

The Board of Supervisors met on 12/6/22 at 10:00 a.m. in the Story County Administration Building. Latifah Faisal, Linda Murken, and Lisa Heddens, with Faisal presiding. (all audio of meetings available at storycountyiowa.gov).

ADOPTION OF AGENDA: Murken moved, Heddens seconded adopting the agenda. Motion carried unanimously (MCU) on a roll call vote.

CENTRAL IOWA RETIRED SENIOR VOLUNTEER PROGRAM (RSVP) ANNUAL REPORT: Kalen Peterson, Director, reported on funding sources and general operating budget, special grants and support, increase in volunteers, programs and new program, and the RSVP/Heartland Senior Services (HSS) grocery delivery program.

SUMMIT CARBON SOLUTIONS QUARTERLY UPDATE: Derek Montgomery and Bill Sullivan, both of TurnKey Logistics and representing Summit Carbon Solutions, a company which recently filed suit in federal court against the County regarding its public safety setback ordinance, presented on the proposed pipeline.

MINUTES: 11/29/22 Minutes – Heddens moved, Murken seconded the approval of 11/29/22 Minutes as presented. Roll call vote. (MCU)

PERSONNEL ACTIONS: 1) pay adjustment, effective 12/4/22, in a) Sheriff's Office for Cody Hamilton @ \$2,604.28/bw; effective 12/18/22 for Clark Blau @ \$2,649.20/bw; Nathan Gruis @ \$2,708.24/bw; Cody Hamilton @ \$2,721.04/bw; Aaron Kester @ \$2,970.64/bw; Tammy Sonich @ \$19.13/hr. Murken moved, Heddens seconded the approval of personnel actions as presented. Roll call vote. (MCU)

CLAIMS: 12/8/22 Claims of \$916,235.60 (run date 12/02/22, 30 pages, on file in the Auditor's Office) and authorize the Auditor to issue checks in payments of these claims and payment requests from Central Iowa Drug Task Force (\$6,851.17), BooST School Ready (\$22,158.05), BooST Early Childhood (\$375.00), Emergency Management (\$450.07), E911 (\$925.32), County Assessor (\$2,388.27), City Assessor (\$70,024.63), Central Iowa Community Services (\$421,986.71), and General Election workers (\$61,687.90). Heddens moved, Murken seconded approving claims as presented. Roll call vote. (MCU)

Murken moved, Heddens seconded the approval of Consent Agenda as presented.

1. Final Design Plans for Bridge Replacement on 535th Avenue over Ballard Creek in Section 15-82-24 (Palestine Township) (L-C085(P15E)--73-85)
2. Final Design Plans for RCB Culvert New - Single Box on 640th Avenue over an unnamed stream in Section 9-82-22 (Indian Creek Township) (L-IC9--73-85)
3. Final Design Plans for RCB Culvert New-Single Box over a small stream, in the Southwest Quarter of Section 23-82-21 (Collins Township) (L-C23--73-85)
4. Final Design Plans for RCB Culvert New-Twin Box on 578th Avenue over Coon Creek in Section 32-82-23 (Union Township) (L-U32--73-85)
5. Final Design Plans for RCB Culvert Replacement-Single Box on 150th Street over an unnamed creek, in Section 36-85-21 (Lincoln Township) (L-LIN36--73-85)
6. Contract with Finco Tree Service for removing ash trees and stumps along the Praeri Rail Trail in McCallsburg, effective 12/22-4/23, not to exceed \$9,600.00
7. Resolution #23-46, Assessed/Taxable Values of Utility Companies for 2022 – Payable in 2023-2024 Fiscal Year
8. Acknowledge Receipt of the FY22 General Accounting Standards Board (GASB) 75 Interim Actuarial Valuation Report
9. Setting Bid Opening Date for Soper's Mill Access Improvements for 1/3/23, at 10:00 a.m. in the Public Meeting Room at the Story County Administration Building
10. Facilities Management Quarterly Report
11. Utility Permit: #23-6697
12. Conservation Quarterly Report

Roll call vote. (MCU)

REVISED HOLIDAY POLICY ADDING JUNETEENTH AS A COUNTY OBSERVED HOLIDAY (FOR SEVEN-DAY REVIEW): Alissa Wignall, Director of Internal Operations and Human Resources, reported on previous discussions to add this federal holiday. It is standard across Iowa for larger counties to have 11-12 paid holidays in the calendar year; most recognize this holiday. Heddens moved, Murken seconded the approval of the Revised Holiday Policy adding Juneteenth as a County Observed Holiday, subject to seven-day review. Roll call vote. (MCU)

PROPOSAL FROM THE STORY COUNTY COLLEGE ACCESS NETWORK (SCCAN) FOR AN INVESTMENT OF \$20,000.00 FOR FY24: Jamet Colton, SCCAN Director, reported on the request which will bridge a funding gap. She provided detail about programs and funding. Extensive discussion took place regarding budget options and timeline. Andy Fish, Education Initiatives Coordinator, United Way of Story County, provided additional detail. Discussion took place. Colton provided detail on funding gap in the calendar. Additional discussion took place. Colton reported on additional funding from Iowa College Aid. Murken moved, Heddens seconded the approval of the proposal from SCCAN for an investment of \$20,000.00 for FY24 to SCCAN from General Fund fund balance. Roll call vote. (MCU)

RESOLUTION #23-40, STRUTHERS' SUBDIVISION, RESIDENTIAL: Amelia Schoeneman, Planning and Development Director, reported on the proposed subdivision, the subdivision process, staff analysis, and alternatives. Heddens moved, Murken seconded the approval of Resolution #23-40, Struthers' Subdivision, Residential as submitted. Roll call vote. (MCU)

RESOLUTION #23-41, STH SUBDIVISION, RESIDENTIAL: Marcus Amman, Planner, Planning and Development, reported on the proposal, the subdivision process, property location. He reported receiving no public comments and recommended approval as presented. Discussion took place. Schoeneman reported on deadlines. Murken moved, Heddens seconded the approval of Resolution #23-41, STH Subdivision, Residential as submitted. Roll call vote. (MCU)

CITY OF AMES' PROPOSED CHANGES TO THE DRAFT AMES URBAN FRINGE PLAN AND RESOLUTION #23-47 EXTENDING THE AMES URBAN FRINGE PLAN 28E AGREEMENT TO 4/30/23: Amelia Schoeneman, Planning and Development Director, reported on plan edits. Today's request is to extend the existing agreement; the Board is not taking action on the proposed plan today. Schoeneman reported on the significant benefits to the County of having a fringe plan. She reviewed the benefits in detail. Having no plan or a plan limited to subdivision review would result in a loss of benefits. Murken asked about annexation and authority. Schoeneman reported on policy and procedure. Discussion took place. Murken asked about the area between the cities of Ames and Gilbert. Schoeneman reported on the land division request, and reviewed changes accepted by the City of Ames. She reported the Board will

need to determine if the City's proposed compromises on the issues of removing limitations on conditional uses in the Urban Reserve Overlay and Urban Growth areas and not permitting annexation of areas in the Urban Reserve Overlay are acceptable. The City of Ames did not accept the Board's request to change the designation of the Champlin property, but did agree to designate Meadow Glen as Rural Residential – Existing. Additional discussion took place. Schoeneman reported the Ames City Council does not want staff to go back and forth with requested changes. Murken stated there should be more negotiations. Additional discussion took place. Schoeneman reported on conditional uses and reduction of lot size requirements. She recommends accepting the changes as proposed by the City of Ames and directing County staff to work with the staffs of Ames and Gilbert to create a final plan and 28E agreement, and schedule public hearings for the first quarter of calendar 2023. Faisal asked for public comments. Christy Hausner, Ames, spoke about another approach and different options. Liesel Danielson, Washington Township, spoke in opposition to the plan. Alex Christiansen, Washington Township, is opposed to having an urban fringe plan. Phil Iasevoli, Washington Township, spoke in opposition to the plan. Kim Christiansen, Washington Township, spoke in opposition to the plan. Kent Vickre, Washington Township, spoke in opposition to the plan. Brad Perkins, Washington Township, is opposed to having an urban fringe plan. Becky Christiansen, Washington Township, asked for another approach. James Arthur, Ames, stated concerns about the plan. Steve Andrews, Washington Township, asked about the Meadow Glen subdivision and annexation. Schoeneman reported on the 2040 plan in the southwest. Faisal asked to respond. Schoeneman stated the Board can approve Alternative 2: request additional changes, and staff can return to a future meeting with a letter outlining any additional changes for action. Additional discussion took place. Schoeneman predicted further negotiations will likely be unsuccessful. Heddens stated if you don't ask, then it's a no. The Board clarified the changes to request and Schoeneman responded. Murken moved, Heddens seconded the approval to direct staff to make additional changes to the County's proposal to the fringe plan and return next week for additional action. Roll call vote. (MCU) Heddens moved, Murken seconded to approve Resolution 23-47, Extending the Ames Urban Fringe Plan 28E Agreement to 4/30/23. Roll call vote. (MCU)

UPDATE FROM THE GO GREEN TEAM: Bre Van Sickle, Engineer's Office, provided an overview of activities. Amelia Schoeneman reported on projects and priorities.

Heddens moved, Murken seconded to adjourn at 1:12 p.m. Roll call vote. (MCU)

Story County Board of Supervisors Meeting Agenda
Administration Building
900 6th St., Nevada, IA
12/6/22

1. **SPECIAL NOTE TO THE PUBLIC:** This Meeting Is Also Being Offered Via Zoom. While Joining Via Zoom, If You Have A Question And/Or Comment, You May Raise Your Hand To Speak During Public Forum Or Use The Chat Feature And The Chair Will Ask The Zoom Moderator To Review All Comments During Public Forum.

Members of the public can participate by using the information below:

To join the zoom meeting by computer, tablet, smartphone:

Join from a PC, Mac, iPad, iPhone or Android device:

Please click this URL to join.

[HTTPS://US02WEB.ZOOM.US/J/89020467327?](https://us02web.zoom.us/j/89020467327?pwd=SNNXWfVJN1HYTXVDB3Z3RUPLB2TVQT09)
[PWD=SNNXWfVJN1HYTXVDB3Z3RUPLB2TVQT09](https://us02web.zoom.us/j/89020467327?pwd=SNNXWfVJN1HYTXVDB3Z3RUPLB2TVQT09)

Passcode: 018323

Description: Weekly Board Meeting

Or One tap mobile:

+16469313860,,89020467327#,,,,*018323# US

+19292056099,,89020467327#,,,,*018323# US (New York)

Or join by phone:

Dial (for higher quality, dial a number based on your current location):

US: +1 646 931 3860 or +1 929 205 6099 or +1 301 715 8592 or +1 309 205 3325 or
+1 312 626 6799 or +1 719 359 4580 or +1 253 215 8782 or +1 346 248 7799 or +1 386
347 5053 or +1 564 217 2000 or +1 669 444 9171 or +1 669 900 6833

Webinar ID: 890 2046 7327

Passcode: 018323

International numbers available:

[HTTPS://US02WEB.ZOOM.US/U/KQDBHTWZL](https://us02web.zoom.us/j/89020467327?pwd=SNNXWfVJN1HYTXVDB3Z3RUPLB2TVQT09)

2. CALL TO ORDER: 10:00 A.M.

3. PLEDGE OF ALLEGIANCE:

4. ADOPTION OF AGENDA:

5. PUBLIC COMMENT #1:

This comment period is for the public to address topics on today's agenda

6. AGENCY REPORTS:

- I. Central Iowa RSVP Annual Report - Kalen Peterson, Director

Department Submitting Auditor

Documents:

CENTRAL IA RSVP.PDF

7. Summit Carbon Solutions Quarterly Update - Derek Montgomery & Bill Sullivan

Department Submitting Auditor

Documents:

SUMMIT CARBON SOLUTIONS.PDF

8. CONSIDERATION OF MINUTES:

I. 11/29/22 Minutes

Department Submitting Auditor

9. CONSIDERATION OF PERSONNEL ACTIONS:

I. Action Forms

1) pay adjustment, effective 12/4/22, in a) Sheriff's Office for Cody Hamilton @ \$2,604.28/bw; effective 12/18/22 for Clark Blau @ \$2,649.20/bw; Nathan Gruis @ \$2,708.24/bw; Cody Hamilton @ \$2,721.04/bw; Aaron Kester @ \$2,970.64/bw; Tammy Sonich @ \$19.13/hr.

Department Submitting HR

10. CONSIDERATION OF CLAIMS:

I. 12/8/22 Claims

Department Submitting Auditor

Documents:

CLAIMS 120822.PDF

11. CONSENT AGENDA:

(All items listed under the consent agenda will be enacted by one motion. There will be no separate discussion of these items unless a request is made prior to the time the Board votes on the motion.)

I. Consideration Of Final Design Plans For Bridge Replacement On 535th Ave.; Over Ballard Creek In Section 15-82-24(L-C085(P15E)-73-85)

Department Submitting Engineer

Documents:

FP BRIDGE 535TH.PDF

II. Consideration Of Final Design Plans For RCB Culvert New - Single Box On 640th Ave. Over Unnamed Stream, Section 9-82-22(L-IC9-73-85)

Department Submitting Engineer

Documents:

FP RCB CULVER 640TH.PDF

III. Consideration Of Final Design Plans For RCB Culvert New-Single Box Over Small Stream, In The SW1/4 Of Section 23-82-21(L-C23-73-85)

Department Submitting Engineer

Documents:

FP RCB CULVERT SEC 23.PDF

IV. Consideration Of Final Design Plans For RCB Culvert New-Twin Box On 578th Ave. Over Coon Creek, Section 32-82-23(L-U32-73-85)

Department Submitting Engineer

Documents:

FP RCB CULVERT 578TH.PDF

V. Consideration Of Final Design Plans For RCB Culvert Replacement-Single Box On 150th St. Over Unnamed Creek, Section 36-85-21

Department Submitting Engineer

Documents:

FP RCB CUVERT 150TH.PDF

VI. Consideration Of Contract With Finco Tree Service For Removing Ash Trees And Stumps Along The Prairie Rail Trail In McCallsburg Effective 12/2022 - 4/2023 Not To Exceed \$9,600.00

Department Submitting Conservation

Documents:

FINCO TREE SERVICE.PDF

VII. Consideration Of Resolution #23-46, Assessed/Taxable Values Of Utility Companies For 2022 – Payable In 2023-2024 Fiscal Year

Department Submitting Auditor

Documents:

RESOLUTION 2346.PDF

VIII. Acknowledge Receipt Of The FY22 General Accounting Standards Board (GASB) 75 Interim Actuarial Valuation Report

Department Submitting Auditor

Documents:

GASB 75.PDF

- IX. Consideration Of Setting Bid Opening Date For January 3, 2023, At 10:00AM In The Board Room At The Story County Administration Building For Soper's Mill Access Improvements

Department Submitting Conservation

- X. Consideration Of Facilities Management Submitted Quarterly Report

Department Submitting Auditor

Documents:

FM QTR.PDF

- XI. Consideration Of Utility Permit(S): #23-6697

Department Submitting Engineer

Documents:

UT 23 6697.PDF

- XII. Consideration Of Submitted Conservation Quarterly Report

Department Submitting Auditor

Documents:

CONSERVATION QTR.PDF

12. PUBLIC HEARING ITEMS:

13. ADDITIONAL ITEMS:

- I. Discussion And Consideration Of Revised Holiday Policy Adding Juneteenth As A County Observed Holiday (For 7 Day Review) - Alissa Wignall

Department Submitting Human Resources

Documents:

REVISED HOLIDAY POLICY.PDF

- II. Consideration Of Proposal From The Story County College Access Network (SCCAN) For An Investment Of \$20,000 For FY24 - Andy Fish, Education Initiatives Coordinator & Jamet Colton, SCCAN Director

Department Submitting BOS

Documents:

SCCAN PROPOSAL PACKET.PDF

III. Discussion And Consideration Of The City Of Ames' Proposed Changes To The Draft Ames Urban Fringe Plan And Resolution #23-47 Extending The Ames Urban Fringe Plan 28E Agreement To April 30, 2023 - Amelia Schoeneman

Department Submitting Planning and Development

Documents:

MEMO.PDF
EXTENSION RESOLUTION 23 47.PDF
GILBERT LETTER.PDF
AMES EDITED DRAFT PLAN.PDF
AMES RESPONSE LETTER.PDF
BOS LETTER TO COOPERATORS.PDF

IV. Discussion And Consideration Of Resolution #23-40, Struthers' Subdivision, Residential - Marcus

Department Submitting Planning and Development

Documents:

RES 23 40.PDF
STAFF REPORT.PDF
STRUTHERS PLAT.PDF
STRUTHERS TITLE.PDF
STRUTHERS TREASURE.PDF
STRUTHERS ACKNOWLEDGMENT.PDF
STRUTHERS EASEMENT.PDF

V. Discussion And Consideration Of Resolution #23-41, STH Subdivision, Residential - Marcus

Department Submitting Planning and Development

Documents:

RES 23 41.PDF
STAFF REPORT.PDF
TITLE OPINION.PDF
22 TREASURERS CERTIFICATE.PDF
CONSENT TO PLAT.PDF
PLAT APPLICATION.PDF
STH PLAT 1.PDF

14. DEPARTMENTAL REPORTS:

15. OTHER REPORTS:

I. Update From The Go Green Team - Bre Van Sickle And Amelia Schoeneman

Department Submitting Board of Supervisors

Documents:

UPDATE TO BOS DECEMBER 2022.PDF

16. UPCOMING AGENDA ITEMS:

17. PUBLIC COMMENT #2:

Comments from the Public on Items not on this Agenda. The Board may not take any Action on the Comments due to the Requirements of the Open Meetings Law, but May Do So In the Future.

18. LIAISON ASSIGNMENTS, COMMITTEE MEETINGS UPDATES, AND ANNOUNCEMENTS FROM THE SUPERVISORS:

19. ADJOURNMENT:

Story County strives to ensure that its programs and activities do not discriminate on the basis of race, color, national origin, sex, age or disability. Persons requiring assistance, auxiliary aids or services, or accommodation because of a disability may contact the county's ADA coordinator at (515) 382-7204.

Story County Board of Supervisors

Agenda

12/6/22

NAME

ADDRESS

Andy Fish
Leonard Larsen

2729 Northwood, Ames

3158 South Dakota, Ames

Jamet Colton
James Arthur

2226 Northwestside Ames

2204 Ironwood Court

Tom He
Dennis Hoinen

32411 560th Hwy

304 Sycamore Huxley

Bill Swan

322 Hilltop Ames 50041

Derek Montgomery
Kalen Peterson

13016 Pristine Park Dr. Houston, TX

205 Sycamore Blvd - Huxley

Melissa Spitzer
Steve Andrews

SE-17

2892 Meadow Glen Rd.

Alex Christensen

2984 S Dakota Ave.

Liesel Dannelson

2981 S Dakota Ave

Christine Hauser

3505 245th St

Phil Tasevoli

3108 South Dakota Ave Ames

Becky Christensen

2985 South Dakota Ave Ames

KYLIE LANGE

2122 LEOPOLD DR AMES, IA

Chuck Stutler

29885 730th Av & Illinois Ia

Kim Christensen

2985 S. Dakota Ave

Sandra Kef

Box

Connie Buss

4453 246th Ames

BRAD PERKINS

5500 240th St AMES

final thoughts...

2021-2022 Monetary Impact

Based on the Independent Sector for Iowa's dollar value of a volunteer hour

Funding/Budget Information

2021-2022 Funding Sources/General Operating Budget

- Federal Grant (CNCS—AmeriCorps Seniors)
- State of Iowa
- Story County
- City of Ames
- United Way of Story County
- Marshalltown Area United Way
- Other Cities: Nevada, Story City

THANK YOU
to our financial
supporters!

Contractual Funding:

- Story County Emergency Management: Emergency/Disaster Volunteer Management/Disaster Recovery Coordination
- Story City Senior Citizens: Building Rental Management
- Self-Generated: Donations, Special Grants, United Way Designations, Newsletter Sponsors, Fundraising Revenues, etc.
- Total 2021-2022 Revenues (Operating Budget): \$5327,587
- Total 2021-2022 Expenses (Operating Budget): \$327,619

2021-2022 Special Grants and Support

- ITN America – \$920—“Rides in Sight” grant—Transportation To support rides to eye doctor appointments
- Transportation Program Donations—\$4,875
- Iowa Insurance Division (Fraud Fighter Presentations)—\$850
- Other general donations—\$1,251
- Central Iowa RSVP Endowment
(Part of the Story County Community Foundation Family of Funds)
- 2021-2022 Contributions: \$4,500
- As of June 30, 2022, contributions and realized gains have brought the balance to: \$22,079.47

THANKS to all of our amazing volunteers for continuing the good fight during a year of recovery!



Office Locations

- STORY COUNTY**
503 Elm Avenue (business office)
Story City, IA 50248
515-733-4917
 - MARSHALL COUNTY**
2608 S. 2nd Street (isu Extension)
Marshalltown, IA 50158
641-752-0279
 - WEBSTER COUNTY**
308 Central Avenue (Eiderbridge)
Fort Dodge, IA 50501
515-573-3477
 - HAMILTON COUNTY**
749 Second Street
Webster City, IA 50595
515-932-2525
- www.rsvpvolunteer.org



Annual summary of
accomplishments
and impact
2021-2022

Engaging Volunteers Age 55+

Feature Story A YEAR OF RECOVERY AND THE SURVEY SAYS...

As we all began to recover from the impact of a global pandemic, previously displaced RSVP volunteers re-engaged in service to our communities. They joined the many volunteers whose assignments never stopped during the worst of COVID-19. Although we are not where we were pre-pandemic, significant strides were made to recover and restore RSVP services.



OUR MISSION

Enhance the lives of adults age 55 and older by connecting them with rewarding volunteer experiences that meet community needs.

