cannot be calculated in a bid.

**3.2 INSTALLING MULCH**

A. Mulching  
1. The top of all areas of mulch cover shall be 1/2" below the top of adjacent curb, walk, wall, limestone edger, wall cap, or edge of pavement. Chemically treat beds once installation is complete.  
2. Weed prevention and mulching shall be considered incidental to the overall project. No additional compensation shall be allowed.

**3.3 MAINTENANCE**

A. Begin maintenance immediately following installation of plant material and continue until Owner's Representative issues the Notice of Acceptance. Upon the Notice of Acceptance, the Contractor

shall begin the 1 year maintenance and warranty term, by maintaining, weeding, watering and performing maintenance duties as outlined below and warranty plant material for 1 year.  
B. General landscape maintenance shall include necessary watering, cultivation, weeding, pruning, wound dressing, disease and insect pest control, protective spraying, straightening plants which lean or sag, adjustments of plants which settle or are planted too low, replacement of mulch or rock mulch that has been displaced, repairing and reshaping tree saucers, and replanting of dead material within the 1-year warranty period. Remove rubbish, waste, tools and equipment used at end of each workday.  
C. Watering: The Contractor may install a temporary irrigation system at his/her expense to keep plants in thriving condition. Contractor shall furnish hoses and other watering equipment as required for supplemental watering. Coordinate with Owner for water connections.  
D. Pruning and Repair: Prune as required to remove dead or injured branches, to compensate for loss of roots as result of transplanting operations, and to maintain safety in traveled areas. Pruning shall not change the natural habit or attractive, balanced shape of plant. Cuts shall be made at outside edge of the branch collar.  
E. Contractor shall be responsible for effective chemical or mechanical weed control from the time they move on site until the end of the warranty and maintenance period. At no time shall weeds in plant beds be allowed to grow over one foot in height or produce seeds. All cut or pulled weeds shall be removed from site and disposed of properly.  
F. Mowing is not required as part of this maintenance period.

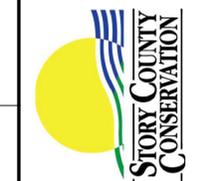
**3.4 ACCEPTANCE**

A. Planting acceptance shall be based upon the following criteria:  
1. All requirements for the completed installation and maintenance have been provided.  
2. Clean-up operations are completed.  
3. All required submittals have been received by the Owner, including maintenance instructions.  
4. Plants shall be well-branched and well-formed alive, healthy, and in a vigorous growing condition at the time of acceptance.  
B. Seven (7) calendar days prior to the anticipated date of punch list inspection, submit written notice requesting inspection to the Owner's Representative.  
C. The Owner, Contractor, and Landscape Architect will complete a punch list inspection of the landscape to determine completion of contract work. Punch list inspection will not be conducted unless all items of work as outlined in PART 3 - EXECUTION have been completed.  
D. After the punch list inspection, the Contractor will be notified in writing by the Owner's Representative, of any deficiencies in the requirements for completion of the work.  
E. The Contractor will complete/resolve all of the items on the punch list and submit written notice requesting follow up inspection to the Owner's Representative seven (7) calendar days prior to the anticipated date of a follow up inspection.  
F. The Owner, Contractor, and Landscape Architect will complete a follow up observation walk through of the landscape to determine completion of all punch list items. If all items are complete, the Owner's Representative will issue a written Notice of Acceptance to begin the warranty and maintenance period of 1 year. If not, the Contractor will be notified in writing by the Owner's Representative, of any remaining deficiencies in the requirements for completion of the work and another follow up observation will be scheduled.  
G. At the time of the Notice of Acceptance, the 1 year warranty inspection will be scheduled by the Owner's Representative.

**3.5 WARRANTY AND REPLACEMENT**

A. Plant material shall be warrantied for 1 full year after issuance of the Notice of Acceptance and shall be alive, in good health, and in satisfactory condition at the end of warranty period.  
B. Any plant required under this Contract that is dead or not in a vigorous, thriving condition, as determined by the Owner's Representative at the time of warranty inspection, will be removed from the site.  
C. The Owner, Contractor, and Landscape Architect will complete a warranty observation of the landscape prior to 12 months or as directed by Owner to determine the needs for replacement material.  
D. After the warranty observation, the Contractor will be notified in writing by the Owner's Representative, of any deficiencies or required plant replacements.  
E. The Contractor will complete/resolve all of the items on the warranty observation and submit written notice requesting follow up inspection to the Owner's Representative seven (7) calendar days prior to the anticipated date of a follow up inspection.  
F. The Owner, Contractor, and/or Landscape Architect will complete a follow up inspection of the landscape to determine completion of all warranty items. If all items are complete, the Owner's Representative will issue a written Notice of Warranty Fulfillment. If not, the Contractor will be notified in writing by the Owner's Representative, of any remaining deficiencies in the requirements for completion of the work and another follow up inspection will be scheduled.  
G. Plants that are missing at the time of warranty inspection are to be installed during the specified planting season when weather and site conditions permit.  
H. After Notice of Acceptance, the Contractor shall replace plants (once during or at the end of the warranty period) that are observed to be dead or in a badly impaired condition. One replacement after Notice of Acceptance shall constitute fulfillment of Contractor's warranty for the particular plant replaced. Plants replaced during the punch list process are considered to be part of the fulfillment of the requirements of the Contract and are not part of the warranty.

1. Replacement Plants: Plants of the same kind and size as specified in the Plant Schedule; furnished and planted as specified herein. Guyed or staked, mulched, fertilized, pruned, and restored to original condition as originally specified at no cost to Owner.  
J. Replacement cost shall be borne by Contractor except for possible replacements resulting from loss or damage due to occupancy at project in any part, vandalism, civil disobedience, and acts of neglect on the part of others, physical damage by animals, vehicles, fire, or losses due to curtailment of water by local authority, or to "Acts of God". Droughts, floods, tornadoes, winds of hurricane force, and hail are not normal and the damage they do cannot be calculated in a bid.



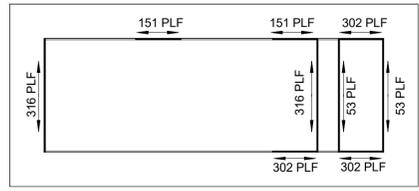
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DESIGN INFORMATION

- 1. CODES: A. INTERNATIONAL BUILDING CODE (IBC) 2024 B. AMERICAN CONCRETE INSTITUTE - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-19) C. AMERICAN CONCRETE INSTITUTE - BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530) D. AMERICAN INSTITUTE OF STEEL CONSTRUCTION - SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS (AISC 360) ALLOWABLE STRENGTH DESIGN (ASD) E. AMERICAN SOCIETY OF CIVIL ENGINEERS AND STRUCTURAL ENGINEERING INSTITUTE (ASCE/SEI 7-22) - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES F. AMERICAN WELDING SOCIETY D1.1 G. AMERICAN IRON AND STEEL INSTITUTE (AISI S100) SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS 2. DESIGN LOADS PER THE 2024 IBC (RISK CATEGORY II) A. DEAD LOADS STRUCTURE SELF WEIGHT AS SHOWN AS CALCULATED HANGING MEP ALLOWANCE 4 PSF ROOFING SYSTEM AS CALCULATED MEP ABOVE MECHANICAL ROOM 20 PSF B. LIVE LOADS TYPICAL ROOF LIVE LOAD 20 PSF SLAB ON GRADE LIVE LOAD 100 PSF C. ROOF SNOW LOAD (ASCE 7-22) GROUND SNOW LOAD, Pg 45 PSF ULTIMATE (LRFD) DESIGN SNOW LOAD (1.0SL) 34 PSF SERVICE (ASD) DESIGN SNOW LOAD (0.75L) 24 PSF SNOW EXPOSURE FACTOR, Ce 0.9 SNOW IMPORTANCE FACTOR, Is 1.0 THERMAL FACTOR, Ct 1.2 D. WIND PRESSURE (ASCE 7-22) WIND SPEED, Vult 110 MPH NOMINAL DESIGN WIND SPEED, Vasd 86 MPH WIND EXPOSURE C INTERNAL PRESSURE COEFFICIENT +/-0.55 E. WIND PRESSURE - COMPONENTS AND CLADDING PER ASCE 7-22 FOR EACH REQUIRED COMPONENT F. SEISMIC DESIGN DATA SEISMIC IMPORTANCE FACTOR 1.0 MAPPED SPECTRAL RESPONSE ACCELERATIONS, Ss 0.08g MAPPED SPECTRAL RESPONSE ACCELERATIONS, S1 0.059g SITE CLASS D SPECTRAL RESPONSE COEFFICIENTS, Sds 0.085g SPECTRAL RESPONSE COEFFICIENTS, Sd1 0.05g SEISMIC DESIGN CATEGORY B G. DEFLECTION CRITERIA ROOF LIVE LOAD L/180 3. SOILS INFORMATION BASED ON GEOTECHNICAL REPORT PREPARED BY ALLENDER BUTZKE ENGINEERS INC. REPORT NO. 251390, DATED DECEMBER 19, 2025. NET ALLOWABLE SOIL BEARING PRESSURES: SPREAD FOOTINGS 2,000 PSF CONTINUOUS WALL FOOTINGS 2,000 PSF 4. MINIMUM FROST PROTECTION DEPTH MEASURED FROM GRADE EXTERIOR FOOTING ADJACENT TO HEATED AREA (-3'-6") EXTERIOR FOOTING AT UNHEATED AREA (-3'-6") 5. SHEAR WALL WIND LOADS AT ROOF (1.0WL)



GENERAL NOTES

- 1. THE GENERAL STRUCTURAL NOTES ARE INTENDED TO SUPPLEMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THESE DRAWINGS AND THE SPECIFICATIONS NOTIFY THE ENGINEER OF ANY SUCH CONFLICTS. 2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL PROJECT DRAWINGS AND SPECIFICATIONS. REFER TO ALL DRAWINGS FOR THE COORDINATION OF THE WORK IN THIS PROJECT. 3. THE INTENT OF THESE PLANS AND NOTES IS TO PRESENT THE PROJECT REQUIREMENTS. MAJOR DETAILS HAVE BEEN SHOWN ON THE DRAWINGS. HOWEVER, CERTAIN MINOR DETAILS MUST BE WORKED OUT IN THE FIELD OR SHOP DRAWING PROCESS BY THE CONTRACTOR. 4. ELEVATIONS GIVEN ON PLANS ARE IN REFERENCE TO THE FINISHED FLOOR ELEVATION (+100'-0") WHICH IS EQUAL TO THE CIVIL DATUM OF (962.50'). 5. UNLESS NOTED OTHERWISE, DETAILS SHOWN ON DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS. 6. THE STRUCTURE IS DESIGNED TO BE STABLE AND SELF-SUPPORTING AFTER THE BUILDING IS FULLY ERECTED AND ALL CONNECTIONS ARE COMPLETED. UNLESS NOTED OTHERWISE, THE DRAWINGS DO NOT INDICATE THE MEANS AND METHODS OF CONSTRUCTION. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION TEMPORARY BRACING, GUYS AND TIE-DOWNS NECESSARY FOR THE ERECTION PROCESS. 7. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW THE APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. 8. CONTRACTOR'S CONSTRUCTION AND ERECTION SEQUENCE SHALL CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF THE STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD. 9. EXISTING CONDITIONS: A. DURING CONSTRUCTION THE CONTRACTOR MAY ENCOUNTER EXISTING CONDITIONS WHICH ARE NOT KNOWN OR ARE AT VARIANCE WITH PROJECT DOCUMENTATION (DISCOVERY). SUCH CONDITIONS MAY INTERFERE WITH THE NEW CONSTRUCTION OR REQUIRE PROTECTION AND/OR SUPPORT OF EXISTING WORK DURING CONSTRUCTION. IT MAY ALSO CONSIST OF DAMAGED OR DETERIORATION OF STRUCTURAL MATERIALS OR COMPONENTS WHICH COULD JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING(S). THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL DISCOVERIES WHICH MAY INTERFERE WITH THE PROPER EXECUTION OF THE WORK OR JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING(S) PRIOR TO PROCEEDING WITH THE WORK RELATED TO SUCH DISCOVERIES. B. CONTRACTOR SHALL INVESTIGATE THE SITE DURING EARTHWORK OPERATIONS FOR FILL MATERIAL OR BURIED STRUCTURES. IMMEDIATELY, NOTIFY THE ENGINEER IF ANY SUCH MATERIALS OR STRUCTURES ARE DISCOVERED. 10. STRUCTURAL COORDINATION A. THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL OPENINGS, HOLES AND SLEEVES THROUGH FOUNDATIONS AND OTHER STRUCTURAL ELEMENTS WITH THE MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS. NO OPENINGS SHALL PASS THROUGH STRUCTURAL MEMBERS UNLESS SHOWN ON THE DRAWINGS OR APPROVED BY THE ENGINEER. 11. BEFORE SUBMITTING A BID, EACH BIDDER SHALL VISIT THE SITE AND BECOME FULLY ACQUAINTED WITH THE EXISTING CONDITIONS, CONSTRUCTION REQUIREMENTS, RESTRICTIONS, QUANTITIES AND EQUIPMENT NECESSARY TO COMPLETE THE WORK. THE BID SHALL INCLUDE ALL ITEMS REQUIRED TO COMPLETE THE WORK WITHIN THE EXISTING CONDITIONS. DISRUPTION OF THE OWNERS NORMAL ACTIVITIES AROUND THE CONSTRUCTION SITE SHALL BE KEPT TO A MINIMUM. 12. ANY ENGINEERING DESIGN PROVIDED BY OTHER AND SUBMITTED FOR REVIEW OR RECORD SHALL BEAR THE STAMP AND SIGNATURE OF A PROFESSIONAL STRUCTURAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT EXISTS. 13. CONTRACTOR SHALL COORDINATE WORK SCHEDULES WITH THE OWNER TO ESTABLISH CONSTRUCTION SEQUENCING AROUND ANY OCCUPIED AREAS. CONTRACTOR SHALL NOT PROCEED TO OCCUPIED AREAS UNTIL AUTHORIZED BY THE OWNER. 14. ALL ELEMENTS AND SURFACES DAMAGED BY DEMOLITION, BUT NOT SCHEDULED FOR REMOVAL SHALL BE REPAIRED AND REFINISHED TO MATCH THE ADJACENT SURFACES AT NO ADDITIONAL COST TO THE OWNER. 15. CONTRACTOR SHALL REMOVE ALL DEBRIS AND WASTE MATERIALS RESULTING FROM CONSTRUCTION FROM THE SITE, UNLESS NOTED OTHERWISE. 16. CONTRACTOR SHALL MINIMIZE CREATION OF DUST, DIRT AND WINDBORNE DEBRIS FROM BLOWING ACROSS THE SITE AND ONTO ADJACENT SITES.

CAST-IN-PLACE CONCRETE

- 1. ALL CONCRETE SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTES PUBLICATIONS: ACI 301, ACI 305.1, ACI 306.1, ACI 315, AND ACI 318 UNLESS NOTED OTHERWISE. 2. CONCRETE COMPRESSIVE STRENGTH (28 DAY)(F'c) FOOTINGS 4000 PSI FOUNDATION WALLS AND PIERS 4000 PSI SLAB ON GRADE 4000 PSI 3. CONCRETE REINFORCEMENT STANDARDS: DEFORMED BARS ASTM A615 Fy = 60 KSI 4. ALL CONCRETE SHALL BE STONE AGGREGATE UNLESS NOTED OTHERWISE. SUBMIT MIX DESIGN AND DOCUMENTATION FOR APPROVAL PER ACI 318. 5. REINFORCEMENT PROTECTION A. CONCRETE PLACED AGAINST EARTH - 3" B. CONCRETE PLACED IN FORMS BUT EXPOSED TO WEATHER OR EARTH: a. BARS #5 AND SMALLER - 1 1/2" b. BARS LARGER THAN #5 - 2" C. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: a. SLABS, WALLS, AND JOISTS - 3/4" b. BEAMS, COLUMNS - 1 1/2" 6. WHERE REQUIRED, DOWELS SHALL MATCH THE SIZE, NUMBER AND SPACING OF THE MAIN REINFORCING UNLESS NOTED OTHERWISE. 7. ALL SPLICES, STANDARD HOOKS, AND DEVELOPMENT LENGTHS TO BE PER THE REFERENCED EDITION OF ACI 318. MAKE BARS CONTINUOUS AROUND CORNERS. ALL SPLICES SHALL BE BY CONTACT LAP. 8. ALL SPLICES SHALL BE A CLASS "B" TENSION SPLICE AS DEFINED IN ACI 318. PROVIDE LAP SPLICES LENGTHS AS FOLLOWS:

Table with 3 columns: BAR SIZE, TYPICAL, TOP BARS. Rows for #3, #4, #5, #6, #7, #8 with corresponding dimensions.