OUR VISION

To be the premiere volunteer management resource for mobilizing adults age 55 and older

ADDITIONAL SERVICES

Emergency Services
Contracting with Story County Emergency Management, partnering with the Story County Sheriff's Office and Story County Public Health (MGHHS), RSVSP coordinates the management of volunteers mobilized in natural disasters, public health and/or public safety emergencies.

Transportation Services

Primary Purpose: Provide Story County's older adults with safe and reliable transportation to and from medical appointments and other essential services.

Central Iowa RSVP supplements existing transportation services in Story County by managing and scheduling volunteer drivers who are providing rides to Story County residents who can no longer driver.

Studies show that people who volunteer are healthier than their friends and neighbors who do not volunteer. Wanting to learn how our RSVP volunteers lives are enhanced through service and better understand the impact COVID-19 had, a comprehensive survey was conducted. We were pleased that over 93% of respondents indicated that volunteering contributes in a positive way to their overall physical, emotional, social and intellectual well-being and 90% stated that volunteering gives them an increased sense of purpose. It is our main goal to ensure that the lives of our volunteers are enhanced through their service in the community.

RSVP provides a proven and effective info structure to attract, screen, and engage volunteers to meet local needs.

RESPONSE TO THE VOLUNTEER IMPACT SURVEY
"Volunteering through RSVSP helps me stay physically and/or mentally active and it gives me an increased sense of purpose"
Answer: Yes! **ADDITIONAL COMMENT:** "Contributing to society lifelong was instilled in me by parents, family, church, organizations, etc. When you stop giving, you cease to live."

CENTRAL IOWA RSNP SIGNATURE PROGRAM ACCOMPLISHMENTS

RSNP Signature Programs are those assignments that are either coordinated exclusively by RSNP or ones that RSNP plays a significant role in direct partnership with another organization or organizations.

EDUCATIONAL SERVICES — Helping youth succeed academically

Due to COVID-19, some school-based assignments were still suspended in 2021-2022. However, we were able to re-engage many volunteers in educational assignments that were either restored or developed. RSNP Pen Pal volunteers also continued to write and send cards and letters of encouragement to isolated residents of several care facilities and to hospice patients. Although this service could not affect student academic success, it was an important way for RSNP volunteers to continue to serve in a way that helped reduce the impact of isolation among some of our most vulnerable citizens.

RSNP Literacy Partners (Pen Pals, Reading & Public Speaking Tutors)



339 RSNP volunteers (1,387 hours) were matched one-on-one or in small groups with 466 elementary/middle school students as pen pals or reading/public speaking tutors. Volunteers helped students learn important letter writing skills and developed a relationship through the mail with a caring adult from another generation (pen pals). They also helped students build reading and public speaking skills (tutors). **Partners:** Schools • Northeast Hamilton, Roland-Story, South Hamilton, SE Valley, St. Edmund's (Fort Dodge) Webster City, West Marshall and Raising Readers in Story County.



HEALTHY FUTURES — Helping citizens stay healthy and maintain control of their well-being

RSNP Volunteer Driver Program

36 Story County RSNP volunteer drivers (1,389 hours) served 78 Story County residents, providing safe and reliable transportation to and from essential services, with priority given to older adults needing rides to medical appointments. Volunteers used their own vehicles to provide 794 round trips and drove 17,562 miles. (A survey conducted in June, 2022, over 97% of client respondents indicated that having this service is an important factor in helping maintain their independence and overall health/well-being).



New BASE Senior Fitness Class—Fort Dodge

RSNP BASE Fitness Program

Balance, Agility, Strength, and Endurance (BASE resumed a majority of the classes that had been suspended in 2020 due to COVID-19)

21 RSNP volunteers in Hamilton and Webster Counties (1,225 hours) resumed facilitating this fitness program at 13 locations for 291 seniors that focused on increasing healthy exercise habits that positively impact the well-being of the participants. **Partners:** Webster City Parks & Recreation Dept; McFarland Clinic Physical Therapy Dept; Leah Feliz Fitness

Testimonials

"My sports medicine doctor (for my knees) said BASE was a wonderful program and said I didn't need to go to therapy if I was participating in BASE!" *Jackie Baker, BASE participant—Sutrope, Iowa*

"You have improved the lives of so many people (through the RSNP BASE program), many of whom have been our patients, and have greatly benefited from not only the improved physical strength and stamina, but also the social connections you promote through BASE. I really appreciate all you do." *Susan Woodie, DBT, CLT, 21st Century Rehab at VDMC*



DISASTER SERVICES, PUBLIC HEALTH & SAFETY — Keeping our communities safe and prepared

Volunteer Management for Emergencies serving Story County

In a natural disaster, public health or safety emergency, RSNP volunteers staff a volunteer reception center, facilitating intake and management of community volunteers, fill several roles in the implementation of public health clinics, and staff a tip hotline in the event of a missing and/or abducted child/person. **Partners:** Story County Emergency Management (EMA), Story County Public Health (MCHHS) and Story County Sheriff's Office. *There were no activations during this fiscal year but drills and trainings were held to keep volunteers prepared to respond. (78 volunteers—151 hours)*



NEW! RSNP Volunteers Work to Take a Bite Out of Crime

One in three Americans ages 65 and older are scammed, losing over \$36 billion annually to financial exploitation, criminal fraud and caregiver abuse. In partnership with the Iowa Insurance Division, trained RSNP volunteers are serving as "Fraud Fighters", conducting presentations to educate community members (primarily targeting seniors and retirees) and provide prevention tips to avoid common frauds and scams. A total of 11 presentations were conducted in 2021-2022 by 6 RSNP volunteers sharing important fraud prevention information to 369 individuals. (Most of these presentations were conducted at the end of the fiscal year as more groups and organizations began to meet in person. This important initiative is continuing in 2022-2023).



FOOD SECURITY — Helping others have reliable access to enough affordable, nutritious food

Central Iowa RSNP volunteers are doing their part to address the needs of those struggling with food insecurity. RSNP volunteers have been making a difference in addressing hunger by helping at local food pantries, providing home delivered meals, helping deliver commodity food boxes to families and individuals in need and providing assistance at hot meal programs and fresh markets. Working with local partners, 114 RSNP volunteers served 3,635 hours addressing food insecurity in 2021-2022.

NEW! RSNP/Heartland Senior Services Grocery Delivery Program

Central Iowa RSNP began a new program addressing hunger in 2021 through a partnership established with Heartland Senior Services (HSS). A survey conducted by the HSS Outreach team revealed that there were older residents struggling to get the groceries they needed, either because of physical or geographic limitations. COVID-19 also presented a challenge for those who did not feel safe going to grocery stores or other markets.

Working together with HSS Outreach staff, RSNP launched a grocery delivery service utilizing RSNP volunteers to pick up and deliver groceries to vulnerable Story County seniors. Clients are registered and screened by HSS while delivery volunteers are recruited and vetted by RSNP. Since May 1, 2021, 17 RSNP volunteers have served 355 hours and driven 5,066 miles to deliver food from local grocery stores to 10 Story County residents, making 233 grocery deliveries (to date). In addition, RSNP enlists the skills of a dedicated volunteer who provides weekly online ordering assistance to individuals who have challenges with online ordering.



Capacity Building — Providing diverse volunteer recruitment and placement support that supplements or enhances the existing services of 66 public, non-profit and health care agencies (not reflected in the other sections of this report)

OTHER COMMUNITY PRIORITIES

- ENVIRONMENTAL STEWARDSHIP** (Conservation centers, trail maintenance, city/community garden spaces, Rainier Gardens)
- OTHER EDUCATION** (Library services, museums, art, pre-school assistance, extension, M/V/WCA)
- OTHER PUBLIC, NON-PROFIT, AND HEALTHCARE** (Thrift store help, senior center support, dental, special events, etc.)
- MEDICAL**—(Serving at local medical/senior care facilities, blood drives and hospice)

A total of 299 volunteers served 8,467 hours providing capacity building services to area non-profits.



FREQUENTLY ASKED QUESTIONS:



How does the Summit Carbon Solutions Project work?

By capturing CO₂ from the ethanol plants and transporting it via pipeline to North Dakota where it will be safely and permanently sequestered.

What is the benefit of this project to the ethanol plants?

The Summit Carbon Solutions project will allow ethanol producers to sell their product in the growing number of markets that pay more for low carbon fuels.

Why does lowering carbon intensity scores at ethanol plants matter?

The ability to sell into low carbon fuel markets is critical to maintain the viability of the ethanol long-term, protecting tens of thousands of jobs and strengthening an industry that purchases half of all the corn grown in the U.S.

What happens if the easement is sold to another entity?

Easement rights are acquired with the land and are not impacted by future changes in ownership. Please see language directly from easement Assignment Clause: "The Pipeline Easement and Access Easement shall be permanent, and the Easements and provisions of this Agreement, including all benefits and burdens, shall run with the land."

Who is liable if there is damage to the pipeline?

Summit Carbon Solutions holds landowner harmless in almost all circumstances. Please see language directly from easement indemnification clause: "Company agrees to indemnify and hold Landowner harmless from and against any claim or liability or loss from personal injury or property damage resulting from or arising out of the use of the Easements by Company, its servants, agents or invitees, excepting, however, such claims, liabilities or damages as may be due to or caused by the acts of Landowner, or its servants, agents or invitees."

SAFETY INFORMATION

-  100% of the pipeline welds are inspected throughout using industry accepted testing methods, such as X-ray or ultrasound to ensure integrity, after which the welds are coated.
-  The pipeline is then hydrostatically tested, which involves filling the pipe with fresh water and pressuring it up to 125% or more of the maximum operating pressure, thereby ensuring the integrity of the pipe.
-  Block Valves are placed throughout the project line with a maximum distance of no more than 20 miles apart. These block valves will automatically shut if there is any degree of pressure or temperature change in the pipeline. These block valves are placed more frequently around high population areas and large waterways.
-  The pipeline will be monitored 24/7 by employees of Summit Carbon Solutions at the home office in Ames, Iowa
-  Summit Carbon Solutions will employ a large number of specialists to live and work locally to maintain the project line.
-  Summit Carbon Solutions has staff dedicated to working with and training emergency responders in each county. These staff have extensive background in emergency management and will provide multiple trainings and workshops to prepare county emergency response for any unlikely breach in the pipeline.

SUMMIT CARBON SOLUTIONS WILL BE A GOOD STEWARD OF THE LAND:

- SCS will be good stewards of the land across our entire project area. Summit Carbon Solutions will protect and restore lands, topsoil, drain tiles, drainage systems, and more to their preconstruction levels.
- The average weight of construction equipment necessary for installing 6-inch diameter pipe is typically 40% to 80% less than the weight of equipment necessary for installing 36-inch diameter pipe.
- 240% crop damages paid up front.
- Soil disturbance will also decrease with decreasing pipe diameter.
- SCS will warranty drain tile in perpetuity. Landowner has the option to use their preferred contractor or to use SCS's contractor.
- Each county will hire an ag inspector who will have authority to stop work in the interest of keeping the land in the best condition possible.





IOWA

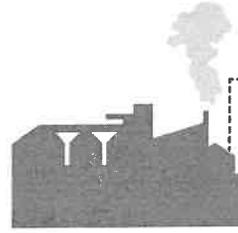
Voluntary Easement Miles Acquired

- Over 399 miles now signed
- Over 977 landowners have signed, equating more than 1,682 agreements executed



Iowa Utilities Board

- Permit Application Submitted to Iowa Utilities Board January 2022 – Docket Number HLP-2021-0001
- Decision requested June 2023
- Iowa Utilities Board accepting comments at iub.iowa.gov



Investors

- Ethanol Plant Partners
- John Deere
- Continental Resources
- Tiger Infrastructure
- TPG Rise Climate
- Summit Agricultural Group

Partners

- 32 ethanol plants across 5 states (Nebraska, Iowa, Minnesota, North Dakota, South Dakota)
- Minnkota Power Cooperative (CO₂ storage) giving Summit Carbon Solution access to the largest of only three permitted CO₂ storage sites in the United States.



Construction Anticipated Start Date: August 2023



- A gas in atmospheric conditions.
- A dense phase deep underground or in a pipeline. A dense phase has the viscosity of a gas but a density closer to that of a liquid.
- Nonexplosive and noncombustible.
- Dispersed as a gas when introduced to conditions outside the pipeline.
- CO₂ pipelines have an excellent safety record exceeding pipelines that carry other materials.
- Transported at ambient temperature that does not affect the surrounding soil.

Pipeline Transport Is Critical to Carbon Capture & Storage

Transporting carbon dioxide by pipeline is the safest method for the large volumes of CO₂ that will be captured and permanently stored. With more than 5,000 miles of infrastructure currently operating in the United States, carbon dioxide pipelines have an excellent safety record.

Carbon capture and storage utilizes longstanding technology that is safe for landowners and communities.

- CO₂ capture is already deployed at more than 40 ethanol plants.
- There are 5,000 miles of existing CO₂ pipelines in the United States regulated by the Department of Transportation (DOT) Pipeline and Hazardous Materials Safety Administration (PHMSA).
- Captured CO₂ is permanently and safely stored deep underground based on EPA standards.

Pipelines Are Highly Regulated

Stringent requirements for the safe design, construction, and operation of CO₂ pipelines have been established by the DOT PHMSA. Additionally, constructing the Summit Carbon Solutions system requires permits from the following entities:

- | | |
|--|---|
| State: | Federal: |
| • Iowa Utilities Board | • United States Army Corps of Engineers |
| • Iowa Department of Natural Resources (DNR) | • United States Fish and Wildlife |

Summit Carbon Solutions is working with landowners, community leaders, stakeholders, and more with respect, honesty, and transparency to obtain the necessary rights from the landowners for any proposed temporary and permanent easements.

Summit Carbon Solution's Pipeline is Overbuilt for Safety

Summit Carbon Solutions' pipeline will be built beyond federal specifications in these ways:

- PHMSA - 195.248 Pipeline Location - requires 3ft depth below ground level. Summit Carbon Solutions will be at 4ft minimum depth.
- PHMSA - 195.210 Pipeline Location - requires 50ft setback from all dwellings. Summit Carbon Solutions is designing the pipeline that far exceeds the minimum setback.
- PHMSA - 195.250 Clearance Between Pipe and Underground Structures - Any new pipe must be at least 12" away from any other underground pipe or structure. Summit Carbon Solutions' best practice is 24".
- PHMSA 49 CFR Part 195 defines minimum requirements like the spacing between block valves, which is no more than 20 miles apart and in some cases less for Summit Carbon Solutions' pipeline.

Summit Carbon Solutions will employ a computer based, computational leak detection system that continuously monitors the operation of the pipeline from a manned control center. Similar leak detection systems are currently being utilized in the operation of numerous pipelines across the United States. Data will be continuously collected from pressure sensors, flowmeters, and temperature sensors installed along the pipeline and used to identify abnormal operating conditions. In the unlikely event of a leak, the system will provide information necessary to locate the leak, isolate the pipeline segment, and mitigate risk.

Community Investment

Summit Carbon Solutions is looking to invest and volunteer in local communities. If there is somewhere we can invest in your community, please contact Kaylee Langrell 501-581-3348 or Kaylee.Langrell@tkl360.com

Contact Information

For Emergency Management Questions:
ROD DILLON
Director of Regulatory Compliance
rdillon@summitcarbon.com
515-531-2624

For More Project Information or Interviews:
JESSE HARRIS
Director of Public Affairs
jharris@summitcarbon.com
515-240-2104



News Article Excerpts: Support for the Project

KX SPOKE WITH A NON-OPPOSED NORTH DAKOTA LANDOWNER AFFECTED BY THE SUMMIT CARBON SOLUTIONS PROJECT (KXNET.COM)

"I'm not worried about the pipe, but there's pipelines all across North Dakota. In the United States, there's over several thousand miles of CO₂ pipelines and other pipelines. In Mercer County, there's a pipeline that's been in operation with CO₂ going to Canada for 20-plus years underneath Lake Sakakawea, and that's been safe. No issues there. So, I don't personally have a concern with it,"

- Kessler



FILED WITH THE IOWA UTILITIES BOARD ON JANUARY 28, 2022, HLP-2021-0001

"To me, it makes sense to start with an Iowa-based company rooted in agriculture. Summit Carbon Solutions prioritizes safety, land restoration, and the future of Iowa farming. I support this project and all the good it will do for communities across our state and region."

- Craig Solsma

IOWA LANDOWNER SAYS HE WASN'T PRESSURED IN CARBON PIPELINE DEAL (KTIV.COM)

Jeff Dorr lives in Marcus, Iowa, and he's already signed up to have one of the pipelines underneath his farm. He says Summit Carbon Solutions, one of the pipeline companies, addressed all of his concerns about safety. "No, actually, I didn't feel any pressure. And like I said, earlier, I actively had to engage them. So, you know, they were a little more hands-off, in my opinion."

- Jeff Dorr

GUEST COLUMN: CARBON SEQUESTRATION TECHNOLOGY PROVIDES OPPORTUNITY FOR IOWA | LOCAL NEWS | NONPAREILONLINE.COM

"Over the past two decades, I've seen firsthand the struggles facing rural communities as they fight decline in both population and tax base. Carbon sequestration technology is offering the state and the rural communities one way to address these struggles, while helping Iowa corn growers to maintain current corn markets and generate many new markets as well."



- Ray Gaesser Iowa Conservative Energy Forum Chair

DORR: WHY I SIGNED EASEMENT ALLOWING CARBON CAPTURE PIPELINE | OPINION | NWESTIOWA.COM

"I have spoken extensively to Summit Carbon Solutions' land agents and engineering team about how they will approach construction of this project. I am confident they respect my property and will follow through on their promises to restore my land to its original condition."

"Throughout this process [negotiating a voluntary easement], Summit Carbon Solutions has provided detailed information to address my questions and has always interacted with me in a cordial and respectful manner. Virtually every element of this process is negotiable, just as the company promised it would be."

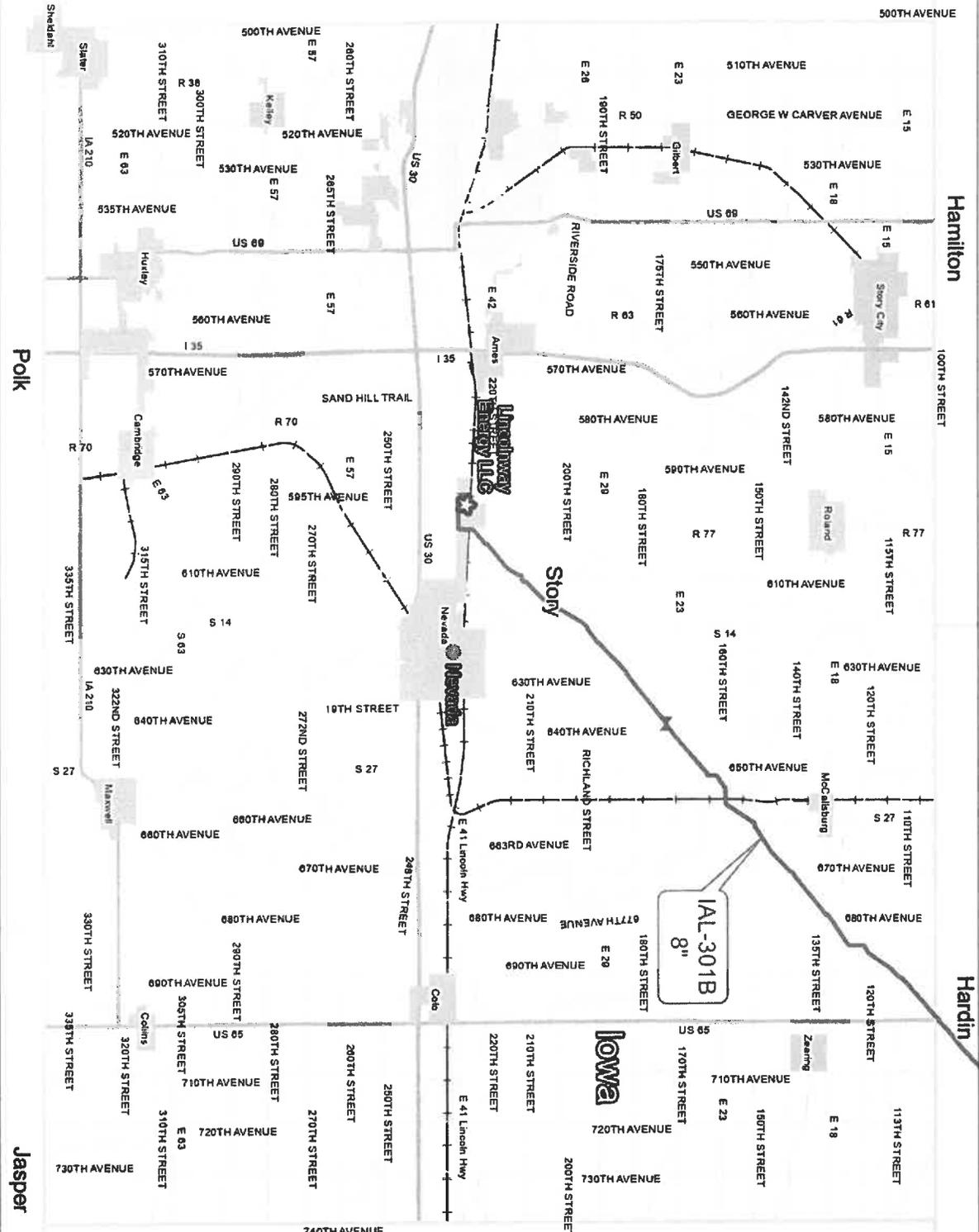


- Thomas Dorr

HELP US PUT ETHANOL, AGRICULTURE AND OUR COMMUNITIES IN A POSITION FOR ECONOMIC PROSPERITY | NEWS, SPORTS, JOBS - MESSENGER NEWS

"I understand that some skeptics question if this is the best strategy to pursue. I would ask you to think about the future of agriculture and ethanol in Iowa. Both private sector companies and governments around the world will continue to prioritize decarbonization. Other states and communities will embrace this opportunity and reap the benefits of these changing markets. If we are left behind, I fear that it will become harder and harder to remain competitive."

- Chris Boshart, General Manager of Corn LP



- Participating Ethanol Plant
- County Seat
- Mainline Valve
- Pump Station
- Highly Populated Areas
- State Boundary
- County Boundary
- Route
- Primary Road
- Secondary Road
- Local Road
- Railroad
- River

**17.59 MILES OF ANTICIPATED PIPELINE
STORY COUNTY IOWA**

Pipeline centerline is based on the 11/28/2022 route.

| | |
|--|-------|
| Story County Iowa Pipeline Mileage Overview | |
| COUNTY | STORY |
| STATE | IOWA |
| REP. DIST. | 1 |
| PREPARED BY | DATE |
| REVISIONS | DATE |
| APPROVED BY | DATE |
| PRELIMINARY ROUTE SUBJECT TO CHANGE | |

**SUMMIT
CARBON
SOLUTIONS**

DATE: 11/28/2022 PROJECT: IAL-301B

SCALE: 1" = 1 MILE

STORY COUNTY

Letting Date **Jan. 10, 2023**

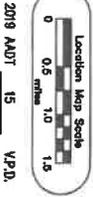
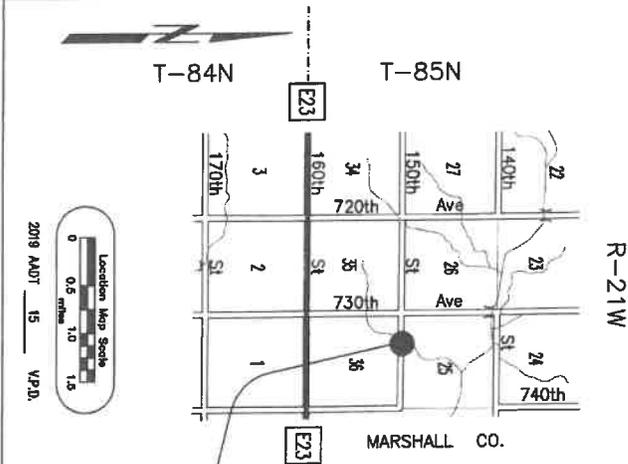
RCB CULVERT REPLACEMENT-SINGLE BOX Proj. No. L-LIN36--73-85

Sheet Total: 9

PRODUCT TRAFFIC CONTROL PLAN
THIS ROAD WILL BE CLOSED TO THROUGH TRAFFIC DURING CONSTRUCTION. LOCAL TRAFFIC TO ADJACENT PROPERTIES WILL BE MAINTAINED AS PROVIDED FOR IN ATTACHED TRAFFIC CONTROL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRAFFIC CONTROL PLAN. THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE TYPICAL ON-ROAD TRAFFIC CONTROL SERVICES FOR STREETS AND HIGHWAYS DIVISION OF THE IOWA DEPARTMENT OF TRANSPORTATION. THE ADMINISTRATIVE CODE (AD) CHAPTER 12A, ALL TRAFFIC CONTROL SERVICES SHALL BE FURNISHED, DIRECTED, AND MAINTAINED BY THE CONTRACTOR.

UTILITY INFORMATION
UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THESE PLANS OR SHOWN TO BE WITHIN THE CONSTRUCTION LIMITS SHALL BE NOTIFIED BY THE CONTRACTOR. THE CONSTRUCTION STARTING DATE AND THE COMPLETION DATE SHALL BE FURNISHED TO THE CONTRACTOR BY THE UTILITY COMPANIES.
IOWA REGIONAL UTILITY ASSN: 641-782-7011
IOWA DEPARTMENT OF TRANSPORTATION: 515-281-2281
HAWLEY CONSULTANTS CORP: 641-607-7289
MINNEVA VALLEY TELEPHONE: 641-607-7289

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITY COMPANIES OF THE CONSTRUCTION TO MAINTAIN THE FACILITIES FOR NECESSARY MAINTENANCE, UNDERGROUND FACILITIES, AND UTILITIES HAVE BEEN RELOCATED FROM AVAILABLE RECORDS AND UTILITIES HAVE BEEN RELOCATED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTENCE OF WHICH IS POSSIBLE THERE MAY BE OTHER UTILITIES, THE EXISTENCE OF WHICH IS PRESUMED NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND TO AVOID DAMAGE TO THEM. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED BY THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



SEE IOWA DEPARTMENT OF TRANSPORTATION WEBSITE FOR TRAFFIC CONTROL PLAN AND PERMITS

IOWA DEPARTMENT OF TRANSPORTATION Highway Division PLANS OF PROPOSED IMPROVEMENT ON THE SECONDARY ROAD SYSTEM STORY COUNTY RCB CULVERT REPLACEMENT -SINGLE BOX 150th St. Over Unrammed Creek, Section 36--85--21.

Refer to Proposal Form for a list of applicable specifications.

Scale: As Noted

COURS OF ENGINEERS PERMIT
CONTRACT THIS PROJECT ACCORDING TO THE REQUIREMENTS OF U.S. ARMY CORPS OF ENGINEERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A COPY OF THE PERMIT IS AVAILABLE FROM THE U.S. ARMY CORPS OF ENGINEERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A COPY OF THE PERMIT IS AVAILABLE FROM THE U.S. ARMY CORPS OF ENGINEERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A COPY OF THE PERMIT IS AVAILABLE FROM THE U.S. ARMY CORPS OF ENGINEERS.



SEND SHOP DRAWINGS TO:
STORY COUNTY ENGINEER
357 N. AVE.
NEWARK, IOWA 50201
515-352-7333

PROJECT LOCATION
STA 14+12.89 ON 150TH ST.
0.27 MI. EAST OF THE NW
CORNER OF SECTION 36--85--21.

DESIGN FOR:
SINGLE 8'X8'X52' PRE-CAST
CONCRETE BOX CULVERT
ON 0° SKEW



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed professional engineer under the laws of the State of Iowa.
Date: 11-17-22
Signature: [Handwritten Signature]

Approved by:
[Handwritten Signature]
Story County Engineer
Date: 11-21-22

| Number | Date | Title |
|--------|----------|--|
| DR-101 | 04-18-17 | PPE CULVERT (BEDDING AND BACKFILL) |
| DR-102 | 04-21-15 | PPE CULVERT (COVER AND CURBS) |
| DR-103 | 04-21-15 | PPE CULVERT (INSTALLATION DETAILS) |
| DR-104 | 04-18-16 | DEPTH OF COVER TABLES FOR CONCRETE AND CORRUGATED PPE |
| DR-201 | 10-18-16 | ROCK EROSION CONTROL (REC) |
| EM-101 | 10-17-17 | EMPLOYMENT AND RELOCATING EMPLOYEES |
| EM-102 | 10-28-15 | ALLOWABLE PLACEMENT OF UNSUITABLE SOIL IN DRAINAGEWAYS |
| TC-282 | 04-21-20 | ROUTES CLOSED TO TRAFFIC |

| No. | Description | Ln. Ft. | Miles |
|------------------------|--------------------------------|---------|-------|
| A.01 | TITLE SHEET | | |
| A.01 | QUANTITY INFORMATION SHEET | | |
| G.01 | GENERAL NOTES | | |
| G.03 | UTILIZATION SHEET | | |
| G.04 | CULVERT DETAIL SHEET | | |
| D.01 | PLAN AND PROFILE SHEET | | |
| W.01 | CROSS SECTIONS | | |
| W.03 | | | |
| MILEAGE SUMMARY | | | |
| Dn. | Location | Ln. Ft. | Miles |
| 1 | STA. 13+23.00 TO STA. 15+00.00 | 175.00 | 0.033 |
| Total | | 175.00 | 0.033 |

Story County

Project Number: L-LIN36--73-85

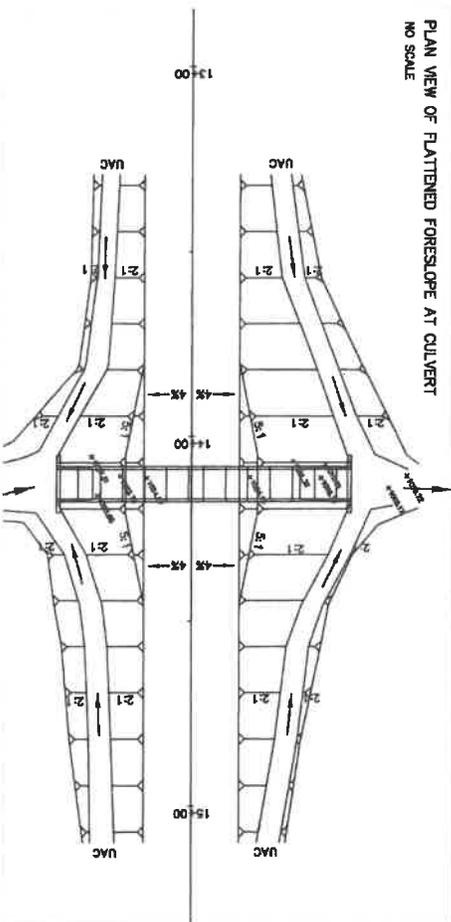
Sheet No. A.01

ESTIMATED PROJECT QUANTITIES OF QUANTITIES
(1 DIVISION PROJECT)

| ITEM | ITEM CODE | ITEM | UNIT | TOTAL |
|------|--------------|--|------|-------|
| 1 | 2101-0850001 | CLEARING AND GRUBBING | ACRE | 0.4 |
| 2 | 2102-2825001 | EMBANKMENT-IN-PLACE CONTRACTOR FURNISHED | CY | 93.1 |
| 3 | 2102-2710070 | EXCAVATION, CL 10, ROADWAY AND BORROW | CY | 344.0 |
| 4 | 2104-2710020 | EXCAVATION, CL 10, CHANNEL | CY | 54.0 |
| 5 | 2110-3825010 | GRANULAR MATERIAL | TON | 56.0 |
| 6 | 2401-6745625 | REMOVAL OF EXISTING BRIDGE | LS | 1.0 |
| 7 | 2402-2720000 | EXCAVATION, CLASS 20 | CY | 425.0 |
| 8 | 2415-2110808 | PRECAST CONCRETE BOX CULVERT, 8 FT. X 8 FT. | LF | 52.0 |
| 9 | 2415-2220808 | PRECAST CONCRETE BOX CULVERT STRAIGHT END SECTION, 8 FT. X 8 FT. | EACH | 2.0 |
| 10 | 2507-3250005 | ENGINEERING FABRIC | SY | 86.5 |
| 11 | 2507-6800061 | REVEMENT, CLASS E | TON | 49.5 |
| 12 | 2507-6875002 | REVEMENT, REMOVE AND REPLACE | CY | 44.3 |
| 13 | 2528-2518900 | SAFETY CLOSURE | EACH | 4.0 |
| 14 | 2528-8445110 | TRAFFIC CONTROL | LS | 1.0 |
| 15 | 2533-4980005 | MOBILIZATION | LS | 1.0 |

STORY COUNTY:
Story County to stock culvert control and right-of-way, perform seeding and mulching, and furnish and place granular surfacing.

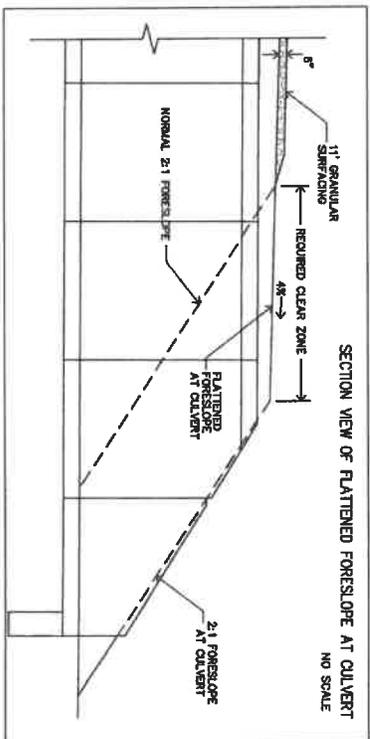
PLAN VIEW OF FLATTENED FORESLOPE AT CULVERT
NO SCALE



ESTIMATE REFERENCE INFORMATION

| ITEM NO. | DESCRIPTION |
|----------|---|
| 1. | Entire project to be cleared and grubbed from BOP to EOP and from ROW line to ROW line. This item also includes 175 lin. ft. of fence removal. |
| 2. | Contractor to furnish 93.1 CY of suitable material. Much of this material is intended for placement in the top 25'-25 1/2' of roadway fill over the culvert, with any remainder used to achieve dirt balance. |
| 3. | Plan quantity is based on approximately 344.0 CY of fill (30% shrink factor) and 250.9 CY of cut. Contractor to furnish approx. 93.1 CY of material from a suitable borrow site to achieve dirt balance. No payment for overhaul will be made. Type A compaction required. Approximately 99.4 cy of this item includes the stripping, stockpiling, and spreading topsoil. Topsoil to be spread smooth to a minimum of 4" on all disturbed areas from catch points to edge of road. Slopes to be finished smooth to allow for seeding. See Cross Section sheets for station-by-station dirt quantities. |
| 4. | Item for excavation for rock splash basin and sloping flat and outlet to match culvert opening. Suitable excavated material may be obtained and wasted on foreslopes with the approval of the Engineer. |
| 5. | Approximately 56.0 tons of 1" rock is required under the box for bedding. |
| 6. | Materials from the old structure shall become the property of the Contractor according to article 1104.08 of the Standard Specifications, and removed from site. The existing structure is a 8'x7'-26" concrete box culvert with concrete wingwalls, on a 0° skew. |
| 7. | Item for excavation for culvert placement. Suitable material may be used to backfill culvert and supplement Class 10 roadway quantity with approval from the Engineer. |
| 8-9. | Precast RCB culvert shall be a single 8'x8'x22' with a standard three-piece end section on the outlet and a two-piece end section (with interior weir wall) on the inlet. The culvert shall be supplied by the Contractor as per plan, which includes dropwalls, parapets and weir wall. See tabulation on Sheet C.03 and notes on Sheet C.02 for details. |
| 10-11. | Items for constructing a rock splash basin of the culvert outlet and slope protection at the inlet and outlet. Item includes finishing revetment and all labor necessary for construction. Excavation is paid for in Class 10 Channel item. |
| 12. | Item for the removal, stockpiling, and reuse of existing revetment and broken concrete. Preliminary survey shows several pieces of broken concrete lying in the streambed and on the stream banks. Existing broken concrete, meeting the requirements of Section 4130.01 C may be reused to protect stream banks as directed by the Engineer. Broken concrete not meeting the Section may be processed and sized (not greater than 3" in any dimension) to meet Class E gradation or removed from site. Quantity is an estimate only. Contractor shall be paid actual quantity by measuring the stockpile and computing its volume. Basis of Payment shall be in cubic yards as computed by measurements. |
| 13. | See Tabulation 108-13A on this sheet for stationing and quantities. |
| 14. | See Standard Road Plan TC-252 for details. |

SECTION VIEW OF FLATTENED FORESLOPE AT CULVERT
NO SCALE

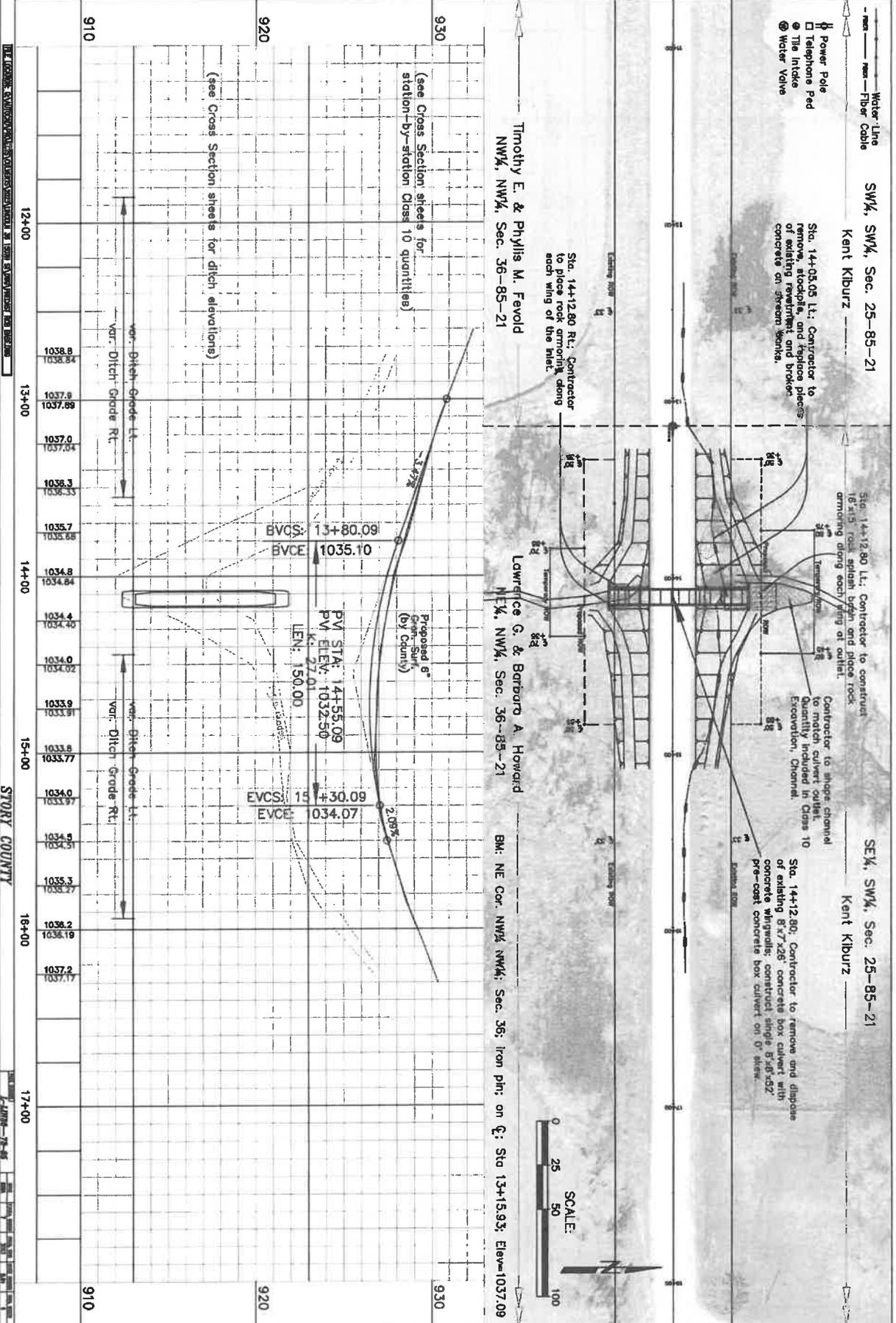


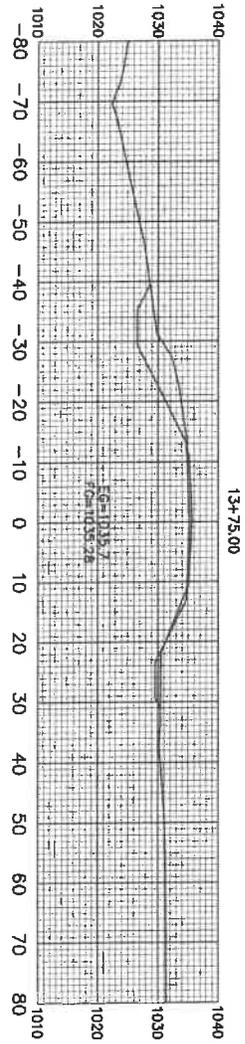
STORY COUNTY

SEE STANDARD SPECIFICATIONS FOR DETAILS AND QUANTITIES

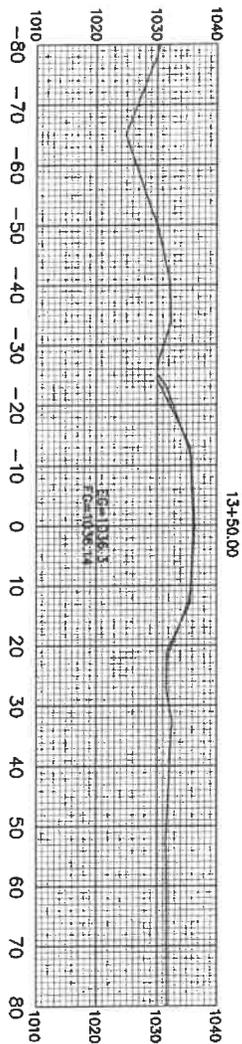
PLAN AND PROFILE SHEET

PROJ No. L-LIN36--73-85

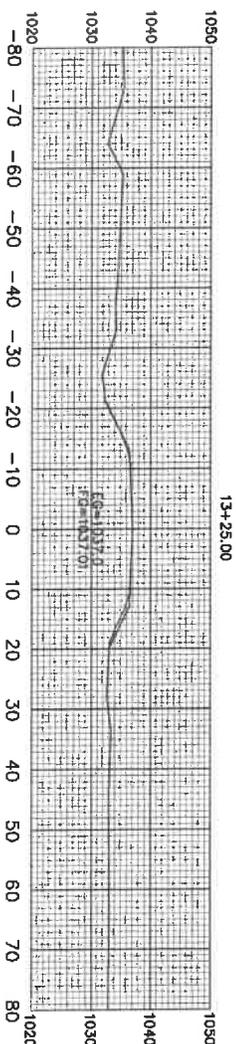




| | |
|---------------|-------|
| Sta. 13+75.00 | |
| Cut Area | 84.63 |
| Fill Area | 3.14 |
| Cut Vol | 43.49 |
| Fill Vol | 3.06 |



| | |
|---------------|------|
| Sta. 13+50.00 | |
| Cut Area | 9.31 |
| Fill Area | 1.95 |
| Cut Vol | 4.42 |
| Fill Vol | 4.59 |



| | |
|---------------|------|
| Sta. 13+25.00 | |
| Cut Area | 0.24 |
| Fill Area | 5.67 |
| Cut Vol | 0.00 |
| Fill Vol | 0.00 |