- LAP SPLICE LENGTHS GIVEN, ASSUME CLEAR SPACING BETWEEN BARS OF 2 BAR DIAMETERS, AND A MINIMUM CLEAR COVER OF 1 BAR DIAMETER. TOP BARS ARE DEFINED AS HORIZONTAL BARS WITH MORE THAN 12" ON FRESH CONCRETE BENEATH THE BARS. 9. WALLS AND GRADE BEAMS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE, UNLESS APPROVED BY THE ENGINEER. 10. CONSTRUCTION JOINTS IN STRUCTURAL CONCRETE WORK MUST BE MADE AT CENTER OF SPAN OR AT CENTER OF SUPPORT WITH VERTICAL BULKHEADS AND HORIZONTAL KEYS, UNLESS OTHERWISE SHOWN. 11. THERE SHALL BE NO ADDITIONAL OPENINGS LARGER THAN 10" IN CONCRETE WALLS AND SLABS NOT SHOWN. REFER TO CONCRETE OPENING DETAIL FOR ADDITIONAL REINFORCEMENT AROUND OPENINGS. 12. REINFORCING STEEL SHALL BE SECURELY FASTENED INTO FORMS PRIOR TO POURING CONCRETE. WET SETTING OF REINFORCING STEEL WILL NOT BE ACCEPTED PER ACI. 13. CONCRETE MIX - FOUNDATIONS STRENGTH - 4,000 PSI - 28 DAY COMPRESSIVE STRENGTH COARSE AGGREGATE 100% PASSING 1" SIEVE FINE AGGREGATE 100% PASSING 3/8" SIEVE FLY ASH - ASTM A615 MAXIMUM WATER/CEMENT RATIO 0.49 AIR CONTENT 6% +/- 1%

FOUNDATIONS - SLAB ON GRADE

- 1. ALL ORGANIC MATERIAL AND UNACCEPTABLE FILL MATERIAL SHALL BE REMOVED FROM BENEATH THE SLAB ON GRADE AS DIRECTED IN THE SOIL REPORT. EXPOSED SUBGRADE SHALL BE PROOF ROLLED WITH A HEAVY WEIGHTED VEHICLE OF ROLLER IN THE PRESENCE OF THE GEOTECHNICAL SPECIAL INSPECTION AGENCY. AREAS EXHIBITING RUTTING, PUMPING OR WEAKNESS SHALL BE REMOVED AND REPLACED WITH COMPACTED ACCEPTABLE FILL MATERIAL. 2. COMPACTION SHALL BE TESTED AND VERIFIED TO MEET 98% STANDARD PROCTOR MAXIMUM DRY DENSITY ACCORDANCE WITH ASTM D698. FOR RELATIVELY COHESIONLESS GRANULAR FILL WHICH HAS A PERCENT PASSING THE #200 SIEVE LESS THAN 10 PERCENT AND HAS ONLY A SLIGHT SENSITIVITY TO MOISTURE CHANGES, COMPACTION SHALL BE 75 PERCENT RELATIVE DENSITY IN ACCORDANCE WITH ASTM D4253 AND D4254. IF COMPACTION DOES NOT COMPLY, CONTRACTOR SHALL RECOMPACT AREA AND UNTIL TEST RESULTS ARE PASSING. AN AREA EXHIBITING WEAKNESS SUCH AS RUTTING OR PUMPING SHALL BE REMOVED AND REPLACED WITH COMPACTED GRANULAR FILL. 3. CONCRETE SLAB ON GRADE SHALL BE PLACED ON A 4" WELL GRADED COMPACTED GRANULAR FILL SUB-BASE. 4. PLACE ALL SLABS ON GRADE WITH AN APPROVED JOINT PATTERN SUBMITTED BY CONTRACTOR AND APPROVED BY ENGINEER OR AS SHOWN ON DRAWINGS. SEQUENCE OF CONSTRUCTION AND CONTROL JOINTS SHALL BE PLACED TO MINIMIZE SHRINKAGE CRACKS. 5. CONCRETE SLAB ON GRADES SHALL HAVE CONTROL JOINTS SAW CUT OR TOOLED. LOCATE JOINT ALONG COLUMN CENTER LINES WITH INTERMEDIATE JOINTS AT A MAXIMUM SPACING OF 36 TIMES THE SLAB THICKNESS, UNLESS NOTED OTHERWISE. SLAB JOINT PANELS SHALL HAVE A MAXIMUM LENGTH TO WIDTH RATIO OF 1.5:1. DO NOT STAGGER OR OFFSET JOINTS. PROVIDE ADDITIONAL JOINTS AT RE-ENTRANT CORNER. IF RE-ENTRANT CORNERS ARE UNAVOIDABLE, THEN ADDITIONAL REINFORCING COMPRISED OF (2) #4 BARS x 3'-0" SHALL BE PLACED IN THE CENTER OF THE SLAB DIAGONAL TO THE RE-ENTRANT CORNER CONDITION. PROVIDE SHOP DRAWING OF CONTROL JOINT PATTERN AND CORNER REINFORCING. 6. SAWCUT JOINTS AS SOON AS SURFACE WILL ALLOW WITHOUT EDGES RAVELING BUT PRIOR TO THE NEXT DAY AFTER THE POUR. 7. FLOOR FINISHES SHALL BE STEEL TROWELED FOR ALL INTERIORS AND BROOM FINISHED FOR ALL EXTERIORS UNLESS NOTED OTHERWISE. 8. UTILITY TRENCH BACKFILL UNDER THE SLAB ON GRADE SHALL MEET THE SAME COMPACTION REQUIREMENTS AS THE ORIGINAL SUBGRADE LISTED ABOVE. 9. SLOPE SLABS TO DRAINS TO CREATE POSITIVE DRAINAGE. PROVIDE DEPRESSIONS WHERE INDICATED ON ARCHITECTURAL DRAWINGS, WHILE MAINTAINING THE THICKNESS OF THE CONCRETE SLAB.

STRUCTURAL STEEL

- 1. STRUCTURAL STEEL SHALL CONFORM TO THE REFERENCED EDITION OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS". 2. STRUCTURAL STEEL MATERIAL STANDARDS ALL STEEL TO BE WEATHERING STEEL 3. STRUCTURAL STEEL CONNECTION STANDARDS: HEADED WELDED STUDS ASTM A108 TYPE B WELDING ELECTRODES (WEATHERING STEEL) AWS 5.1, E70XX 4. WELDING SHALL BE IN ACCORDANCE WITH STRUCTURAL WELDING CODE, AWS D1.1, LATEST EDITION, AND SHALL BE PERFORMED BY CERTIFIED WELDERS ONLY USING PROPER ELECTRODES FOR MATERIAL BEING WELDED. PROVIDE WELD SIZE IN ACCORDANCE WITH AISC SPECIFICATIONS, BUT NOT LESS THAN 3/16" FILLET, CONTINUOUS UNLESS OTHERWISE NOTED. 5. ALL STEEL SHALL BE CLEANED OF ALL RUST, LOOSE MILL SCALE AND OTHER FOREIGN MATERIALS. STEEL SHALL BE HAND TOOLED CLEANED (SSPC-SP2) OR POWER TOOL CLEANED (SSPC-SP3). 6. THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT PRIOR WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD. 7. ALL MISCELLANEOUS STEEL AS SHOWN OR REFERENCED ON THE ARCHITECTURAL DRAWINGS SHALL BE FABRICATED AND INSTALLED AS PART OF THE STRUCTURAL STEEL. 8. CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORES, GUYS, BRACES AND OTHER SUPPORTS DURING ERECTION TO KEEP STRUCTURAL STEEL SECURE, PLUMB AND IN ALIGNMENT AGAINST TEMPORARY CONSTRUCTION LOADS AND LOADS EQUAL TO DESIGN LOADS. REMOVE ALL TEMPORARY SUPPORTS WHEN PERMANENT STRUCTURAL STEEL FRAMING AND CONNECTIONS ARE COMPLETED.

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TELC BP#4 SHELTER AND PARKING LOT

STORY COUNTY CONSERVATION 1815 PLAZA LP, AMES, IA 50010

Table with 2 columns: DRAWN BY, APPROVED BY, ISSUED FOR, ISSUE DATE, PROJECT NUMBER, FIELD BOOK. Values include JPL, ETM, BIDDING, 02/10/2026, 2250011990.