FILE LOCATION: G:\PROJECTS\PROJECTS\CONTRACTS\CONTRACTS\13+75.00\13+75.00.DWG

STORY COUNTY

DATE: 1-24-06

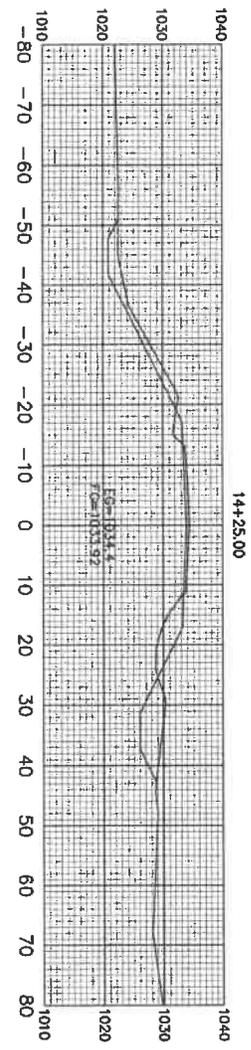
SCALE: 1"=40'

CROSS SECTIONS SHEET

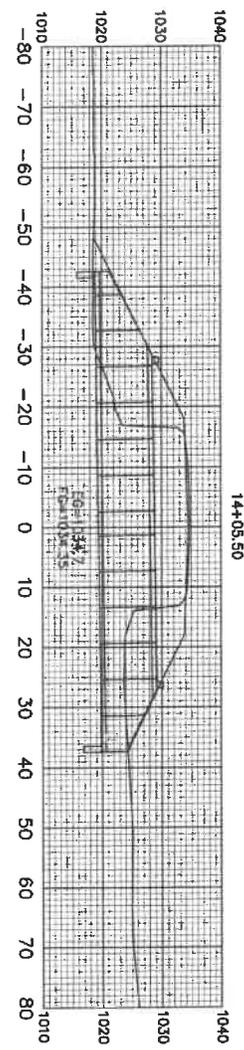
PROJ No. L-LIN36--73-85

FILE LOCATION: S:\PROJECTS\2003\20030220\LIN36--73-85\CROSS SECTIONS\PROJ L-LIN36--73-85

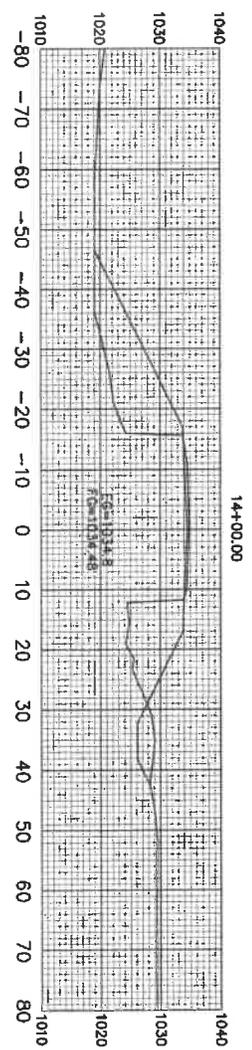
STORY COUNTY



| | |
|---------------|-------|
| Sta. 14+25.00 | |
| Cut Area | 96.08 |
| Fill Area | 34.12 |
| Cut Vol | 30.26 |
| Fill Vol | 90.85 |



| | |
|---------------|------|
| Sta. 14+05.50 | |
| Cut Area | 0.00 |
| Fill Area | 0.00 |
| Cut Vol | 0.00 |
| Fill Vol | 0.00 |



| | |
|---------------|--------|
| Sta. 14+00.00 | |
| Cut Area | 35.41 |
| Fill Area | 295.82 |
| Cut Vol | 55.58 |
| Fill Vol | 179.93 |

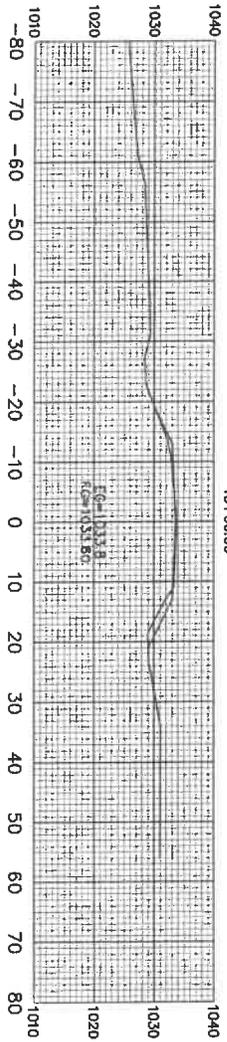
CROSS SECTIONS SHEET

PROJ No. L-LIN36--73-85

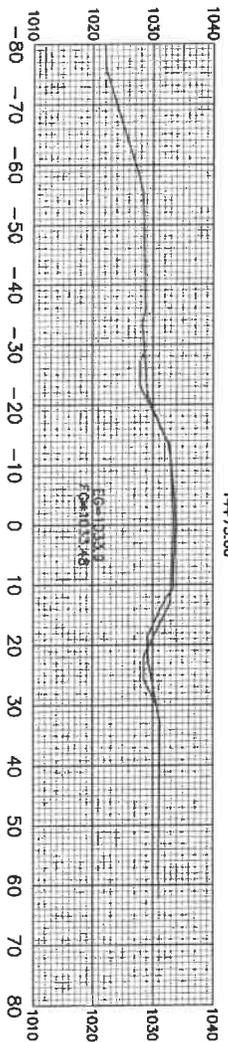
THE LOCATION OF ANY CHANGES SHALL BE SHOWN BY A DASHED LINE

STORY COUNTY

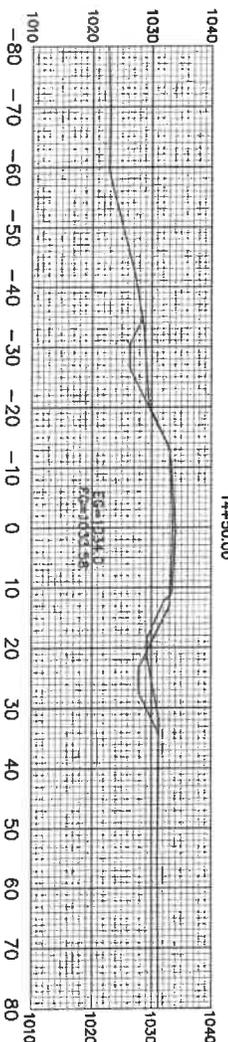
L-LIN36--73-85



| | |
|---------------|-------|
| Sta. 15+00.00 | |
| Cut Area | 2.11 |
| Fill Area | 13.25 |
| Cut Vol | 10.60 |
| Fill Vol | 13.37 |



| | |
|---------------|-------|
| Sta. 14+75.00 | |
| Cut Area | 20.79 |
| Fill Area | 8.96 |
| Cut Vol | 35.12 |
| Fill Vol | 10.75 |



| | |
|---------------|-------|
| Sta. 14+50.00 | |
| Cut Area | 55.07 |
| Fill Area | 8.90 |
| Cut Vol | 69.98 |
| Fill Vol | 25.89 |

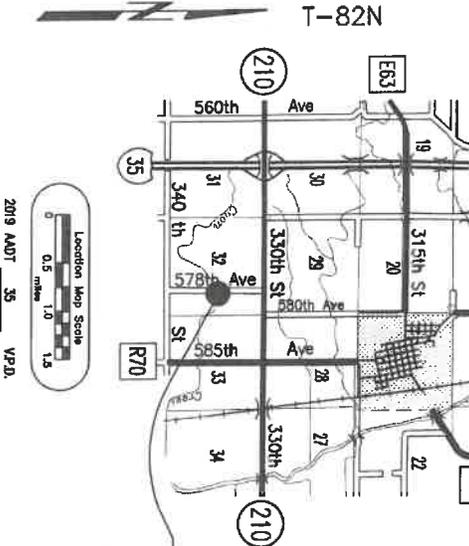


STORY COUNTY

RCB CULVERT NEW-TWIN BOX Proj. No. L-U32--73-85

Letting Date **Jan. 10, 2023**

THE IOWA DEPARTMENT OF TRANSPORTATION HAS REVIEWED THESE PLANS AND APPROVES THEM FOR CONSTRUCTION.



PROJECT LOCATION
STA 3+95.00; ON 578TH AVE,
0.08 MI. NORTH OF THE SW
CORNER OF THE SE1/4 OF THE
NE1/4 OF SECTION 32-82-23.

DESIGN FOR:
TWIN 10'X6'X4'2" PRE-CAST
CONCRETE BOX CULVERT
ON 0° SKEW

SEND SHOP DRAWINGS TO:
STORY COUNTY ENGINEER
837 N. AVE.
NEVADA, IOWA 50201



CONTRACTOR: THIS PROJECT ACCORDING TO THE REQUIREMENTS OF U.S. ARMY CORPS OF ENGINEERS AND IOWA DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

Scale: As Noted

Refer to Proposed Form for a list of applicable specifications.

578th Ave. Over Coon Creek, Section 32-82-23.

IOWA DEPARTMENT OF TRANSPORTATION Highway Division PLANS OF PROPOSED IMPROVEMENT ON THE LOCAL ROAD SYSTEM STORY COUNTY RCB CULVERT NEW -TWIN BOX

Project No. L-U32--73-85
FHWA# 314230

Sheet Total: 9

PROJECT TRAFFIC CONTROL PLAN
THIS ROAD WILL BE CLOSED TO THROUGH TRAFFIC DURING CONSTRUCTION. FROM TRAFFIC TO AVOIDED BY TRAFFIC WILL BE MAINTAINED AS PROVIDED. TRAFFIC CONTROL DEVICES, PROCEDURES, LAUNDS, SIGNS, AND PLACEMENT MARKERS RETAINED WITHIN THE LIMITS OF THIS PROJECT SHALL CONTROL HIGHWAYS AS ADOPTED BY THE DEPARTMENT 750 701 OF THE IOWA ADMINISTRATIVE CODE (IAC) CHAPTER 132.
ALL TRAFFIC CONTROL DEVICES SHALL BE PARASHEL, BERTHA, AND MAINTAINED BY THE CONTRACTOR.

UTILITIES INFORMATION
UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THESE PLANS OR THE CONSTRUCTION OF THE CONSTRUCTION SHALL BE LIMITED BY THE SUBSEQUENT WORK IN THE AREA.
AIRT TRANSMISSION: 618-275-4014
CONSOLIDATED ENERGY: 641-754-1642
IOWA REGIONAL UTILITIES ASSOC.: 641-792-7011
HUXLEY COMMUNICATIONS COOP: 515-597-2281
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF UTILITIES IN THE PROJECT AREA PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ACCESS TO THESE UTILITIES AND UTILITIES HAVE BEEN IDENTIFIED FROM AND UTILITIES AND RECORDS, AND THEIR LOCATIONS ARE ONLY APPROXIMATE. IT IS POSSIBLE THERE MAY BE OTHER UTILITIES, THE EXISTENCE OF WHICH IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE. ALL UTILITIES IN THE PROJECT AREA AND THEIR EXACT LOCATION AND TO AVOID DAMAGE TO THEM, IN CLAIMS FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

INDEX OF SHEETS

| No. | Description |
|-----|----------------------------|
| A01 | TITLE SHEET |
| C01 | QUANTITY INFORMATION SHEET |
| C02 | GENERAL NOTES |
| C03 | TABULATIONS SHEET |
| C04 | CULVERT DETAIL SHEET |
| D01 | PLAN AND PROFILE SHEET |
| W01 | GROSS SECTIONS |
| W02 | |
| W03 | |

MILEAGE SUMMARY

| Dw. | Location | Ln. Ft. | Miles |
|-------|----------------------------|---------|-------|
| 1 | STL 3+25.00 TO STL 4+75.00 | 150,000 | 0.028 |
| Total | | 150,000 | 0.028 |

STANDARD ROAD PLANS

| Number | Date | Title |
|--------|----------|--|
| DR-101 | 04-18-17 | PIPE CULVERT (BEDDING AND BACKFILL) |
| DR-102 | 04-21-18 | PIPE CULVERT (COVER AND CURBS) |
| DR-103 | 04-21-18 | PIPE CULVERT (INSTALLATION DETAILS) |
| DR-104 | 04-19-18 | DEPTH OF COVER TABLES FOR CONCRETE AND CORRUGATED PIPE |
| ER-201 | 10-18-18 | ROCK EROSION CONTROL (REC) |
| ER-101 | 10-17-17 | EMBANKMENT AND RESULTING EMBANKMENTS |
| ER-102 | 10-20-15 | ALLOWABLE PLACEMENT OF UNSATURABLE SOIL IN EMBANKMENTS |
| TC-202 | 04-21-20 | ROUTES CLOSED TO TRAFFIC |



I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.
Signature: *Tyler Spahr* Date: *11-21-22*
The expiration date is December 31, 2023.
Pages or sheets covered by this seal: (Enter description unless specified here)

Approved by: *[Signature]* Date: *11-22-22*
Story County Engineer

Approved Story County Board of Supervisors: *[Signature]*

Story County

Project Number: L-U32--73-85

Sheet No. A.01

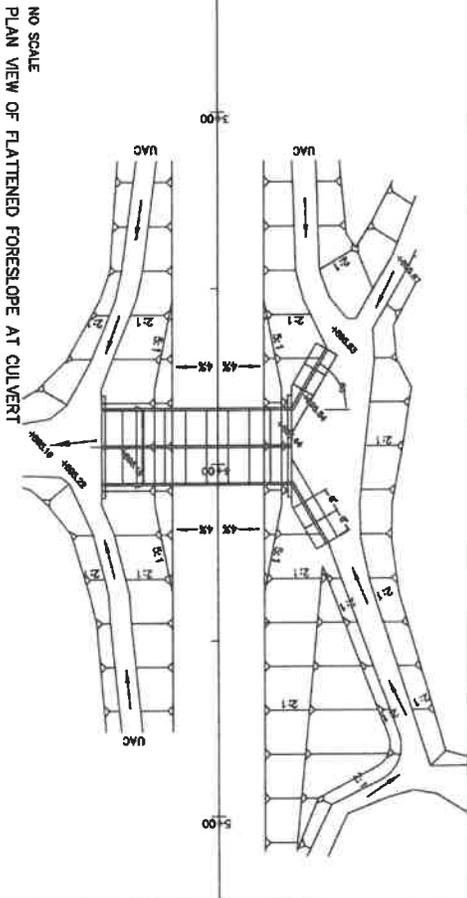
ESTIMATED PROJECT QUANTITIES OF QUANTITIES
(1 DIVISION PROJECT)

| ITEM | ITEM CODE | ITEM | UNIT | TOTAL |
|------|--------------|--|------|-------|
| 1 | 2101-0850001 | CLEARING AND GRUBBING | ACRE | 0.4 |
| 2 | 2102-2625000 | EMBANKMENT-IN-PLACE | CY | 135.4 |
| 3 | 2102-2710070 | EXCAVATION, CL 10, ROADWAY AND BORROW | CY | 402.2 |
| 4 | 2104-2710020 | EXCAVATION, CL 10, CHANNEL | CY | 115.5 |
| 5 | 2110-3825010 | GRANULAR MATERIAL | TON | 70.1 |
| 6 | 2401-6745625 | REMOVAL OF EXISTING BRIDGE | LS | 1.0 |
| 7 | 2402-2720000 | EXCAVATION, CLASS 20 | CY | 350.0 |
| 8 | 2415-2100000 | PRECAST CONCRETE BOX CULVERT, TWIN 10 FT. X 6 FT. | LF | 42.0 |
| 9 | 2415-2200000 | PRECAST CONCRETE BOX CULVERT STRAIGHT END SECTION, TWIN 10 FT. X 6 FT. | EACH | 1.0 |
| 10 | 2415-2300000 | PRECAST CONCRETE BOX FLARED APRON | EACH | 1.0 |
| 11 | 2507-3250005 | ENGINEERING FABRIC | SY | 180.3 |
| 12 | 2507-6800061 | REVEINMENT, CLASS E | TON | 98.3 |
| 13 | 2528-2518000 | SAFETY CLOSURE | EACH | 4.0 |
| 14 | 2528-8445110 | TRAFFIC CONTROL | LS | 1.0 |
| 15 | 2533-4880005 | MOBILIZATION | LS | 1.0 |

100-1A
07-15-97

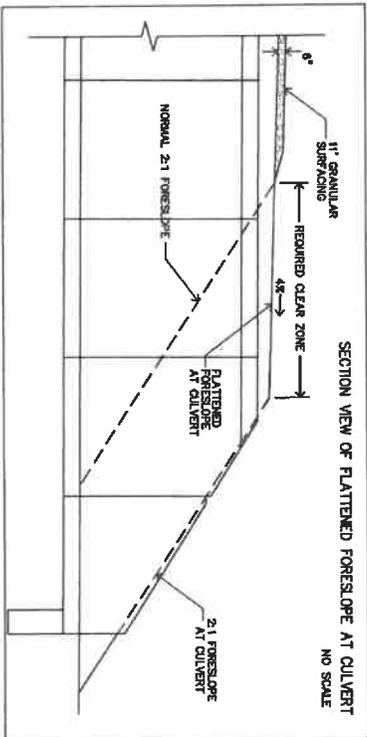
STORY COUNTY:

Story County to stick culvert control and right-of-way, perform seeding and mulchings and furnish and place granular surfacing.



ESTIMATE REFERENCE INFORMATION

| ITEM NO. | DESCRIPTION |
|----------|---|
| 1. | Entire project to be cleared and grubbed from BOR to EOP and from ROW line to ROW line. |
| 2. | Contractor to furnish 135.4 CY of suitable material. Much of this material (72.2 CY) is intended for placement in the top 26"x30"x2 1/2" of roadway fill over the culvert, with the rest used to achieve dirt balance. |
| 3. | Plan quantity is based on approximately 402.2 CY of fill (30% shrink factor) and 286.8 CY of cut. Contractor to furnish approx. 135.4 CY of material from a suitable borrow site to achieve dirt balance. No payment for overhaul will be made. Type A compaction required. See Cross Section sheets for station-by-station dirt quantities. Approximately 102.1 cy of this item includes the stripping, stockpiling, and respreading of topsoil. Topsoil to be spread smooth to a minimum of 4" on all disturbed areas from catch points to edge of road. Slopes to be finished smooth to allow for seeding. |
| 4. | Item for excavation for rock splash basin and shaping inlet and outlet to match culvert opening. Splash enclosure material to be drilled and washed on roadway foreslopes with the approval of the Engineer. Also included in this item is 81.5 cy for the relocation of 80 LF of drainage channel. The material generated will be used to fill in the old (adjacent) drainage channel. |
| 5. | Approximately 70.1 Tons required under the culvert for bedding. |
| 6. | Materials from the old structure shall become the property of the Contractor according to article 1104.08 of the Standard Specifications, and removed from site. The existing structure is a two-span 32'-x24' treated timber beam bridge with timber deck, piling and wingwalls, on a 0° skew. |
| 7. | Item for excavation for culvert placement. Suitable material may be used to backfill culvert and supplement Class 10 roadway quantity with approval from the Engineer. |
| 8-10. | Precast RCB culvert shall be a twin-cell 10'x6' with straight end sections on the outlet and 80' flared wingwalls on the inlet. The culvert shall be supplied by the Contractor as per plan, which includes dropwalls and parapets. See tabulation on Sheet C.03, notes on Sheet C.02, and drawing on Sheet C.04 for details. |
| 11-12. | Items for constructing a rock splash basin at the culvert outlet, slope protection at inlet, and several rock ditch checks. See plan view on Sheet D.01, rock tabulation on Sheet C.03, and Standard Road Plan EC-301 for details. Item include furnishing 98.3 tons of Class 10 Channel Item, for the construction of the splash basin. Excavation to paid for in Class 10 Channel Item. |
| 13. | See tabulation on Sheet C.03 for stationing and quantities. |
| 14. | See Standard Road Plan TC-252 for details. |



GENERAL NOTES

GENERAL NOTES:

Contractor to construct a twin 10'x6'x42" pre-cast concrete box culvert on a 0° skew, on 578th Ave. over Coon Creek, and grade approach.

It shall be the contractor's responsibility to provide waste areas or disposal sites for excess material (encouraged material or surplus concrete) which is not suitable to be recycled into the work involved on this project. The material to be disposed of shall be placed in accordance with the U.S. Dept. of Environmental Protection's material handling to these sites. No material shall be placed within the right-of-way, unless specifically stated in the plans.

Contractor shall maintain access to individual properties during construction, and any associated work shall be considered incidental to this project.

Construction activities, equipment, and materials shall be kept out of the streams, wetlands, or other bodies of water to the maximum extent practicable.

CONTRACTOR'S WORK AREA:

The Contractor's work and material storage area shall be defined by the Contractor and noted to the Engineer. Any area outside the Contractor's work and material storage area that is disturbed by the Contractor shall be repaired to its original condition by the Contractor and no additional payment shall be made for this work.

UTILITY NOTES:

The Contractor shall call One Call at least 48 hours prior to beginning work. Utility companies found to be located within the construction area are listed on the title sheet of these plans. See Section 1107.15 of the Iowa DOT Standard Specifications For Highway And Bridge Construction, Series 2015, regarding utility related responsibilities.

SHOP DRAWING NOTES:

Working drawings and calculations shall be furnished by the Contractor and certified by a licensed engineer in the State of Iowa, and shall be submitted to the Story County Engineer for review and approval. Refer to Section 1103.03 for additional information.

HAZARDOUS MATERIALS NOTES:

It is presumed that there is no asbestos at this site. However, should the occasion arise that asbestos is discovered during bridge demolition, then demolition shall cease and the County will contract with a licensed asbestos contractor to remove any asbestos.

EMERALD ASH BORER NOTE:

Dispose of all wood material generated as a result of clearing and/or grubbing according to the Iowa Department of Agriculture and Land Stewardship's Emerald Ash Borer (EAB) Quarantine Order. For more information refer to http://www.iowadeppests.com/eab_quarantine.html.