STRUCTURAL GENERAL INFORMATION

S000

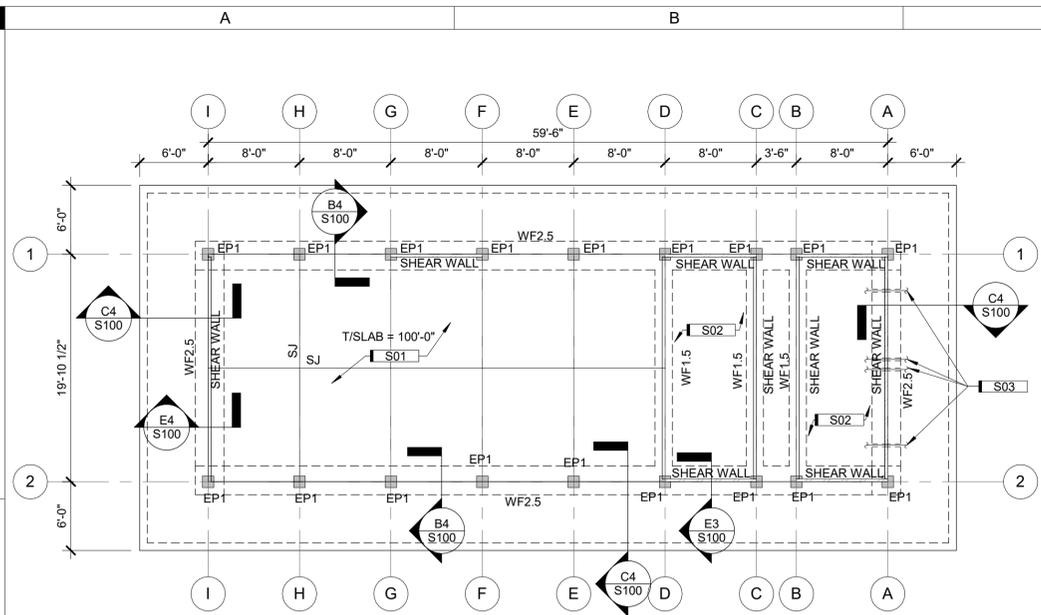
FOOTING SCHEDULE						
MARK	SIZE		LONGITUDINAL REINFORCING		TRANSVERSE REINFORCING	REMARKS
	WIDTH	DEPTH	BOTTOM	TOP		
WF1.5	1'-6"	3'-6"	(2) #6	(2) #6	#4 CLOSED STIRRUPS AT 24" OC	
WF2.5	2'-6"	3'-6"	(3) #6	(3) #6	#4 CLOSED STIRRUPS AT 24" OC	

**FOUNDATION PLAN NOTES**

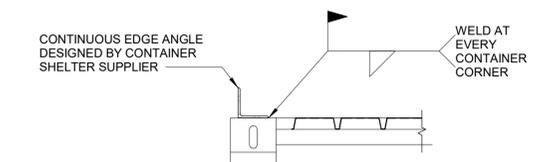
- SEE SHEET S000 FOR GENERAL NOTES.
- SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND INFORMATION NOT SHOWN ON THESE PLANS.
- NORTH ARROW SHOWN IS FOR STRUCTURAL REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL BUILDING ORIENTATION.
- "SJ" INDICATES SAWCUT JOINT, PROVIDE SAWCUT JOINTS AS INDICATED IN NOTES ON S000. FOR SAWCUT JOINTS SEE DETAIL B3/S100.
- PROVIDE CORNER BARS AT FOUNDATION CORNERS AND T-INTERSECTIONS PER DETAIL D3/S500.
- "WFX" INDICATES CONTINUOUS WALL FOOTINGS. SEE S100 FOR WALL FOOTINGS SCHEDULE. T/FTG = 99'-5" UNLESS NOTED OTHERWISE.
- "EPX" INDICATES STEEL EMBEDMENT PLATE. SEE EMBEDMENT PLATE DETAILS ON SHEET S100.
- CONTRACTOR SHALL COORDINATE ALL FOUNDATION WALL AND SLAB OPENING REQUIREMENTS WITH MEP CONTRACTORS. FOR ADDITIONAL INFORMATION SEE DETAIL D2/S100.

**KEYNOTES**

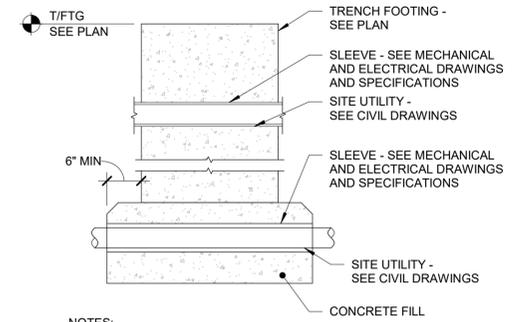
KEY	NOTE
S01	4" THICK CONCRETE SLAB ON GRADE REINFORCED WITH #4 AT 18" ON CENTER. SEE SLAB ON GRADE DETAIL ON SHEET S100 FOR MORE INFORMATION.
S02	4" THICK CONCRETE MUD SLAB. T/SLAB = 99'-5".
S03	PIPE SLEEVE THROUGH FOOTING. SEE DETAIL D2/S100. COORDINATE LOCATION AND SIZE WITH MECHANICAL CONTRACTOR BEFORE INSTALLING THE FOOTING.



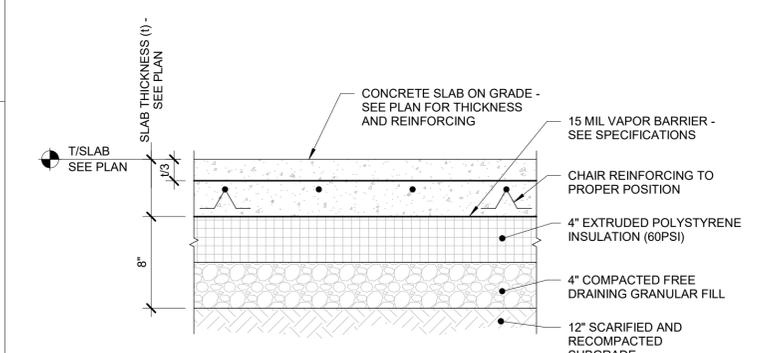
**A2 FOUNDATION PLAN**  
1/8" = 1'-0" 0 12'



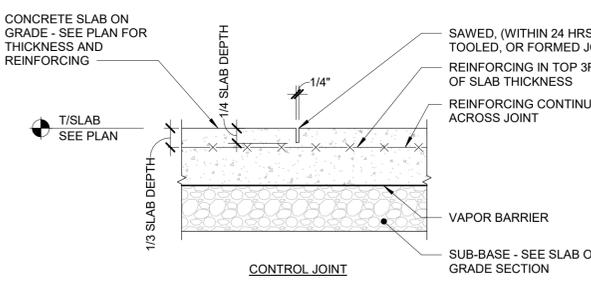
**C2 ROOF EDGE DETAIL**  
1" = 1'-0" 0 1'-6"



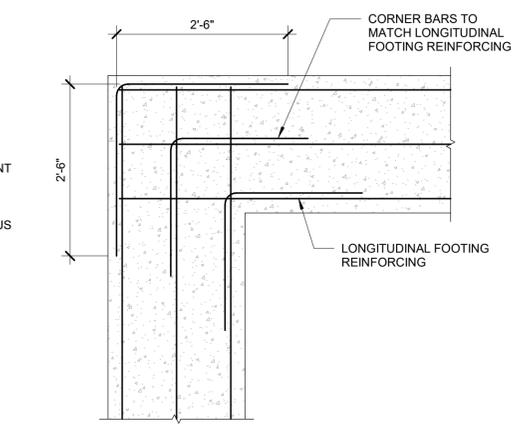
**D2 FOUNDATION WALL DETAIL AT SITE UTILITIES**  
3/4" = 1'-0" 0 2'



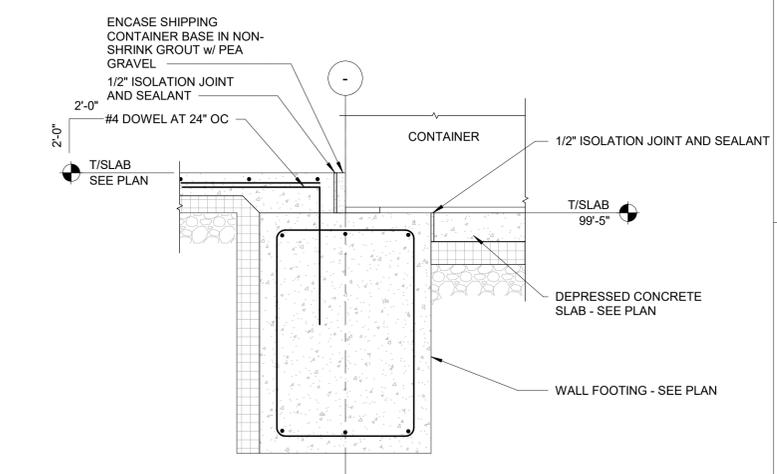
**A3 TYPICAL SLAB ON GRADE SECTION**  
1 1/2" = 1'-0" 0 1'