NDJMA BAT HABITAT:

See Iowa DOT Specification 2101.01.

PRE-CAST CULVERT NOTES

INSTALLATION NOTES:

Pre-cast concrete box culvert sections shall be laid with the groove end of each section up-grade, and the sections shall be tightly joined. Joint openings between sections should be as tight as practicable and limited to a maximum of 1/8 inch openings. The joint on the bottom of the culvert shall be sealed with a flexible water tight 1 inch dry/1 rope gasket as per Material 1.K. 431.09. Every rope gasket shall be installed in accordance with the recommendations of the manufacturer. The contractor shall also place a 2 foot wide piece of engineering fabric around the top and sides of each precast joint. The fabric shall be covered with 1 foot on each side of the joint. The fabric shall be attached to the walls and top of each section to prevent the fabric from slipping off the joint during backfilling operations. Attachment methods shall be approved by the engineer.

All costs including material, equipment, and labor necessary for installing the culvert as detailed herein, shall be included in the bid item Pre-cast Concrete Box Culvert. The engineering fabric shall meet the material requirements as set forth in 438E.01c of the Iowa DOT Standard Specifications. During backfilling the connection of the section shall be secured with a minimum of 2" diameter steel rods spaced at 4' on center. The rods shall be 1/2" diameter and shall be plugged with a precast concrete plug, sealed and covered with mastic or mortar.

DESIGN REQUIREMENTS:

The precast culvert sections shall meet the minimum requirements of ASTM C 1577, Table 1 sections that are designed for combined earth dead load and ASHTO HL-83 live load conditions. Any precast box culvert designs submitted that vary from the ASTM C 1577 standards, shall be designed and sealed by a professional engineer, currently registered in the State of Iowa. Minimum length of precast sections shall be 4-0 feet. Minimum culvert wall thickness shall be 9 inches.

PRE-CONSTRUCTION NOTES:

The Contractor shall submit details of the proposed precast box sections to the Story County engineer's office for approval. These details shall include a situation plan, culvert barrel cross sections showing steel, and end section details. The length in linear feet of precast concrete box culvert will be based on the plan quantity.

For the number of linear feet shown on the plan, the Contractor will be paid the contract unit price per linear foot. The payment shall be for furnishing all materials, labor and equipment necessary to complete the work except for items in end sections and Class 20 Excavation.

For each precast box culvert end section (including dropwalls), labor and equipment necessary to complete the work, except for items in precast concrete box culvert and Class 20 Excavation.

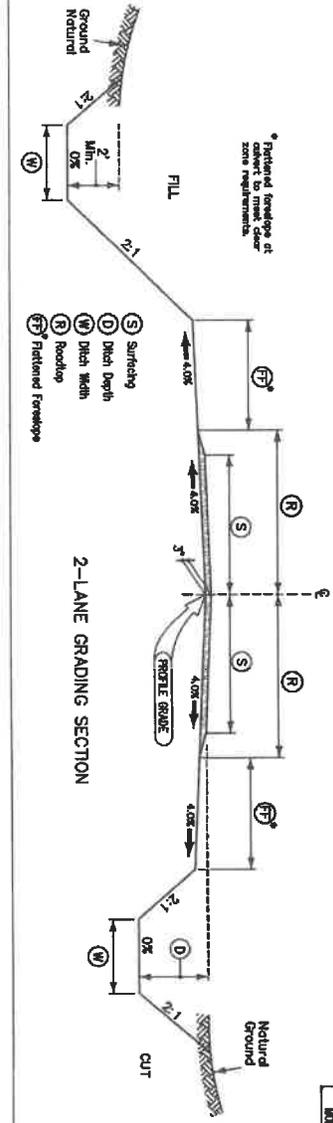
Dropwalls and parapets shall be precast.

The Contractor shall furnish culvert ties for all joints. The main section joints will have one tie on each side of the barrel and the last barrel section will be attached to the end sections with two ties per side. Culvert ties shall be included in the cost for precast concrete box culvert. The rods will be 1 inch in diameter steel and shall meet requirements of ASTM A 709 grade 35 or equal. Culvert tie assemblies shall be galvanized or painted according to 2408.30 of the Iowa DOT Standard Specifications. Acrylic topcoat not required.

Normal sections shown may be modified appropriately in areas of abutment, curves or other locations specifically designated by the Engineer.

See Plan & Profile sheets and cross sections for additional details of structure and bookkeeping.

| ROAD IDENTIFICATION | SIDE | STATION TO STATION | DIMENSIONS | | | | |
|---------------------|------|--------------------|-----------------------|-----------------------|-----------------------|-----------------------|-----------------------|
| | | | (F) ¹ Feet | (D) ² Feet | (W) ³ Feet | (R) ⁴ Feet | (S) ⁵ Feet |
| 578th Ave. | LT | 3+25.0 | 0 | 0 | 6 | 1.5 | 11 |
| 578th Ave. | LT | 3+58.4 | 0 | 0 | 6 | 1.5 | 11 |
| 578th Ave. | LT | 3+92.9 | 0 | 0 | 6 | 1.5 | 11 |
| 578th Ave. | LT | 4+16.6 | 0 | 0 | 6 | 1.5 | 11 |
| 578th Ave. | LT | 4+50.0 | 0 | 0 | 6 | 1.5 | 11 |
| 578th Ave. | LT | 4+83.4 | 0 | 0 | 6 | 1.5 | 11 |
| 578th Ave. | LT | 4+16.6 | 0 | 0 | 6 | 1.5 | 11 |
| 578th Ave. | LT | 4+50.0 | 0 | 0 | 6 | 1.5 | 11 |
| 578th Ave. | LT | 4+83.4 | 0 | 0 | 6 | 1.5 | 11 |
| 578th Ave. | LT | 4+16.6 | 0 | 0 | 6 | 1.5 | 11 |
| 578th Ave. | LT | 4+50.0 | 0 | 0 | 6 | 1.5 | 11 |
| 578th Ave. | LT | 4+83.4 | 0 | 0 | 6 | 1.5 | 11 |



DRAINAGE STRUCTURES BY CULVERT CONTRACTOR

| Location | Size | Type | Length New Const. Approx. Ln. Ft. | No. of Approx. Left | Flow Line Elevation | | | Other | Dimensions - Ln. Ft. | | By Road Contractor | Floodable* Backfill (A) | Floodable* Backfill (B) | Floodable* Backfill (A+B) | REMARKS |
|----------|------|-----------|-----------------------------------|---------------------|---------------------|--------|-------|-------|----------------------|-----------|--------------------|-------------------------|-------------------------|---------------------------|---------|
| | | | | | Left | Right | Other | | Total | Extension | | | | | |
| 3+96.00 | 10x8 | Tyrod RCB | 42.0 | 2 | 896.50 | 896.20 | | | 20.8 | 21.2 | | | | 360.7 cu' Class 20 Base. | |

ROCK EROSION CONTROL

| Road Identification | Begin Station | End Station | Side LL/RL | Type 1 Rock Ditch Check | Type 2 Rock Ditch | Type 3 Rock Fume | Type 4 Rock Spill Protection | Type 5 Rock Slope Protection | Material Bid Quantities | | | Remarks |
|---------------------|---------------|-------------|------------|-------------------------|-------------------|------------------|------------------------------|------------------------------|-------------------------|-------------|----------------|--------------------------------------|
| | | | | | | | | | Erosion Stone TON | Class E TON | Eng. Fabric SY | |
| 578th Ave. | 3+85.4 | 4+14.6 | 38' RL | | | | X | | 36.5 | 7.5 | 51.3 | Spill Basin at RCB outlet. |
| 578th Ave. | 3+85.4 | 4+14.6 | 28' RL | | | | | X | 7.5 | 21.8 | | Slope protection at RCB outlet. |
| 578th Ave. | 3+85.4 | 4+14.6 | 28' RL | | | | | X | 8.3 | 32.7 | | Slope protection at RCB inlet. |
| 578th Ave. | 3+85.4 | 3+92.9 | 28' LT | | | | | | 22.5 | 37.3 | | Ditch/Slope protection at RCB inlet. |
| 578th Ave. | 3+57.4 | 3+78.3 | 31' RL | X | | | | | 7.5 | 12.4 | | Road Ditch Check. |
| 578th Ave. | 3+25.0 | 3+28.0 | 25' LT | X | | | | | 7.5 | 12.4 | | Road Ditch Check. |
| 578th Ave. | 3+25.0 | 3+28.0 | 25' RL | X | | | | | 7.5 | 12.4 | | Road Ditch Check. |

TABLATION OF SAFETY CLOSURES

| STATION | ROAD QTY. | HAZARD QTY. | CLOSURE TYPE | | REMARKS |
|---------|-----------|-------------|--------------|---|--------------|
| | | | 1 | 2 | |
| 3+80.0 | 1 | | | | |
| 3+100.0 | 1 | | | | |
| 3+150.0 | 1 | | | | |
| 3+200.0 | 1 | | | | |
| 3+250.0 | 1 | | | | |
| | | | 2 | 2 | TOTAL = 4.00 |

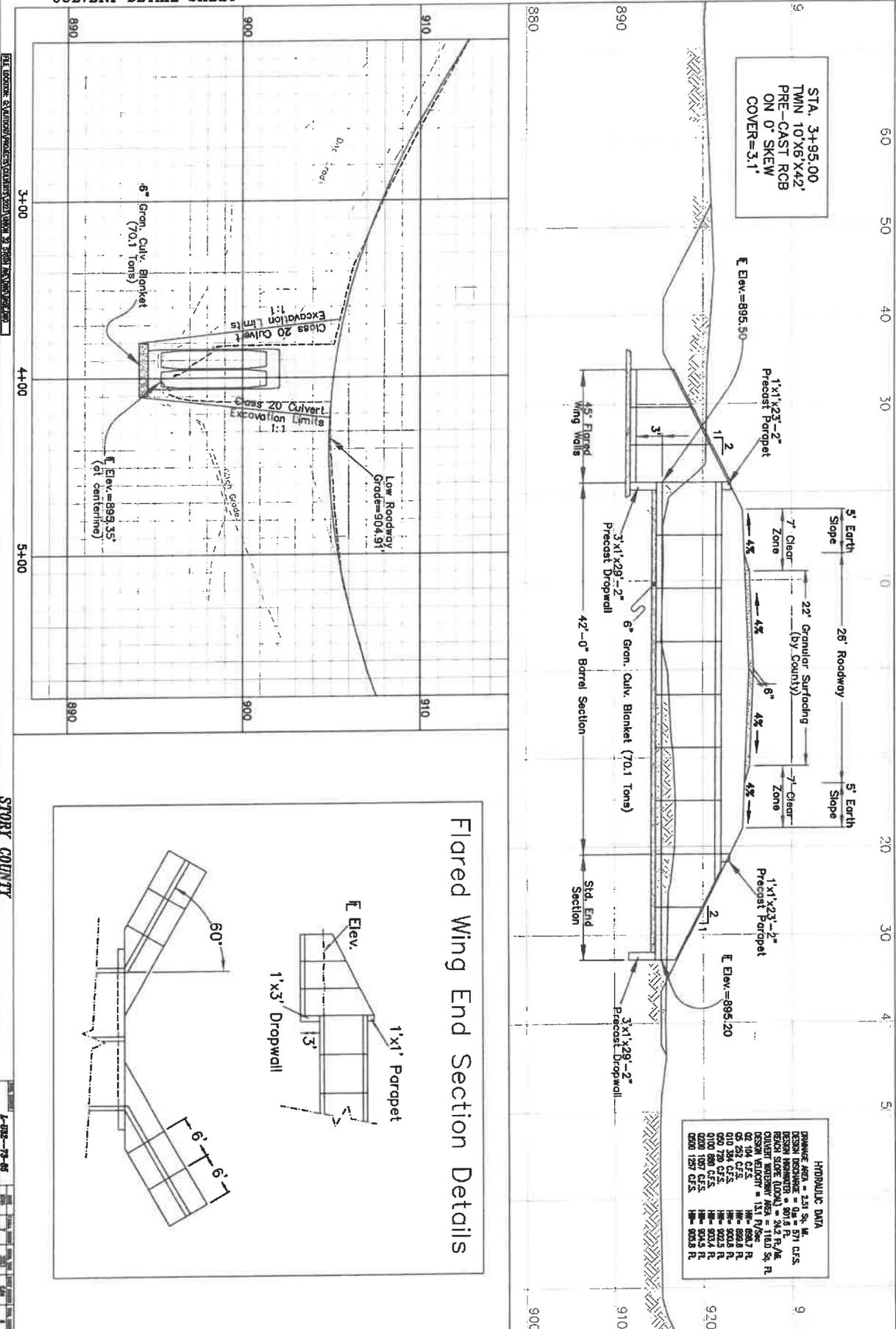
FILE LOCATION: EXHIBIT/STATION/SECTION/SECTION TO FROM AND DRAWING

STORY COUNTY

L-032-73-85

104-4 10-20-08

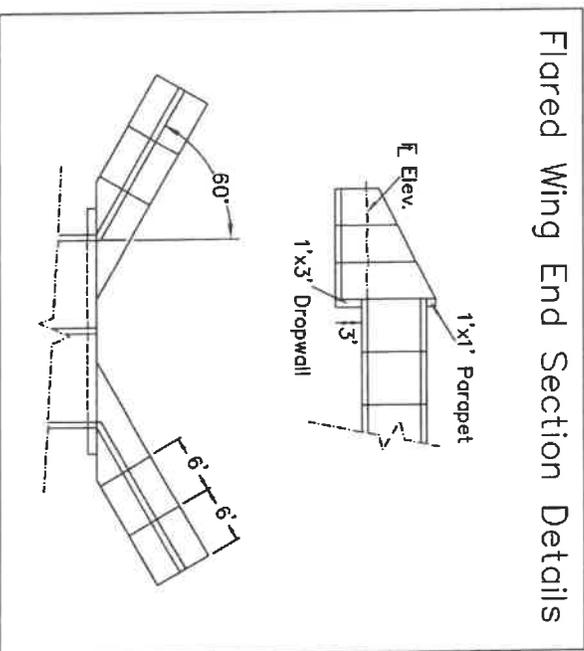
CULVERT DETAIL SHEET



STA. 3+95.00
TWIN 10'x6'x42'
PRE-CAST RCBS
ON 0° SKEW
COVER=3.1'

HYDRAULIC DATA

| | | | |
|------------------|-------------|---------------------|-----------------|
| DESIGN SPEED | = 25.0 mph | DESIGN FLOW | = 116.0 cfs |
| DESIGN HEADWATER | = 0.015 ft | DESIGN SLOPE (DOWN) | = 24.2 ft/mi |
| DESIGN TAILWATER | = 0.015 ft | DESIGN WINDUP AREA | = 116.0 sq. ft. |
| DESIGN FLOW | = 116.0 cfs | DESIGN FLOW | = 116.0 cfs |
| DESIGN FLOW | = 116.0 cfs | DESIGN FLOW | = 116.0 cfs |
| DESIGN FLOW | = 116.0 cfs | DESIGN FLOW | = 116.0 cfs |
| DESIGN FLOW | = 116.0 cfs | DESIGN FLOW | = 116.0 cfs |
| DESIGN FLOW | = 116.0 cfs | DESIGN FLOW | = 116.0 cfs |
| DESIGN FLOW | = 116.0 cfs | DESIGN FLOW | = 116.0 cfs |
| DESIGN FLOW | = 116.0 cfs | DESIGN FLOW | = 116.0 cfs |



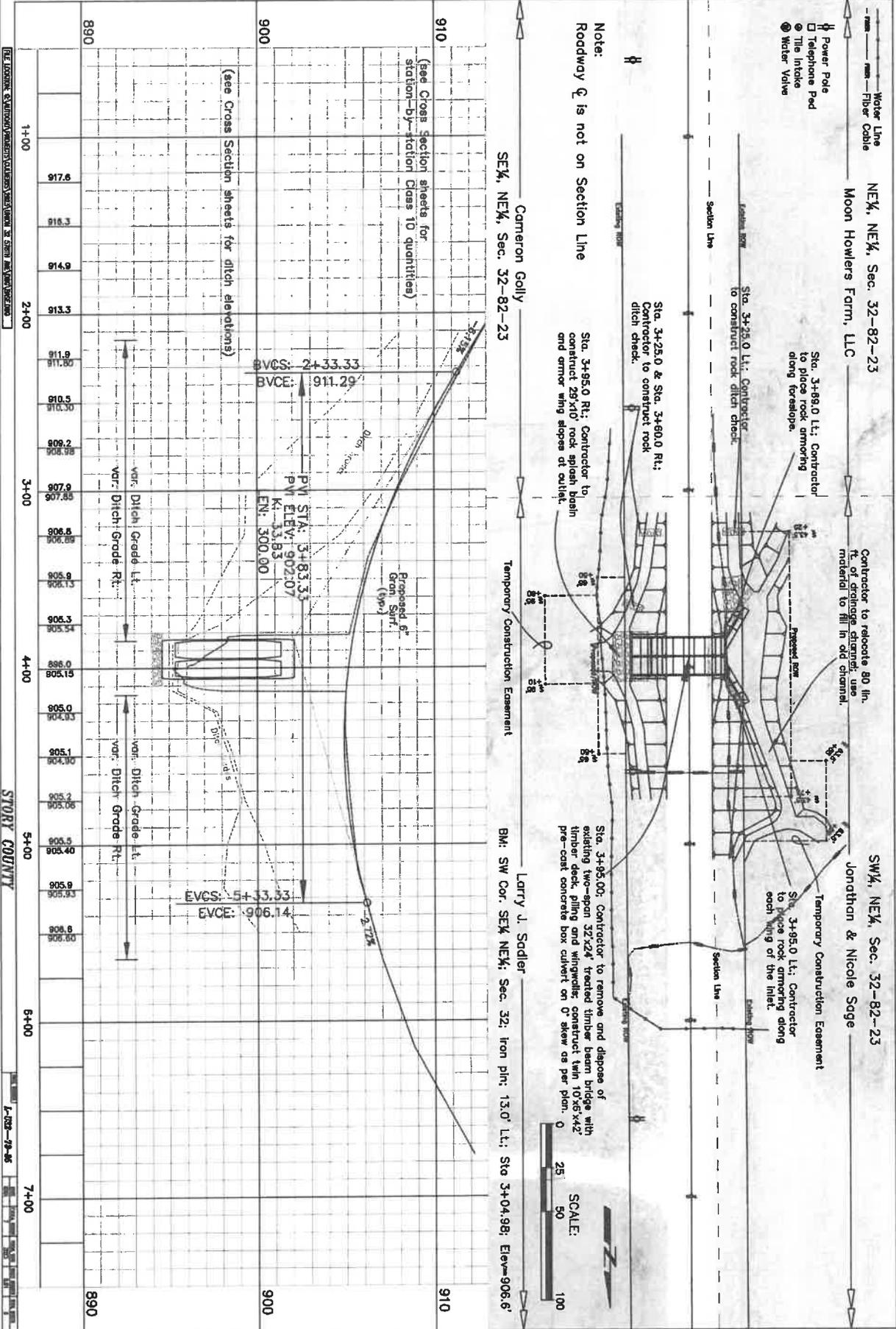
SEE DRAWING L-U32-73-85 FOR GENERAL NOTES

STORY COUNTY

L-U32-73-85

PLAN AND PROFILE SHEET

PROJ No. L-U32--73-85



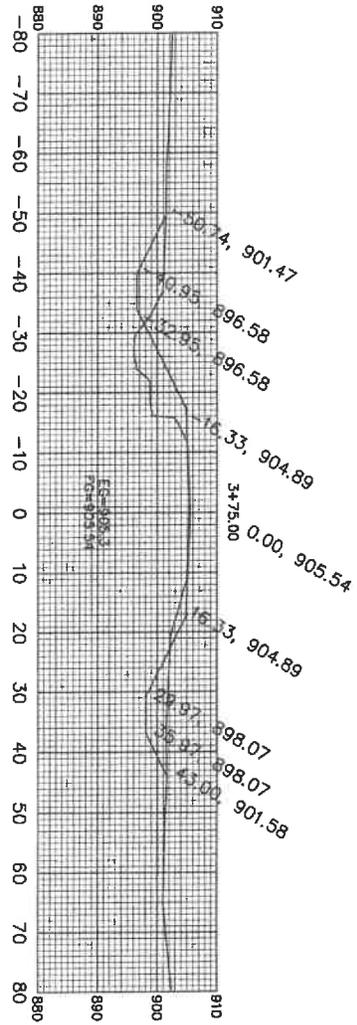
CROSS SECTIONS SHEET

PROJ No. L-U32--73-85

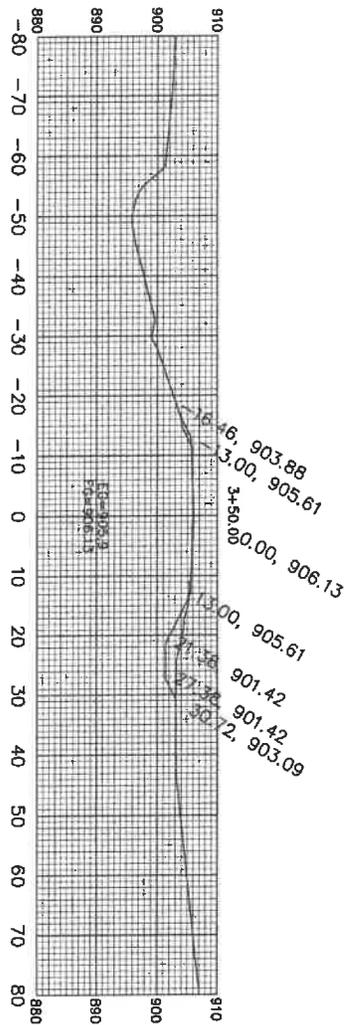
SEE ADDITIONAL DRAWINGS FOR CROSS SECTIONS AND ELEVATIONS OF STATION AND SURFACE