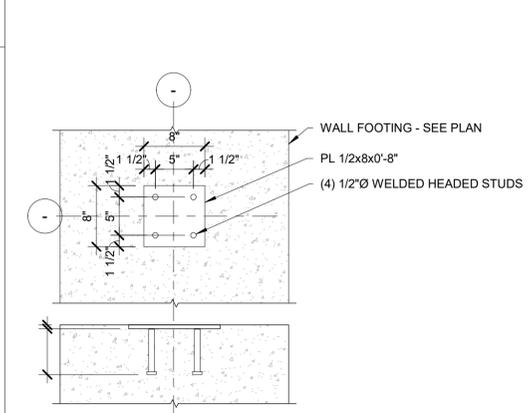
**B3 TYPICAL SAWCUT JOINT DETAIL**  
1 1/2" = 1'-0" 0 1'



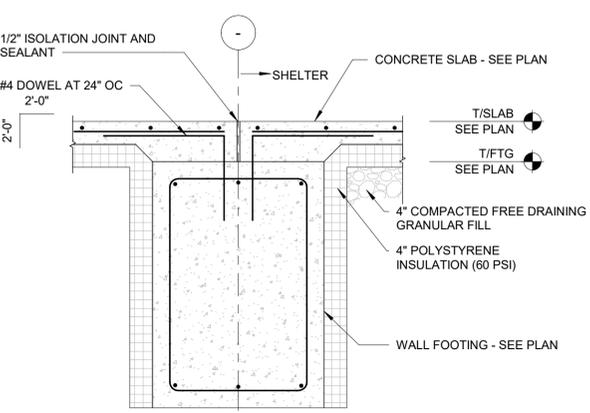
**D3 TYPICAL FOOTING CORNER BARS**  
3/4" = 1'-0" 0 2'



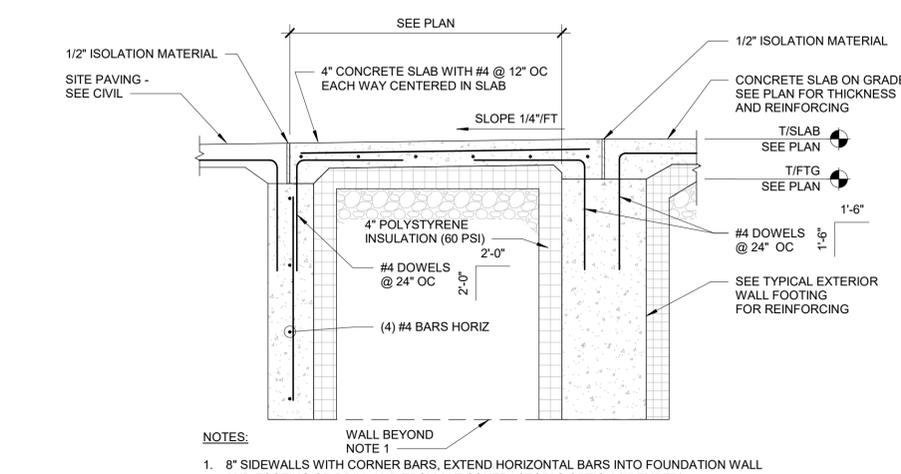
**E3 TRENCH FOOTING AT DEPRESSED SLAB**  
3/4" = 1'-0" 0 2'



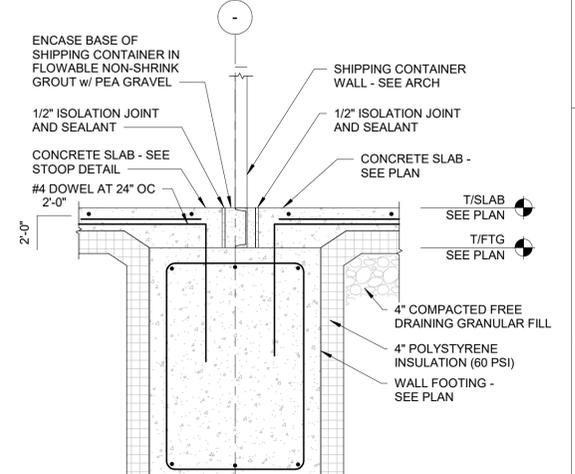
**A4 EMBED PLATE DETAIL**  
1" = 1'-0" 0 1'-6"



**B4 TRENCH FOOTING AT SHELTER OPENING**  
3/4" = 1'-0" 0 2'



**C4 STOOP AROUND SHELTER PERIMETER**  
3/4" = 1'-0" 0 2'



**E4 SHIPPING CONTAINER ENCASEMENT**  
3/4" = 1'-0" 0 2'

DRAWN BY	JPL
APPROVED BY	EMT
ISSUED FOR	BIDDING
ISSUE DATE	02/10/2026
PROJECT NUMBER	2250011990
FIELD BOOK	

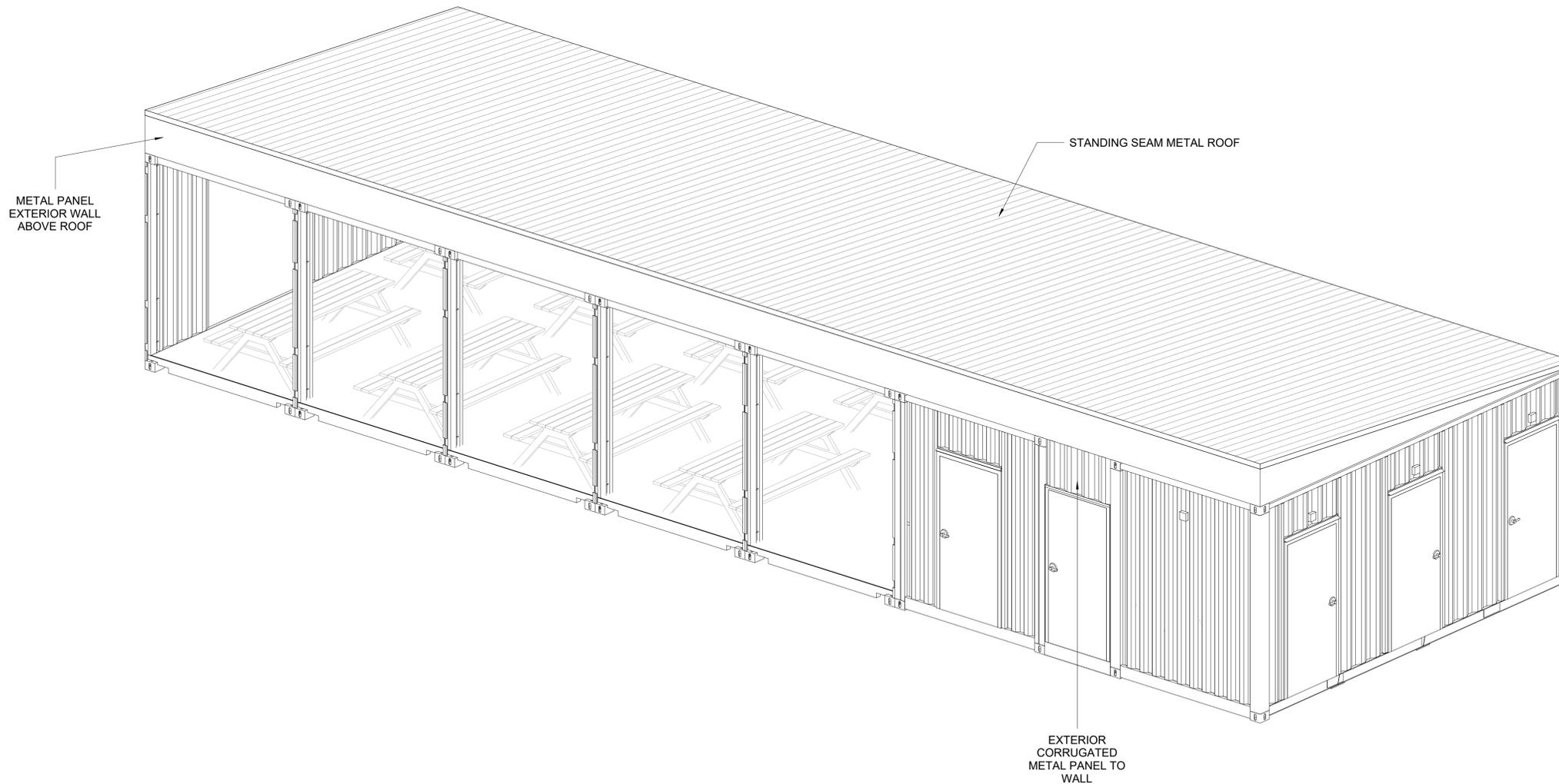
4125 Westown Parkway, Suite 100
515.223.8104
West Des Moines, IA 50266   SHIVEHATTERY.COM

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# PHASE 01 - FOR COORDINATION

NOT FOR CONSTRUCTION

01.22.2026



EXTERIOR RENDERING IS FOR VISUALIZATION PURPOSES ONLY. COLOR, FINISHES, AND MATERIALS MAY DIFFER FROM WHAT IS SHOWN.

# SHIVE HATTERY TELC

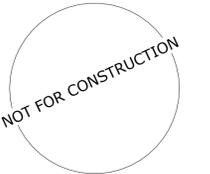
1815 PLAZA LP  
AMES, IA 50010



12223 Farm to Market Rd 529,  
Houston, TX 77041

**SHIVE HATTERY TELC**  
**MULTI-CONTAINER SHELTER**

SIGNATURE & SEAL



DISCLAIMER: THIS DRAWING HAS NOT BEEN PUBLISHED BUT RATHER HAS BEEN PREPARED BY ROXBOX CONTAINERS FOR USE BY THE CLIENT NAMED IN THE TITLE BLOCK SOLELY IN RESPECT OF THE CONSTRUCTION, OPERATION AND MAINTENANCE OF THE FACILITY NAMED IN THE TITLE BLOCK AND SHALL NOT BE USED FOR ANY OTHER PURPOSES OR FURNISHED TO ANY OTHER PARTY WITHOUT THE EXPRESS CONSENT OF ROXBOX CONTAINERS.

No.	Description	Date

SHIVE HATTERY TELC

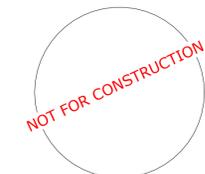
COVER

Project number	2548
Date	01.22.2026
Drawn by	JA
Checked by	ROXBOX

A000

**SHIVE HATTERY TELC**  
**MULTI-CONTAINER SHELTER**

SIGNATURE & SEAL



DISCLAIMER: THIS DRAWING HAS NOT BEEN PUBLISHED BUT RATHER HAS BEEN PREPARED BY ROXBOX CONTAINERS FOR USE BY THE CLIENT NAMED IN THE TITLE BLOCK SOLELY IN RESPECT OF THE CONSTRUCTION, OPERATION AND MAINTENANCE OF THE FACILITY NAMED IN THE TITLE BLOCK AND SHALL NOT BE USED FOR ANY OTHER PURPOSES OR FURNISHED TO ANY OTHER PARTY WITHOUT THE EXPRESS CONSENT OF ROXBOX CONTAINERS.

No.	Description	Date

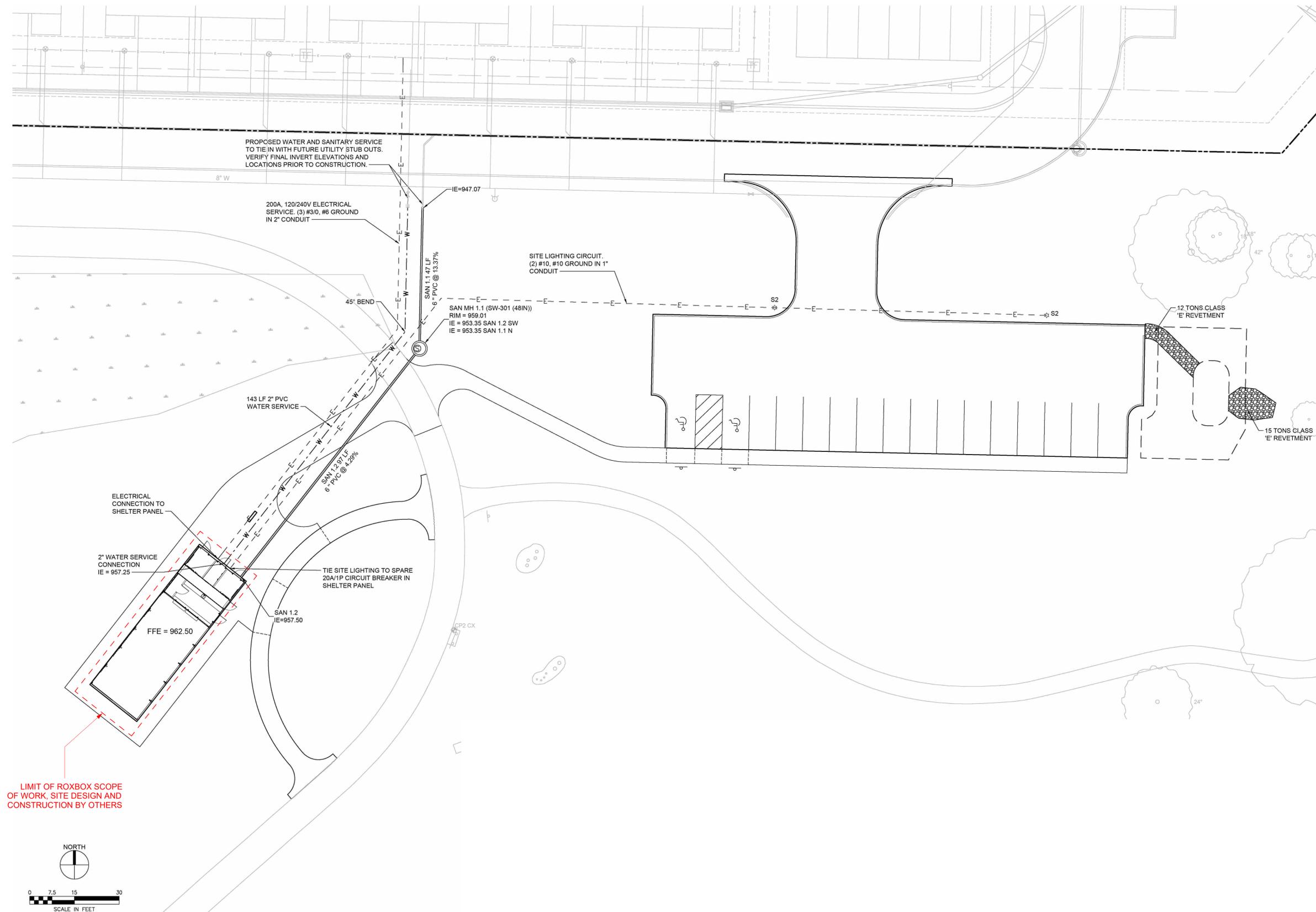
SHIVE HATTERY TELC

**SITE PLAN**

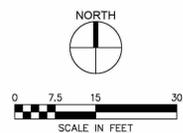
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Date	01.22.2026
Drawn by	JA
Checked by	DS