STONEY COUNTY

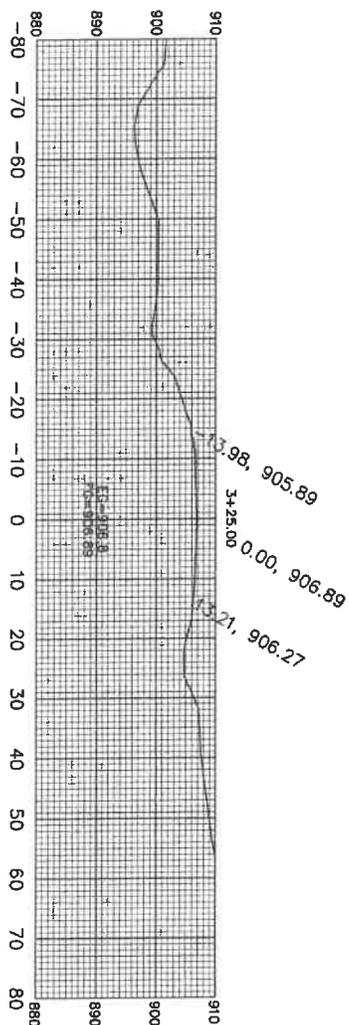
L-102--73-85



| | |
|--------------|-------|
| Sta. 3+75.00 | |
| Cut Area | 97.60 |
| Fill Area | 81.95 |
| Cut Vol | 56.66 |
| Fill Vol | 51.94 |



| | |
|--------------|-------|
| Sta. 3+50.00 | |
| Cut Area | 24.79 |
| Fill Area | 4.35 |
| Cut Vol | 11.85 |
| Fill Vol | 3.30 |



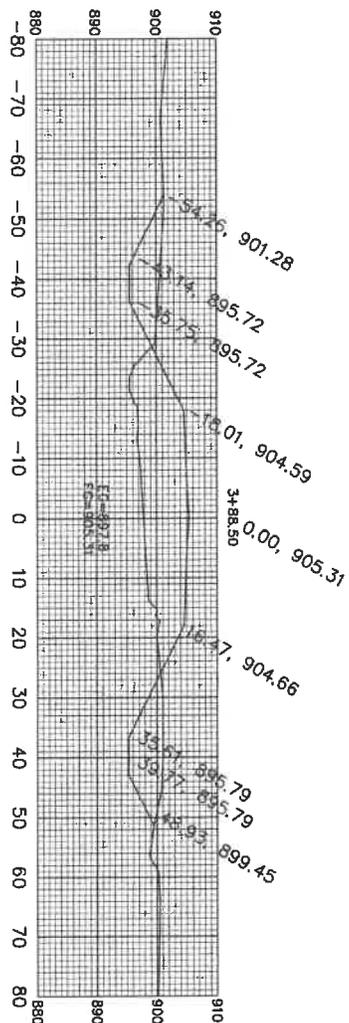
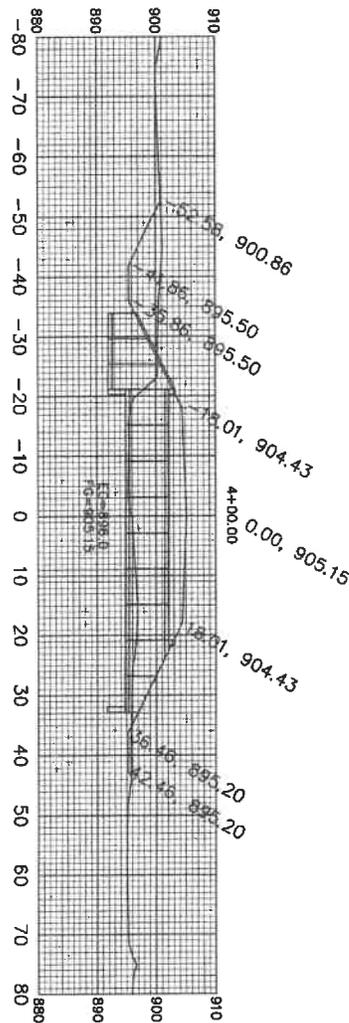
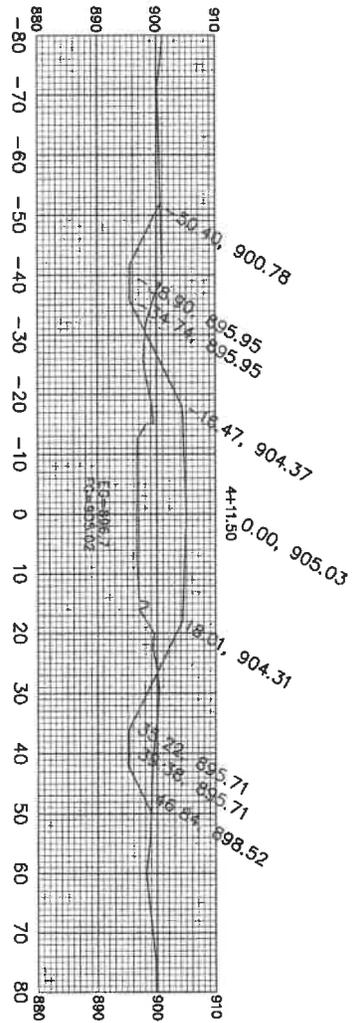
| | |
|--------------|------|
| Sta. 3+25.00 | |
| Cut Area | 0.81 |
| Fill Area | 1.13 |
| Cut Vol | 0.37 |
| Fill Vol | 0.68 |

THE UTMARK EXAMINING ENGINEERS AND SURVEYORS INC.

STORY COUNTY

L-U32--73-85

DATE: 10/15/85

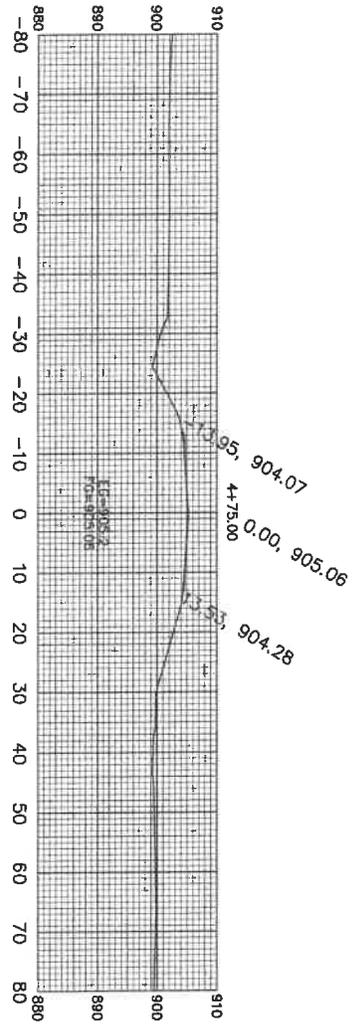


FILE LOCATION: S:\PROJECTS\ROADS\CONCRETE\STORY\STORY CROSS SECTIONS

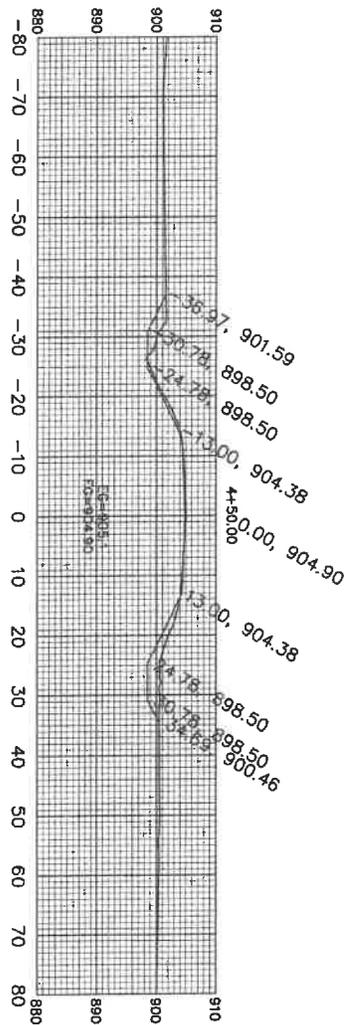
STORY COUNTY

DATE: 1-08--76-85

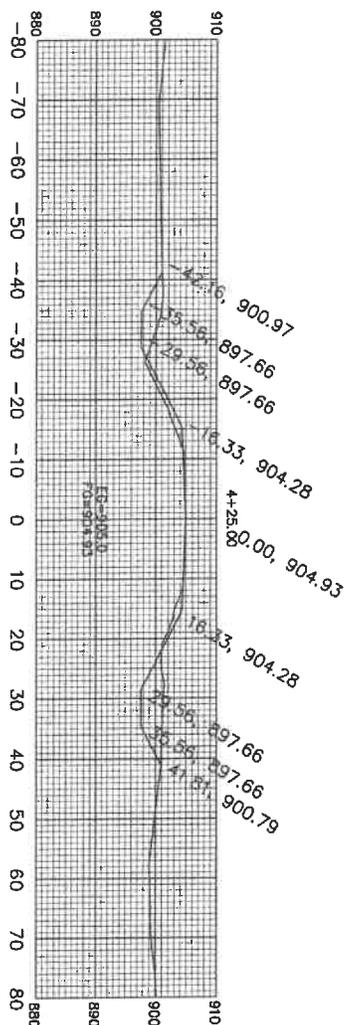
SCALE: 1"=40'



| | |
|--------------|------|
| Sta. 4+75.00 | |
| Cut Area | 1.41 |
| Fill Area | 1.61 |
| Cut Vol | 3.27 |
| Fill Vol | 0.86 |



| | |
|--------------|-------|
| Sta. 4+50.00 | |
| Cut Area | 49.34 |
| Fill Area | 1.19 |
| Cut Vol | 11.42 |
| Fill Vol | 0.36 |



| | |
|--------------|--------|
| Sta. 4+25.00 | |
| Cut Area | 73.03 |
| Fill Area | 18.22 |
| Cut Vol | 51.55 |
| Fill Vol | 113.82 |

STORY COUNTY

Letting Date **Jan. 10, 2023**

RCB CULVERT NEW - SINGLE BOX Proj. No. L-C23--73-85

SHEET 100M-9

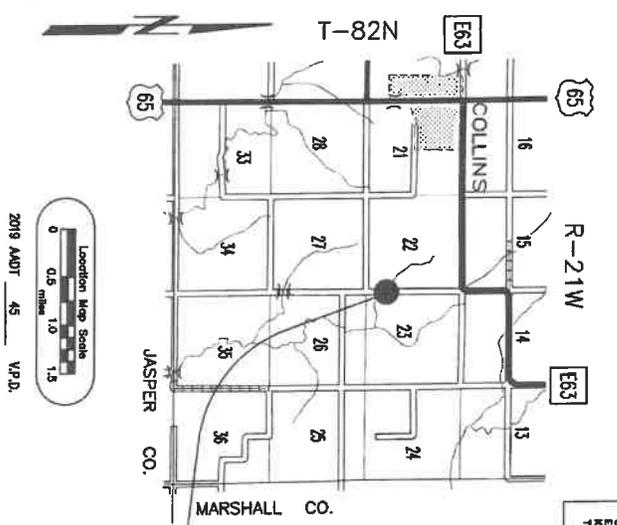
PROJECT TRAFFIC CONTROL PLAN
THIS ROAD WILL BE CLOSED TO THROUGH TRAFFIC DURING CONSTRUCTION. LOCAL TRAFFIC TO ADJACENT PROPERTIES WILL BE MAINTAINED AS PROVIDED FOR IN ARTICLE 1107.06 OF THE CURRENT STANDARD SPECIFICATIONS. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROJECT OWNER AND CONTRACTOR TO THE "MANUAL ON HIGHWAY TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AS ADOPTED BY THE DEPARTMENT FOR 701 OF THE IOWA ADMINISTRATIVE CODE (IAC) CHAPTER 15X.

ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, AND MAINTAINED BY THE CONTRACTOR.

UTILITIES INFORMATION
UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THESE PLANS OR SHOWN TO BE WITHIN THE CONSTRUCTION LIMITS SHALL BE NOTIFIED BY THE CONTRACTOR OF THE CONSTRUCTION STARTING DATE AND SUBSEQUENT WORK IN THE AREA.

IOWA REGIONAL UTILITY ASSN.: 641-782-7011
CONSUMERS ENERGY: 641-754-1842
WINDSTREAM COMMUNICATIONS: 800-288-1901

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF UTILITIES IN THE PROJECT AREA PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES FOR NECESSARY CONSTRUCTION. UNDERGROUND FACILITIES AND RECORDS AND THEIR LOCATIONS ARE ON AVAILABLE RECORDS AND RECORDS AND THEIR LOCATIONS ARE ON AVAILABLE RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL UTILITIES IN THE PROJECT AREA AND TO PROTECT THEM THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



PROJECT LOCATION
STA. 5+48.50; OVER SMALL STREAM, IN THE SW¼ OF SECTION 23--82--21.

DESIGN FOR:
SINGLE 12'X4'X40' PRE-CAST CONCRETE BOX CULVERT ON 0° SKEW

SEND SHOP DRAWINGS TO:
STORY COUNTY ENGINEER
837 N. AVE.
NEVADA, IOWA 50201



Scales: As Noted

CORPS OF ENGINEERS PERMIT
CONSTRUCT THIS PROJECT ACCORDING TO THE REQUIREMENTS OF U.S. ARMY CORPS OF ENGINEERS. THE U.S. ARMY CORPS OF ENGINEERS RESERVES THE RIGHT TO VISIT THE SITE WITHOUT FROM NOTICE. (<http://www.dcmwaterandwastewater.com/>)

IOWA DEPARTMENT OF TRANSPORTATION Highway Division PLANS OF PROPOSED IMPROVEMENT ON THE LOCAL ROAD SYSTEM STORY COUNTY RCB CULVERT NEW-SINGLE BOX

Over small stream, in the SW¼ of Section 23--82--21.
Refer to Proposal Form for a list of applicable specifications.

Project No. L-C23--73-85

INDEX OF SHEETS

| No. | Description |
|------------|----------------------------|
| A-01 | TITLE SHEET |
| C-01 | QUANTITY INFORMATION SHEET |
| C-02 | GENERAL NOTES SHEET |
| C-03 | TRIALBORING SHEET |
| C-04 | CULVERT DETAIL SHEET |
| D-01 | PLAN AND PROFILE SHEET |
| W-01--W-03 | CROSS SECTION SHEETS |

MILEAGE SUMMARY

| Div. | Location | Ln. Ft. | Miles |
|-------|------------------------------|---------|-------|
| I | STA. 8+23.00 TO STA. 6+50.00 | 178,000 | 0.024 |
| Total | | 178,000 | 0.024 |

STANDARD ROAD PLANS

| Number | Date | Title |
|--------|----------|---|
| 08-101 | 04-08-17 | PIPE CULVERT (BEDDING AND BACKFILL) |
| 08-102 | 04-21-16 | PIPE CULVERT (COVER AND GABRIEL) |
| 08-103 | 04-21-16 | PIPE CULVERT (INSTALLATION DETAILS) |
| 08-104 | 04-19-16 | DEPTH OF COVER TABLES FOR CONCRETE AND CORRUGATED PIPE |
| 08-302 | 04-20-15 | SUBGRAINS STANDARD (FURN THE REPLACEMENT) |
| 08-303 | 04-19-22 | SUBGRAIN OUTLETS (STANDARD SUBGRAIN PRESSURE RELEASE AND SPECIAL) |
| 08-301 | 10-18-16 | ROCK EROSION CONTROL (REC) |
| EM-101 | 10-17-17 | EMBANKMENT AND REBUILDING EMBANKMENTS |
| EM-102 | 10-20-16 | ALLOWABLE PLACEMENT OF UNSATURABLE SOIL IN EMBANKMENTS |
| TC-282 | 04-21-20 | ROUTES CLOSED TO TRAFFIC |



I hereby certify that this engineering document was prepared by me or by a duly licensed Professional Engineer under the supervision of me, and that I am a duly licensed Professional Engineer under the laws of Iowa.
Signature: *Mike Spindle* Date: *11-21-22*

Accepted by: *William Wilson* 11-22-22
Story County Engineer
Date: _____

Approved Story County Board of Supervisors: *[Signature]*

Story County Project Number: L-C23--73-85 Sheet No. A.01

QUANTITY INFORMATION SHEET

PROJ No. L-C23--73-85

ESTIMATED PROJECT QUANTITIES OF QUANTITIES
(1 DIVISION PROJECT)

| ITEM | ITEM CODE | ITEM | UNIT | TOTAL |
|------|--------------|---|------|-------|
| 1 | 2101-0850001 | CLEARING AND GRUBBING | ACRE | 0.3 |
| 2 | 2102-2625001 | EMBANKMENT-IN-PLACE, CONTRACTOR FURNISHED | CY | 55.0 |
| 3 | 2102-2710070 | EXCAVATION, CL 10, ROADWAY AND BORROW | CY | 143.0 |
| 4 | 2102-4580000 | LOCATING TILE LINES | STA | 1.0 |
| 5 | 2104-2710020 | EXCAVATION, CL 10, CHANNEL | CY | 23.0 |
| 6 | 2110-3825010 | GRANULAR MATERIAL | TON | 40.0 |
| 7 | 2401-6745625 | REMOVAL OF EXISTING BRIDGE | LS | 1.0 |
| 8 | 2402-2720000 | EXCAVATION, CLASS 20 | CY | 69.0 |
| 9 | 2415-2111204 | PRECAST CONCRETE BOX CULVERT, 12 FT. X 4 FT. | LF | 40.0 |
| 10 | 2415-2201204 | PRECAST CONCRETE BOX CULVERT STRAIGHT END SECTION, 12 FT X 4 FT | EACH | 2.0 |
| 11 | 2502-4388050 | INTAKE, STANDPIPE, AS PER PLAN | EACH | 1.0 |
| 12 | 2502-8215908 | SUBDRAIN, TILE, 8 IN. DIA. | LF | 54.0 |
| 13 | 2502-8215910 | SUBDRAIN, TILE, 10 IN. DIA. | LF | 26.0 |
| 14 | 2507-3250005 | ENGINEERING FABRIC | SY | 68.5 |
| 15 | 2507-6800061 | REVEINMENT, CLASS E | TON | 39.0 |
| 16 | 2528-2519000 | SAFETY CLOSURE | EACH | 4.0 |
| 17 | 2528-8445110 | TRAFFIC CONTROL | LS | 1.0 |
| 18 | 2533-4980005 | MOBILIZATION | LS | 1.0 |
| 19 | 2599-9999003 | REVEINMENT, REMOVE STOCKPILE AND DISPOSE | CY | 14.0 |

GENERAL NOTES

Story County to stake culvert control and right-of-way, furnish and place granular surfacing on roadway, apply seeding and mulching, and place erosion control measures.

ESTIMATE REFERENCE INFORMATION

| ITEM NO. | DESCRIPTION |
|----------|--|
| 1. | The entire project shall be cleared and grubbed from BOP to EOP and from ROW line to ROW line. |
| 2. | Contractor to furnish suitable borrow material. Much of this material is intended for placement in the top 25% of roadway fill over the culvert; the rest of this item quantity will be used to achieve dirt balance. |
| 3. | Pile quantity is based on approximately 143.0 CY of fill (30% shrink factor) and 68.0 CY of cut. Approximately 55.0 CY of borrow (from item 2 above) will be required to achieve dirt balance. Type A compaction required. No payment for overhaul will be made. Approximately 85 cy of this item includes the stripping, stockpiling, and spreading topsoil. Topsoil to be spread smooth to a minimum of 4" on all disturbed areas from catch points to edge of road. Slopes to be finished smooth to allow for seeding. See Cross Section sheets for station-by-station dirt quantities. |
| 4. | Item for locating existing tile crossings that are to be replaced. Quantity includes locating on each side of the roadway: 50' at Sta. 5+75.5 L1 for the standpipe installation and 50' at Sta. 5+75.5 R1 for roadtie tie-in. |
| 5. | Item for excavating a 20"x12"x2' rock splash basin at the outlet and matching the inlet channel. Quantity includes 17.8 cy for the outlet splash basin, and 5.2 cy for channel matching. Suitable stockpiled material may be used as fill for any channel relocation or drained and wasted on roadway for slopes with the approval from the Engineer. |
| 6. | Approximately 40 tons of 1" rock is required under the box for bedding. |
| 7. | Materials from the old structure shall become the property of the Contractor according to article 1104.08 of the Standard Specifications, and removed from site. No burying of material allowed. The existing structure is a 18"x24" treated timber beam bridge on a 6" skew with timber piling, bents, and whifwells. |
| 8. | Item for excavation for culvert placement. Suitable material may be used to backfill culvert and supplement Class 10 roadway quantity with approval from the Engineer. |
| 9-10. | Precast RC3 culvert shall be a single 12"x4"x4' with straight end sections on the outlet and inlet. The culvert shall be supplied by the Contractor as per plan, which includes unspliced reinforcement 10#4 on Sheet C03 and notes on Sheet C02 for details. All joints shall be tied flush with the bars. |
| 11-13. | Items for the replacement of existing drainage ties and inlets. Ties shall be the double-wall plastic type. Inlets shall be of the plastic high-bottom standpipe type, and 6" in diameter. See plan sheet for approximate location; actual location will be determined by locating (see item 4). |
| 14-15. | Items for the construction of a rock splash basin at the culvert, and wing armoring at both the inlet and outlet. See Tabulation 100-23 on Sheet C.03 for stationing and quantities, and Standard Road Plan EC-301 for details. |
| 16. | See Tabulation 108-13A on Sheet C.03 for stationing and quantities. |
| 17. | See Standard Road Plan TC-252 for details. |
| 18. | Item for the removal, stockpiling, and disposal of existing broken concrete and stone revetment. Preliminary survey shows a few pieces of broken concrete lying under the bridge in the streambed. Quantity is an estimate only. Contractor shall be paid actual quantity by measuring the stockpile and computing its volume. Basis of Payment shall be in cubic yards as computed by measurements. |

GENERAL NOTES

GENERAL NOTES:
Contractor to construct a single 12'-6"x4' pre-cast concrete box culvert on a 0° skew, on 720th Ave. over an unimproved field drainage, and grade approach.