**A003**

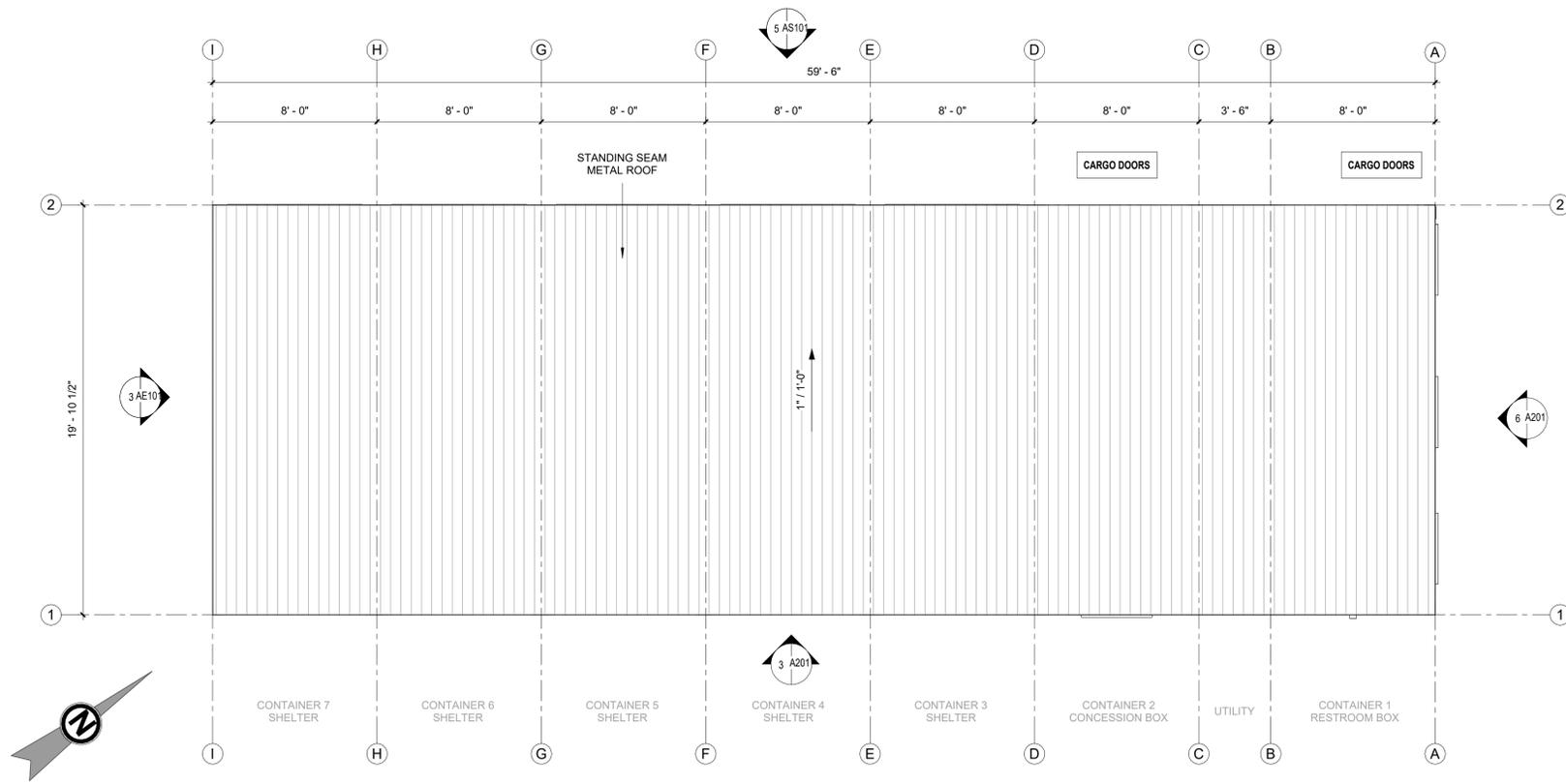
Scale As indicated



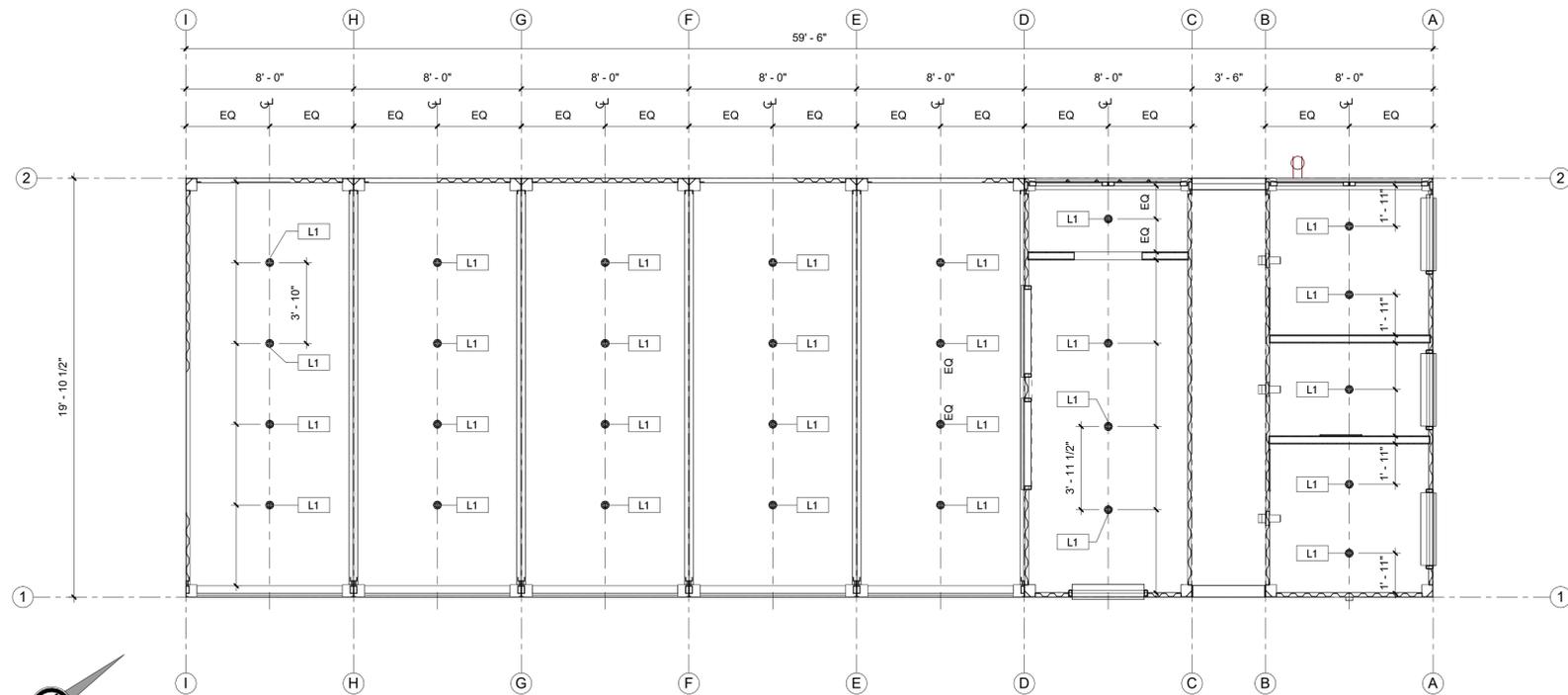
LIMIT OF ROXBOX SCOPE OF WORK, SITE DESIGN AND CONSTRUCTION BY OTHERS



SITEPLAN  
1" = 1'-0"



1 ROOF PLAN  
1/4" = 1'-0"



2 RCP - LEVEL 01  
1/4" = 1'-0"

**GENERAL NOTES**

1. ALL UNMARKED PARTITIONS ARE TYPE W1.
2. KITCHEN EQUIPMENT SHOWN FOR REFERENCE ONLY AND IS TO BE FURNISHED & INSTALLED BY OTHERS.
3. FOR LIFE SAFETY PLANS, REFER TO A001 DRAWING.
4. REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
5. ALL PLAN DIMENSIONS ARE TAKEN TO THE GRIDLINE (OUTSIDE OF CONTAINER) AND TO THE OUTERMOST SURFACE OF THE WALL (INCLUDING TILE, STONE, PLASTER, ETC. EXCLUDING TRIM) UNLESS NOTED OTHERWISE.
6. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
7. INTERIOR SUB FLOOR = 0'-7" ABOVE LEVEL 01 (ADJACENT SITE ELEVATION TBD)
8. REFER TO A601 SHEET SERIES FOR INTERIOR FINISH INFORMATION
9. INTUMESCENT PAINT TO BE APPLIED OVER SPRAY FOAM INSULATION BETWEEN THE INTERIOR SPACE AND INSULATION, TYPE: DC315 ESR 3702

**KEYED NOTES**

NUMBER	DESCRIPTION
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**FLOOR PLAN & RCP LEGEND**

SYMBOL	DESCRIPTION
###	KEYED NOTES:
1t	PARTITION TAG REFER TO PARTITION SCHEDULE
2 A201	BUILDING SECTION TAG WALL SECTION TAG
1 A-211	INTERIOR ELEVATION TAG
1 A201	EXTERIOR ELEVATION TAG
ROOM NAME 101	ROOM NAME ROOM NUMBER
1002	NEW DOOR WITH DOOR TAG REF DOOR SCHED
W1	WINDOW TAG REF WINDOW SCHED
A	STRUCTURAL GRID DESIGNATIONS
2 x 6	STRUCTURAL FRAMING TAG, RE: ELECTRICAL DRAWINGS
##-##	SPOT ELEVATION FINISHED CEILING (ABOVE SUBFLOOR ELEVATION)
FD	FLOOR DRAIN, RE: PLUMBING DRAWINGS
GFCl	GFCI DUPLEX OUTLET, RE: ELECTRICAL DRAWINGS
WP	WEATHER PROOF OUTLET, RE: ELECTRICAL DRAWINGS
220V	220V OUTLET, RE: ELECTRICAL DRAWINGS
J	SURFACE MOUNTED JUNCTION BOX, RE: ELECTRICAL DRAWINGS
GAS	GAS CONNECTION, RE: PLUMBING DRAWINGS
S	LIGHT SWITCH W/LIGHTING CONTROLS, RE: ELECTRICAL DRAWINGS
L1	LIGHT FIXTURE TAG
	SURFACE MOUNTED LIGHT FIXTURE, RE: ELECTRICAL DRAWINGS
	WALL MOUNTED EMERGENCY LIGHT & EXIT SIGN
	WALL MOUNTED MINI-SPLIT SYSTEM, RE: MECHANICAL DRAWINGS



12223 Farm to Market Rd 529,  
Houston, TX 77041

SHIVE HATTERY TELC  
MULTI-CONTAINER SHELTER

SIGNATURE & SEAL



DISCLAIMER: THIS DRAWING HAS NOT BEEN PUBLISHED BUT RATHER HAS BEEN PREPARED BY ROXBOX CONTAINERS FOR USE BY THE CLIENT NAMED IN THE TITLE BLOCK SOLELY IN RESPECT OF THE CONSTRUCTION, OPERATION AND MAINTENANCE OF THE FACILITY NAMED IN THE TITLE BLOCK AND SHALL NOT BE USED FOR ANY OTHER PURPOSES OR FURNISHED TO ANY OTHER PARTY WITHOUT THE EXPRESS CONSENT OF ROXBOX CONTAINERS.