It shall be the contractor's responsibility to provide waste areas or disposal sites for excess material (excavated material or broken concrete) which is not desirable to be incorporated into the work involved on this project. These areas shall not impact wetlands or "waters of the U.S." No payment for overfill will be allowed for material hauled to these sites. No material shall be placed within the right-of-way, unless specifically stated in the plans.

Construction activities, equipment, and materials shall be kept out of the streams, wetlands, or other bodies of water to the maximum extent practicable.

CONTRACTOR'S WORK AREA:

The Contractor's work and material storage area shall be defined by the Contractor and noted to the Engineer. Any area outside the Contractor's work and material storage area that is disturbed by the Contractor shall be repaired to its original condition by the Contractor and no additional payment shall be made for this work.

UTILITY NOTES:

The Contractor shall call One Call at least 48 hours prior to beginning work. Utility companies found to be located within the construction area are listed on the title sheet of these plans. See Section 1107.15 of the current Iowa DOT Standard Specifications For Highway And Bridge Construction, regarding utility related responsibilities.

SHOP DRAWING NOTES:

Working drawings and calculations shall be furnished by the Contractor and certified by a licensed engineer in the State of Iowa, and shall be submitted to the Story County Engineer for review and approval. Refer to Section 1105.03 for additional information.

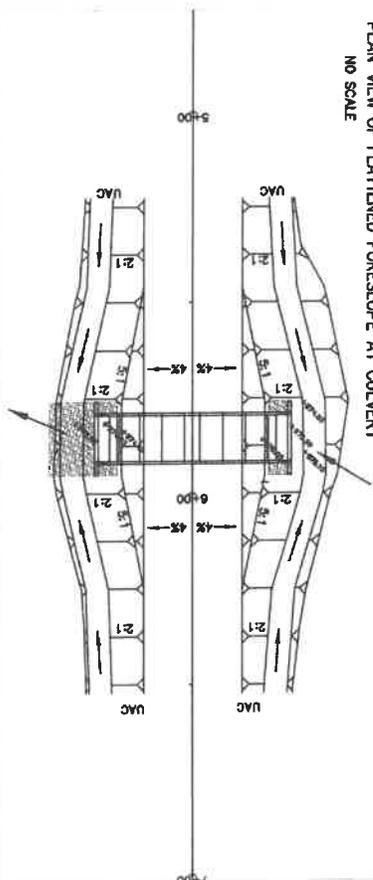
EMERALD ASH BORER NOTE:

Dispose of all wood material generated as a result of clearing and/or grubbing according to the Iowa Department of Agriculture and Land Stewardship's Emerald Ash Borer (EAB) Quarantine Order. For more information refer to http://www.iowadnr.gov/epa/ab/ab_resolution.html.

INDIANA BAT HABITAT:

See Iowa DOT Specification Section 2101.01 for tree removal.

PLAN VIEW OF FLATTENED FORESLOPE AT CULVERT
NO SCALE



PRE-CAST CULVERT NOTES

INSTALLATION NOTES:

Precast concrete box culvert sections shall be laid with the groove end of each section up-grade, and the sections shall be tightly joined. Joint openings between sections should be as tight as practicable and limited to a maximum of 3/8 inch opening. The joint on the bottom of the culvert shall be sealed with a flexible water tight sealant. The joint on the top shall be sealed with a 1/2 inch diameter polypropylene rope gasket and shall extend vertically 6 inches above the top of the culvert. All joints shall be trimmed clean on the inside after sealing. The contractor shall also place a 2 foot wide piece of engineering fabric around the top and sides of each precast joint. The fabric shall be centered with 1 foot on each side of the joint. The fabric shall be attached to the walls and top of each section to prevent the fabric from slipping off the joint during backfilling operations. Attachment methods shall be approved by the engineer.

All castles including material, equipment, and labor necessary for installing the culvert as detailed herein, shall be included in the bid item Precast Concrete Box Culvert. The engineering fabric shall meet the material requirements as set forth in the specifications and Iowa DOT Standard Specifications. During backfilling, furnish and install lifting hole plugs for each section. Lifting holes shall be plugged with a precast concrete plug, sealed and covered with mastic or mortar.

DESIGN REQUIREMENTS:

The precast culvert sections shall meet the minimum requirements of ASTM C 1577, Table 1 sections that are designed for combined earth dead load and ASHTO HL-93 live load conditions. Any precast box culvert designs submitted that vary from the ASTM C 1577 standard, shall be designed and sealed by a professional engineer, currently registered in the State of Iowa. Minimum length of precast sections shall be 4.0 feet. Minimum culvert wall thickness shall be 8 inches.

PRE-CONSTRUCTION NOTES:

The Contractor shall submit details of the proposed precast box sections to the Story County engineer's office for approval. These details shall include a situation plan, culvert bore cross sections showing steel, and end section details. The length in linear feet of precast concrete box culvert will be based on the plan quantity.

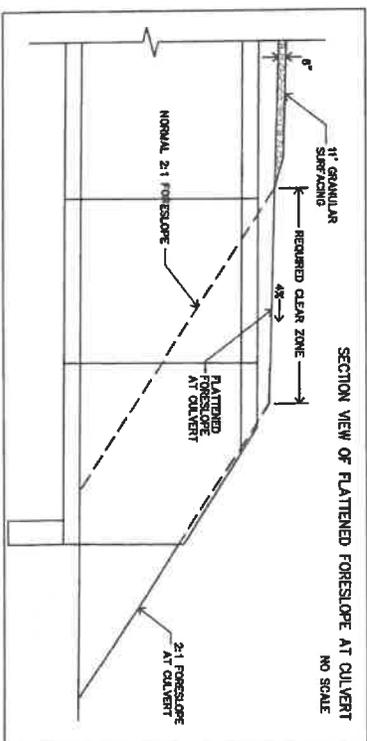
For the number of linear feet given on the plan, the Contractor will be paid the contract unit price per linear foot. The payment shall be full compensation for furnishing all materials, labor and equipment necessary to complete the work except for items in and sections on Class 20 Excavation.

For each precast box culvert and section installed the Contractor will be paid the contract price for each. The payment shall be full compensation for furnishing all materials (including parapets and dropwalls), labor and equipment necessary to complete the work, except for items in precast concrete box culvert and Class 20 Excavation.

Dropwalls shall be precast.

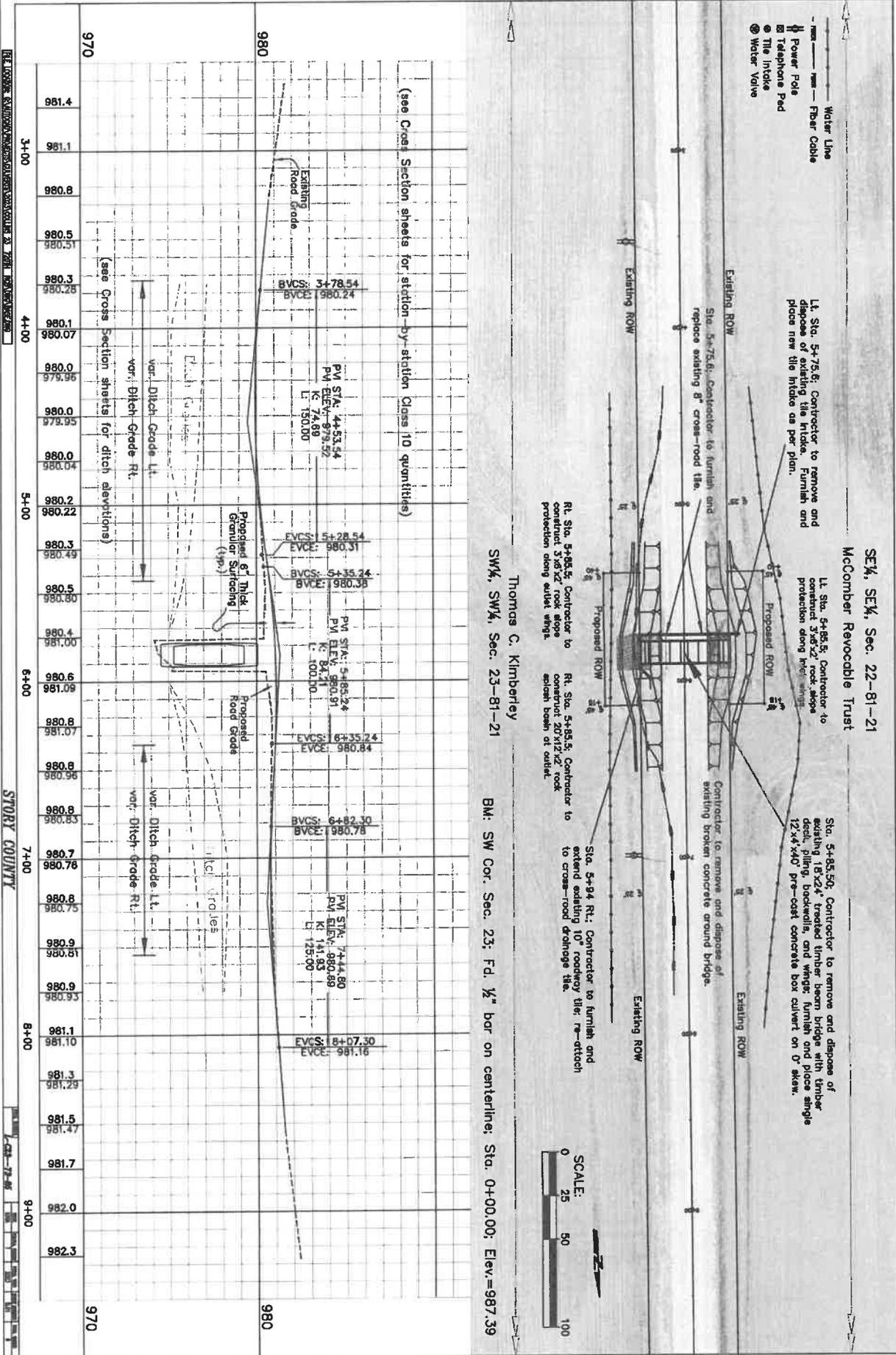
The Contractor shall furnish culvert ties for all joints. The main section joints will have one tie on each side of the bore and the bore section ties will be attached to the bottom of the section. Culvert ties shall be included in the cost for precast concrete box culvert. Ties shall be 1 inch in diameter steel and shall meet requirements of ASTM A 709 grade 38 or equal. Culvert tie assemblies shall be galvanized or painted according to 2408.30 of the Iowa DOT Standard Specifications. Any tie topcoat not required.

SECTION VIEW OF FLATTENED FORESLOPE AT CULVERT
NO SCALE



PLAN AND PROFILE SHEET

PROJ No. L-C23--73-85



- Water Line
- Fiber Cable
- Power Pole
- Telephone Pole
- Tile Inlets
- Water Valve

LI. Sta. 5+75.6; Contractor to remove and dispose of existing tile inlets. Furnish and place new tile inlets as per plan.

LI. Sta. 5+85.5; Contractor to construct 3'x6'x2' rock slope protection along here.

Sta. 5+85.50; Contractor to remove and dispose of existing 18'x24' trussed timber beam bridge with timber deck, filling, boulders, and wings. Furnish and place single 12'x4'x40' pre-cast concrete box culvert on 0' skew.

Rt. Sta. 5+85.5; Contractor to construct 3'x6'x2' rock slope protection along outlet wing.

Rt. Sta. 5+85.5; Contractor to construct 20'x12'x2' rock splash beam at outlet.

Sta. 5+94 Rt.; Contractor to furnish and extend existing 10" roadway tile re-attach to cross-road drainage tile.

Thomas C. Kimberley
SW 1/4, SW 1/4, Sec. 23-81-21

BM: SW Cor. Sec. 23; Fd. 1/2" bar on centerline; Sta. 0+00.00; Elev.=987.39



SEE CROSS SECTION SHEETS FOR STATION BY STATION CLASS 10 QUANTITIES

SEE CROSS SECTION SHEETS FOR DITCH ELEVATIONS

STORY COUNTY

7-23-74

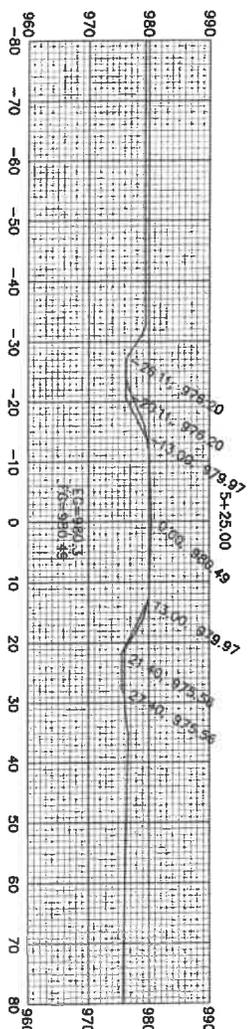
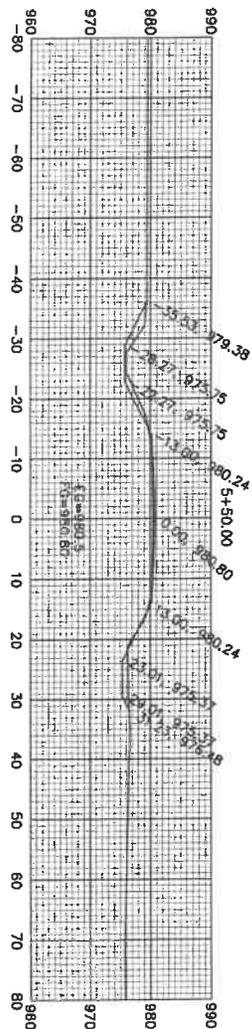
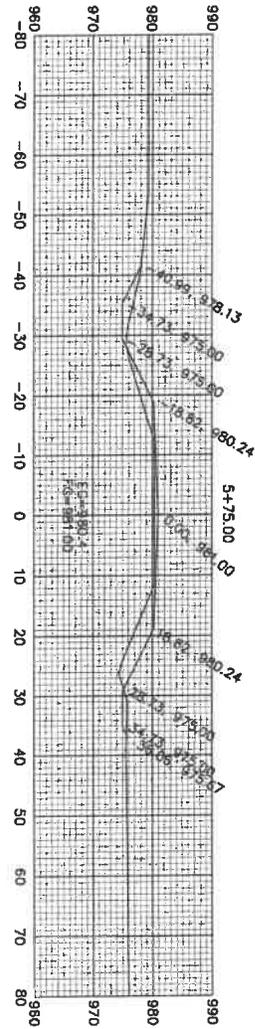
CROSS SECTIONS SHEET

PROJ No. L-C23--73-85

FILE LOCATION: S:\PROJECTS\PROJECTS\CAD\ENR\2023\STORY 23\1101_1521.DWG

STORY COUNTY

L-C23--73-85



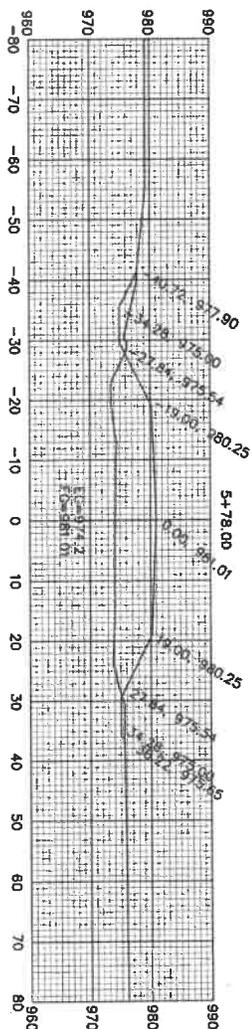
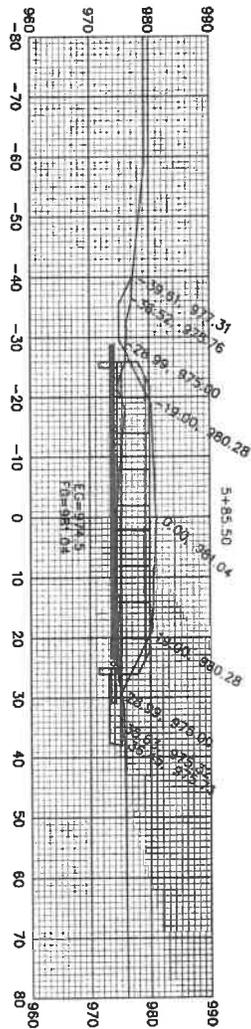
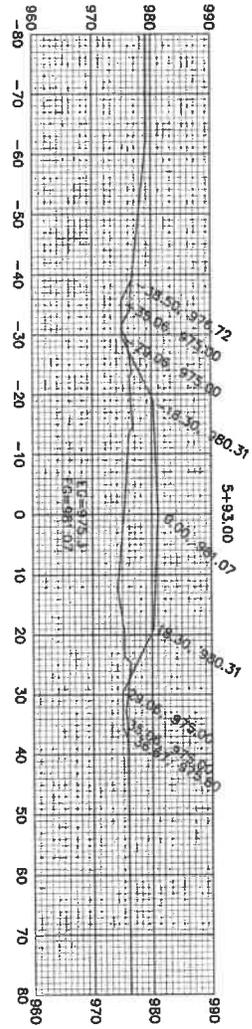
CROSS SECTIONS SHEET

PROJ No. L-C23--73-85

FILE LOCATION: C:\WORK\PROJECTS\COUNTY\2023\COUNTY_23_TERRI_MST\PROJ\CROSSING

STORY COUNTY

L-C23-73-85



CROSS SECTIONS SHEET

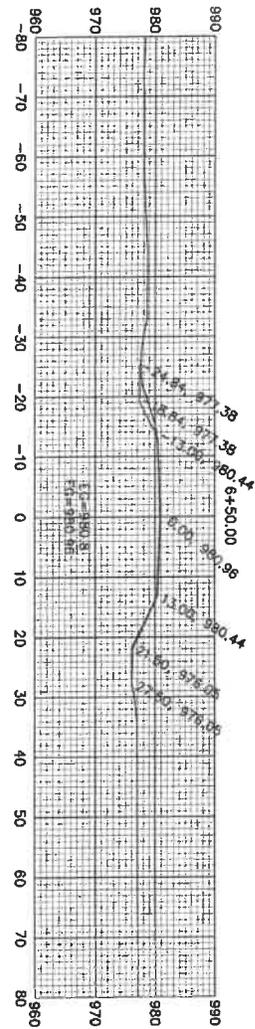
PROJ No. L-C23--73-85

FILE LOCATION: Q:\WORK\2003\PROJECTS\2003\2003\0304\23_73\11_23\0304\PROJ.DWG

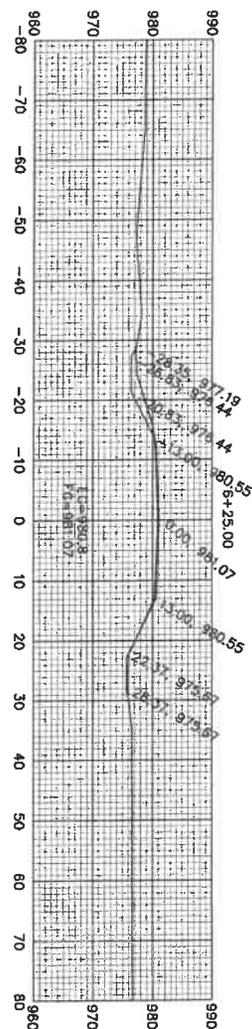
STORY COUNTY

L-C23--73-85

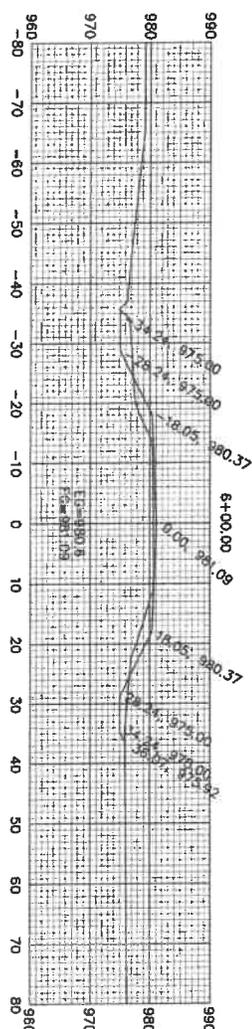
DATE: 11/23/03



| | |
|--------------|-------|
| Sta. 6+50.00 | |
| Cut Area | 9.86 |
| Fill Area | 2.71 |
| Cut Vol | 12.82 |
| Fill Vol | 4.77 |



| | |
|--------------|-------|
| Sta. 6+25.00 | |
| Cut Area | 17.82 |
| Fill Area | 5.54 |
| Cut Vol | 19.83 |
| Fill Vol | 23.68 |



| | |
|--------------|-------|
| Sta. 6+00.00 | |
| Cut Area | 25.01 |
| Fill Area | 35.38 |
| Cut Vol | 5.04 |
| Fill Vol | 44.15 |

QUANTITY INFORMATION SHEET

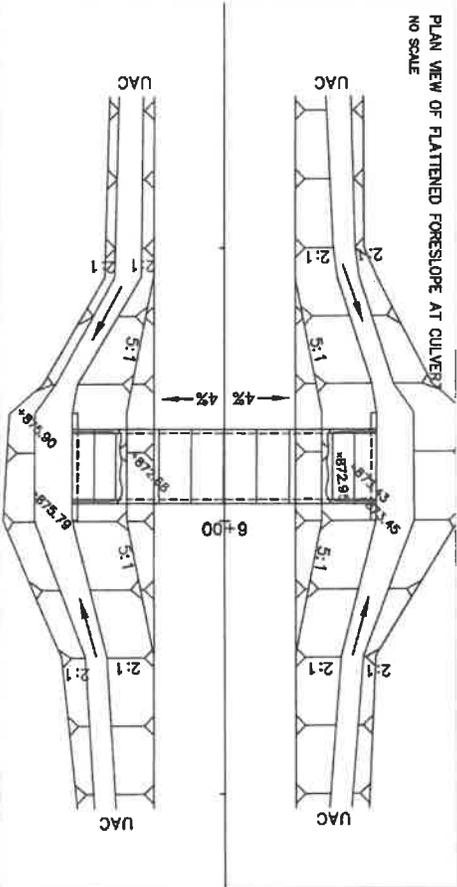
ESTIMATED PROJECT QUANTITIES OF QUANTITIES
(1 DIVISION PROJECT)

100-1A
07-15-97

| ITEM | ITEM CODE | ITEM | UNIT | TOTAL |
|------|--------------|---|------|-------|
| 1 | 2101-0850001 | CLEARING AND GRUBBING | ACRE | 0.2 |
| 2 | 2102-2710070 | EXCAVATION, CL 10, ROADWAY AND BORROW | CY | 188.0 |
| 3 | 2110-3825010 | GRANULAR MATERIAL | TON | 57.0 |
| 4 | 2401-8745625 | REMOVAL OF EXISTING BRIDGE | LS | 1.0 |
| 5 | 2402-2720000 | EXCAVATION, CLASS 20 | CY | 145.0 |
| 6 | 2415-2111205 | PRECAST CONCRETE BOX CULVERT, 12 FT. X 5 FT. | LF | 36.0 |
| 7 | 2415-2201205 | PRECAST CONCRETE BOX CULVERT STRAIGHT END SECTION, 12 FT. X 5 FT. | EACH | 2.0 |
| 8 | 2502-8215810 | SUBDRAIN, TILE, 10 IN. DIA. | LF | 50.0 |
| 9 | 2502-8221305 | SUBDRAIN OUTLET, DR-305 | EACH | 3.0 |
| 10 | 2507-3250005 | ENGINEERING FABRIC | SY | 43.6 |
| 11 | 2507-6800061 | REVEEMENT, CLASS E | TON | 15.0 |
| 12 | 2528-2518000 | SAFETY CLOSURE | EACH | 4.0 |
| 13 | 2528-8445110 | TRAFFIC CONTROL | LS | 1.0 |
| 14 | 2533-4980005 | MOBILIZATION | LS | 1.0 |

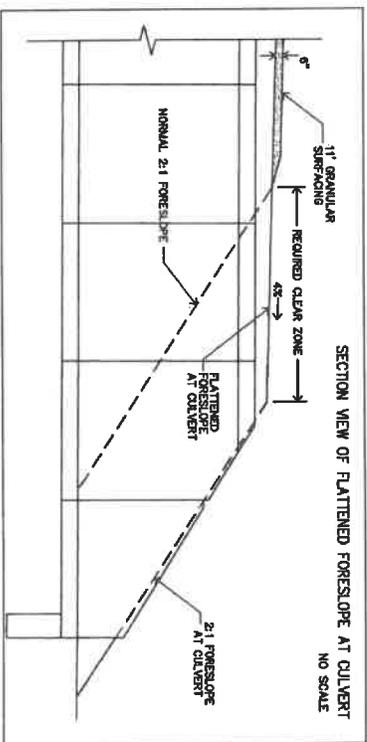
STORY COUNTY:

Story County to stake culvert control and right-of-way, perform seeding and mulching and furnish and place granular surfacing.