No.	Description	Date

SHIVE HATTERY TELC

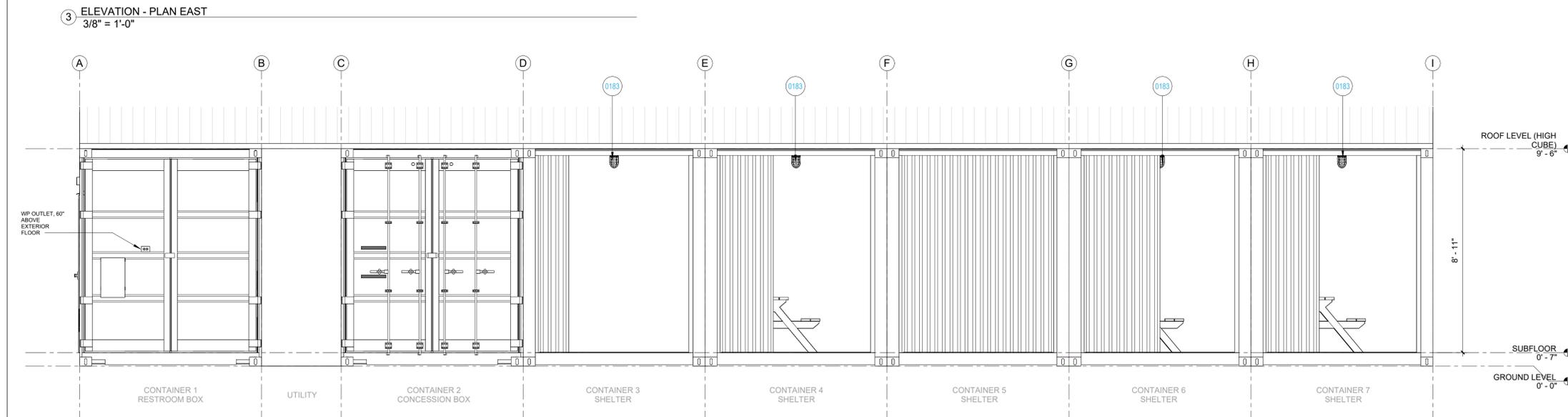
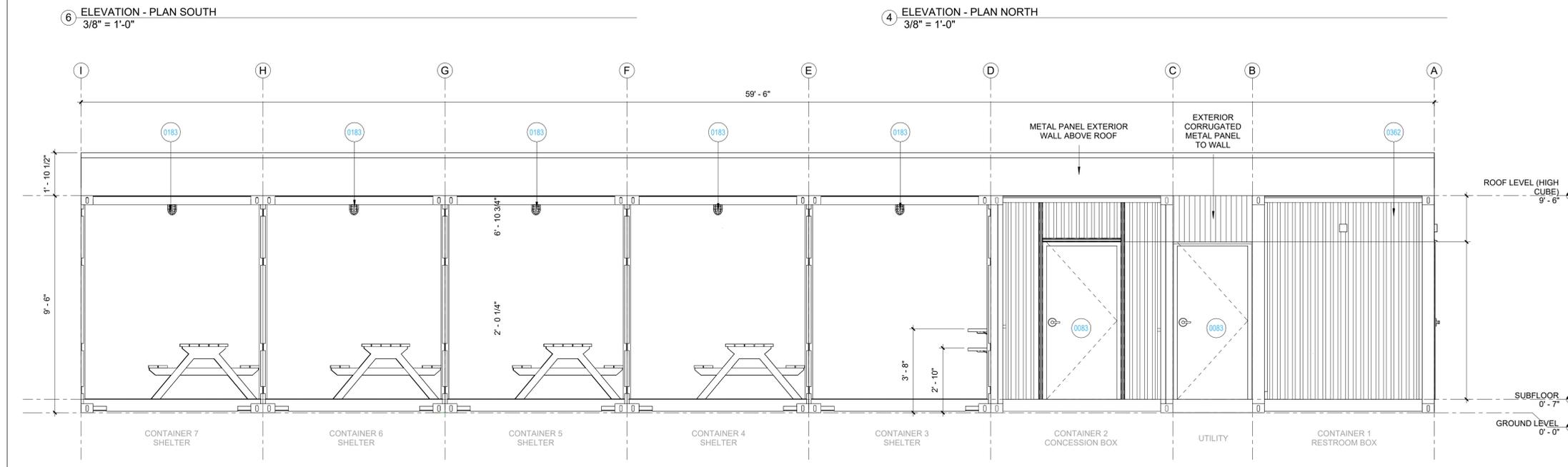
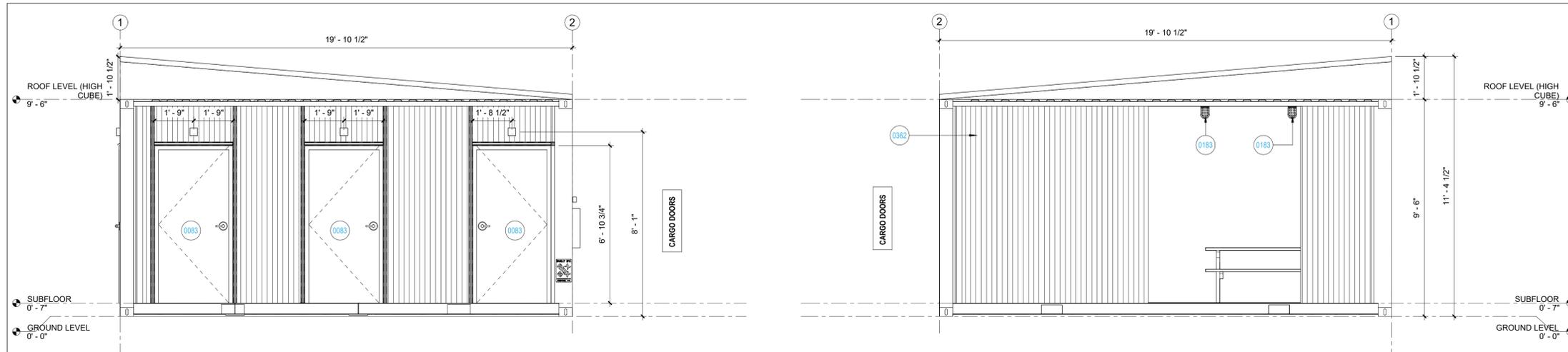
**ROOF PLANS & REFLECTED CEILING PLAN**

Project number 2548  
Date 01.22.2026  
Drawn by JA  
Checked by Checker

**A101**

Scale As indicated





- ### GENERAL NOTES
- ALL UNMARKED PARTITIONS ARE TYPE W1.
  - KITCHEN EQUIPMENT SHOWN FOR REFERENCE ONLY AND IS TO BE FURNISHED & INSTALLED BY OTHERS.
  - FOR LIFE SAFETY PLANS, REFER TO A001 DRAWING.
  - REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
  - ALL PLAN DIMENSIONS ARE TAKEN TO THE GRIDLINE (OUTSIDE OF CONTAINER) AND TO THE OUTERMOST SURFACE OF THE WALL (INCLUDING TILE, STONE, PLASTER, ETC. EXCLUDING TRIM) UNLESS NOTED OTHERWISE.
  - INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
  - INTERIOR SUB FLOOR = 0'-7" ABOVE LEVEL 01 (ADJACENT SITE ELEVATION TBD)
  - REFER TO A601 SHEET SERIES FOR INTERIOR FINISH INFORMATION
  - INTUMESCENT PAINT TO BE APPLIED OVER SPRAY FOAM INSULATION BETWEEN THE INTERIOR SPACE AND INSULATION, TYPE: DC315 ESR 3702

### KEYED NOTES

NUMBER	DESCRIPTION
0083	HM STEEL DOOR BY: TELL MANUFACTURING, RE: DOOR SCHEDULE
0183	STANDARD CAGE LIGHT
0362	EXPOSED SHIPPING CONTAINER, WITH PAINTED FINISH, COLOR SPECIFIED ON SHEET A601



# SHIVE HATTERY TELC MULTI-CONTAINER SHELTER

SIGNATURE & SEAL  
*NOT FOR CONSTRUCTION*

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No.	Description	Date

SHIVE HATTERY TELC

## EXTERIOR ELEVATIONS & BUILDING SECTIONS

Project number 2548  
Date 01.22.2026  
Drawn by JA  
Checked by Checker

### A201

Scale As indicated