ESTIMATE REFERENCE INFORMATION

| ITEM NO. | DESCRIPTION |
|----------|--|
| 1. | Entire project to be cleared and grubbed and fence removed from BOP to EOP and from ROW line to ROW line. |
| 2. | Plan quantity is based on approximately 117.8 CY of fill (30% shrink factor) and 188.0 CY of cut. Contractor may waste 70.2 CY of excess material to achieve dirt balance with approval from the Engineer. Remaining waste will be heaped offsite. No payment for overcut will be made. Type A compaction required. Approximately 53.6 CY of this item includes the stripping, stockpiling, and spreading of topsoil. Topsoil to be spread smooth to a minimum of 4" on all disturbed areas from catch points to edge of road. Slopes to be finished smooth to allow for seeding. See Cross Section sheets for station-by-station dirt quantities. |
| 3. | Approximately 57.0 tons of 1" rock is required under the box for bedding. |
| 4. | Materials from the old structure shall become the property of the Contractor according to article 1104.08 of the Standard Specifications, and removed from site. The existing structure is a 17'x24' trestle timber bridge with timber deck, piling, backwall, and wingwalls, on a D skew. |
| 5. | Item for excavation for culvert placement. Suitable material may be used to backfill culvert and supplement Class 10 roadway quantity with approval from the Engineer. |
| 6.-7. | Precast RC8 culvert shall be a single 12'x5'x36" with straight end sections on the outlet and inlet. The culvert shall be supplied by the Contractor as per plan. Item includes dropalls and supports. See Tabulation 104-4 on Sheet C03 and notes on Sheet C02 for details. |
| 8.-9. | Items for depicting of existing field ties and for the relocation of existing road ties. Road ties are common design features and are usually encountered during construction. Existing road ties existing road ties may not be found during the survey and only discovered during construction activities. |
| 10.-11. | Items for constructing slope protection alongside the inlet and outlet. See plan view on Sheet D01, rock tabulation on Sheet C03, and Standard Road Plan EC-301 for details. Items include furnishing materials and all labor necessary for the construction of the slope protection. |
| 12. | See tabulation on Sheet C02 sheet for stationing and quantities. |
| 13. | See Standard Road Plan TC-252 for details. |



STORY COUNTY

2-10-74-48

100-1A
07-15-97

GENERAL NOTES

GENERAL NOTES:

Contractor to construct a single 12"x5'x36" pre-cast concrete box culvert on a 0° skew, on 640th Ave. over a field drainage waterway, and grade approaches.

It shall be the contractor's responsibility to provide waste areas or disposal sites for excess material (excavated material or broken concrete) which is not desirable to be incorporated into the work involved on this project. These areas shall not impact wetlands or "Waters Of The U.S." No payment for removal will be allowed for material hauled to these sites. No material shall be placed within the right-of-way, unless specifically stated in the plans.

Contractor shall maintain access to individual properties during construction, and any associated work shall be considered incidental to this project.

Construction activities, equipment, and materials shall be kept out of the streams, wetlands, or other bodies of water to the maximum extent practicable.

CONTRACTOR'S WORK AREA:

The Contractor's work and material storage area shall be defined by the Contractor and noted to the Engineer. Any area outside the Contractor's work and material storage area that is disturbed by the Contractor shall be reported to its original condition by the Contractor and no additional payment shall be made for this work.

UTILITY NOTES:

The Contractor shall call One Call at least 48 hours prior to beginning work. Utility companies found to be located within the construction limits shall be notified in writing by the Engineer, Section 1107.15 of the Iowa DOT Standard Specifications For Highway And Bridge Construction, Series 2015, regarding utility related responsibilities.

SHOP DRAWING NOTES:

Working drawings and calculations shall be furnished by the Contractor and certified by a licensed engineer in the State of Iowa, and shall be submitted to the Story County Engineer for review and approval. Refer to Section 1105.03 for additional information.

EMERALD ASH BORER NOTE:

Dispose of all wood material generated as a result of clearing and/or grubbing according to the Iowa Department of Agriculture and Land Stewardship's Emerald Ash Borer (EAB) Quarantine Order. For more information refer to http://www.iadnr.gov/eab/epa/epa_regulation.html.

INDIANA BAT HABITAT:

See Iowa DOT Specification Section 2101.01 for tree removal.

PRE-CAST CULVERT NOTES

INSTALLATION NOTES:

Precast concrete box culvert sections shall be laid with the groove end of each section up--grade, and the sections shall be tightly joined. Joint openings between sections should be as tight as practicable and limited to a minimum of 1/8 inch openings. The joint on the bottom of the culvert shall be sealed with a flexible water tight butyl rope gasket as per Material I.M. 491.06. Butyl rope gasket shall be installed in accordance with the recommendations of the manufacturer and shall extend vertically 6 inches above the bottom flange. All joints shall be trimmed clean on the inside after setting. The contractor shall also place a 2 inch wide piece of engineering fabric around the top and sides of each precast joint. The fabric shall be covered with 1 foot on each side of the joint. The fabric shall be attached to the wall and extend 1 foot from the joint. The fabric shall be secured with 1/2 inch diameter steel rods. Attention methods shall be approved by the engineer.

All costs including material, equipment, and labor necessary for installing the culvert as detailed herein, shall be included in the bid item Precast Concrete Box Culvert. The engineering fabric shall meet the material requirements as set forth in 4198.01c of the Iowa DOT Standard Specifications. During backfilling the compaction adjacent to the bottom corner "roll" shall be accomplished with a mechanical hand compactor. The contractor shall furnish and install lifting hole plugs for each section. Lifting hoses shall be plugged with a precast concrete plug, sealed and covered with mastic or mortar.

DESIGN REQUIREMENTS:

The precast culvert sections shall meet the minimum requirements of ASTM C 1577, Table 1 sections that are designed for continuous, dead load and ASSTO H-83 live load conditions. Any precast box culvert designs submitted that vary from the ASTM C 1577 standard, shall be developed and sealed by a professional engineer, currently registered in the State of Iowa. Minimum length of precast sections shall be 4.0 feet. Minimum culvert wall thickness shall be 8 inches.

PRE-CONSTRUCTION NOTES:

The Contractor shall submit details of the proposed precast box sections to the Story County engineers office for approval. These details shall include a section plan, a cross section showing steel, and end section details. The length in linear feet of precast concrete box culvert will be based on the plan quantity.

For the number of linear feet given on the plan, the Contractor will be paid the contract unit price per linear foot. The payment shall be full compensation for furnishing all materials, labor and equipment necessary to complete the work except for items in end sections and Class 20 Excavation.

For each precast box culvert end section installed the Contractor will be paid the contract price for each. The payment shall be full compensation for furnishing all materials (including dropoff), labor and equipment necessary to complete the work except for items in precast concrete box culvert and Class 20 Excavation.

Dropoffs and parapets shall be precast.

The Contractor shall furnish culvert ties for all joints. The main section joints will have one tie on each side of the barrel and the last barrel section will be attached to the end sections with two ties per side. Culvert ties shall be included in the cost for precast concrete box culvert. The rods will be 1 inch in diameter steel and shall meet requirements of ASTM A 709 grade 36 or equal. Culvert tie assemblies shall be galvanized or painted according to 2408.35 of the Iowa DOT Standard Specifications. Acrylic topcoat not required.

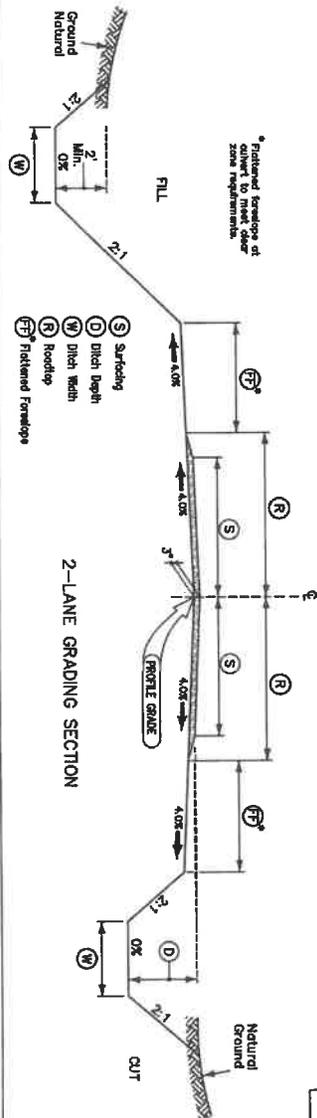
TABULATION OF SAFETY CLOSURES
Refer to Section 2016 of the Standard Specifications

| STATION | CLOSURE TYPE | | REMARKS |
|---------|--------------|-------------|--------------|
| | ROAD QTY. | HAZARD QTY. | |
| 4+80.0 | 1 | | |
| 5+400.0 | | 1 | |
| 6+800.0 | | 1 | |
| 7+800.0 | 1 | | |
| | 2 | 2 | TOTAL = 4.00 |

Normal sections shown may be modified for additional sections as shown or other locations specified by the Engineer.

See Plan & Profile sheets for additional details of ditches and bookkeeping.

| ROAD IDENTIFICATION | SIDE | STATION TO STATION | | DIMENSIONS | | | | |
|---------------------|------|--------------------|--------|------------|-----|-----|-----|-----|
| | | Feet | Feet | (F) | (D) | (W) | (R) | (S) |
| 640th Ave. | LT | 5+25.0 | 5+55.4 | 0 | 0 | 4 | 1.3 | 1.1 |
| 640th Ave. | LT | 5+55.4 | 5+80.4 | 0 | 0 | 4 | 1.3 | 1.1 |
| 640th Ave. | LT | 5+80.4 | 5+99.9 | 5 | 5 | 4 | 1.3 | 1.1 |
| 640th Ave. | LT | 5+99.9 | 6+24.9 | 0 | 0 | 4 | 1.3 | 1.1 |
| 640th Ave. | LT | 6+24.9 | 6+50.0 | 0 | 0 | 4 | 1.3 | 1.1 |
| 640th Ave. | RT | 5+25.0 | 5+55.4 | 0 | 0 | 4 | 1.3 | 1.1 |
| 640th Ave. | RT | 5+55.4 | 5+80.4 | 0 | 0 | 4 | 1.3 | 1.1 |
| 640th Ave. | RT | 5+80.4 | 5+99.9 | 5 | 5 | 4 | 1.3 | 1.1 |
| 640th Ave. | RT | 5+99.9 | 6+24.9 | 0 | 0 | 4 | 1.3 | 1.1 |
| 640th Ave. | RT | 6+24.9 | 6+50.0 | 0 | 0 | 4 | 1.3 | 1.1 |



DRAINAGE STRUCTURES BY CULVERT CONTRACTOR

| Location | Size | Type | Length New Const. Ft. | No. of Aprons | Flow Line Elevation | | | Dimensions - Lin. Ft. | | By Road Contractor | | Remarks | |
|----------|------|------------|-----------------------|---------------|---------------------|--------|-------|-----------------------|------|--------------------|-------|---------|-------------------------|
| | | | | | Left | Right | Other | Total | Left | Right | Other | | Comp. Bookill |
| 6+90.00 | 12x6 | Single RCB | 58.0 | 2 | 873.10 | 873.00 | | 18.0 | 18.0 | | | | 146.9 CY Class 20 Base. |

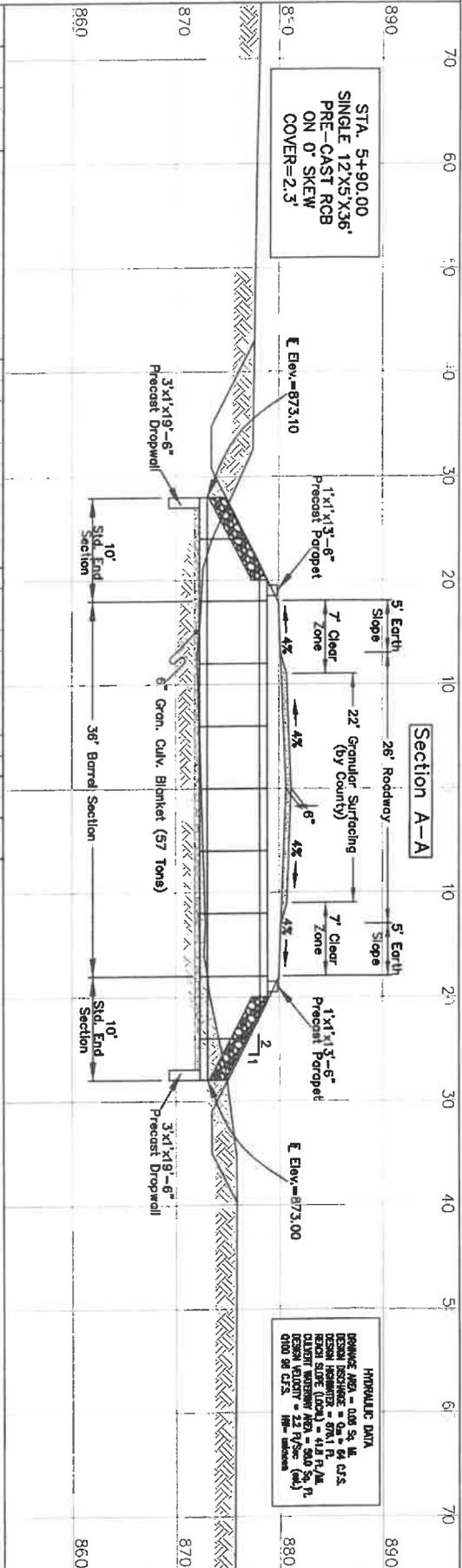
LIST OF SUBDRAIN WORK

| No. | Station to Station | Location | Type of Installation | Pipe | Aprons | | Outlets | | Remarks |
|-----|-------------------------|----------|----------------------|-------------------------|--------|-------|---------|-------|---------------------------------|
| | | | | | Left | Right | Left | Right | |
| 1 | 5+76.4 LT. - 5+82.8 LT. | | DR-302 | Concrete C.I.P. Plastic | 10 | 50 | A | 1 | Road tile relocation |
| 2 | 6+06.0 LT. - 6+10.5 LT. | | DR-302 | Concrete C.I.P. Plastic | 10 | 50 | A | 1 | Field drainage tile daylighting |
| 3 | 6+06.0 LT. - 6+10.5 LT. | | DR-302 | Concrete C.I.P. Plastic | 10 | 50 | A | 1 | Field drainage tile daylighting |

ROCK EROSION CONTROL

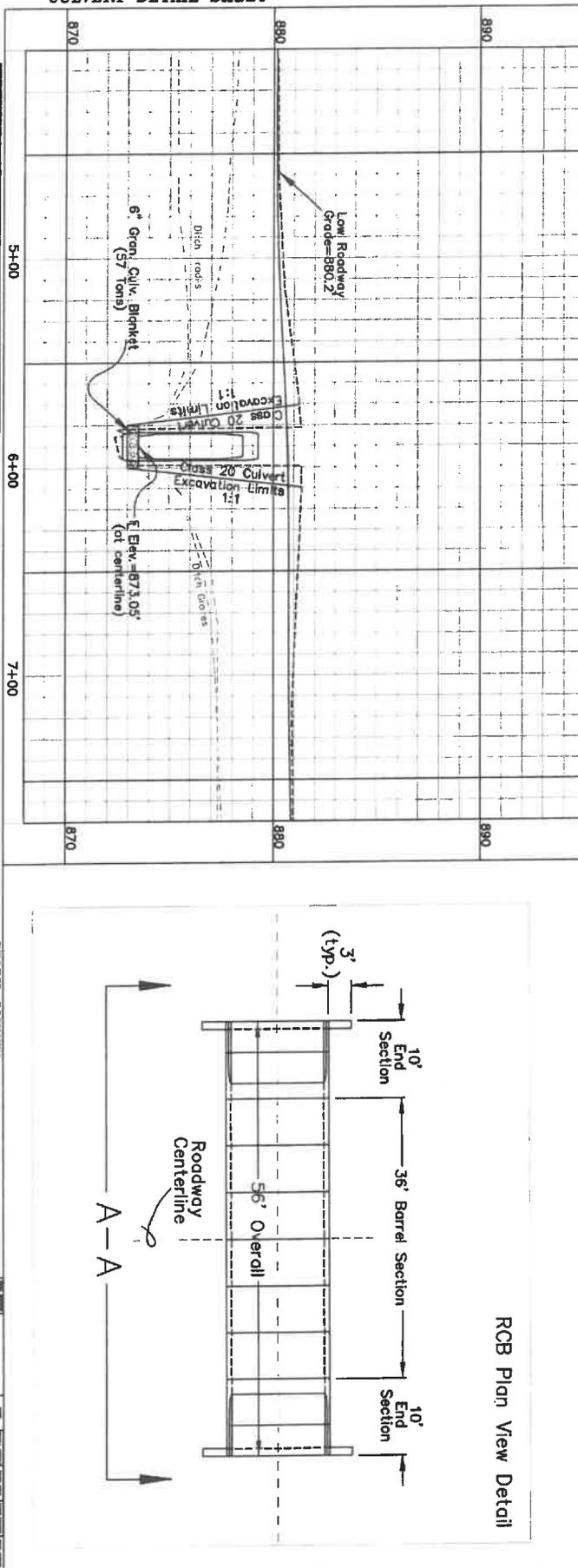
| Road Identification | Begin Station | End Station | Side | Rock Erosion Control (REC) | | | | | Material Bid Quantities | | Remarks | |
|---------------------|---------------|-------------|---------|----------------------------|--------|--------|--------|--------|-------------------------|-----------------------|---------|---------------------------------|
| | | | | Type 1 | Type 2 | Type 3 | Type 4 | Type 5 | Erosion Stone TON | Class E Revetment TON | | Eng. Fabric SY |
| 640th Ave. | 5+80.0 | 6+00.0 | 23' LT. | | | | | X | | 7.5 | 21.8 | Slope protection at RCB inlet. |
| 640th Ave. | 5+80.0 | 6+00.0 | 23' RT. | | | | | X | | 7.5 | 21.8 | Slope protection at RCB outlet. |

CULVERT DETAIL SHEET



HYDRAULIC DATA

| | |
|------------------------|--------------------|
| DRAINAGE AREA - | 0.06 Sq. Mi. |
| DESIGN DISCHARGE - | 0.6 cfs. |
| DESIGN FLOW VELOCITY - | 0.81 Ft./Sec. |
| DESIGN FLOW VELOCITY - | 1.10 Ft./Sec. |
| DESIGN VELOCITY - | 2.2 Ft./Sec. (max) |
| DESIGN VELOCITY - | 1.1 Ft./Sec. (min) |



RCB Plan View Detail

SEE DRAWING L-1C9-73-85 FOR ROADWAY PLAN AND ELEVATION

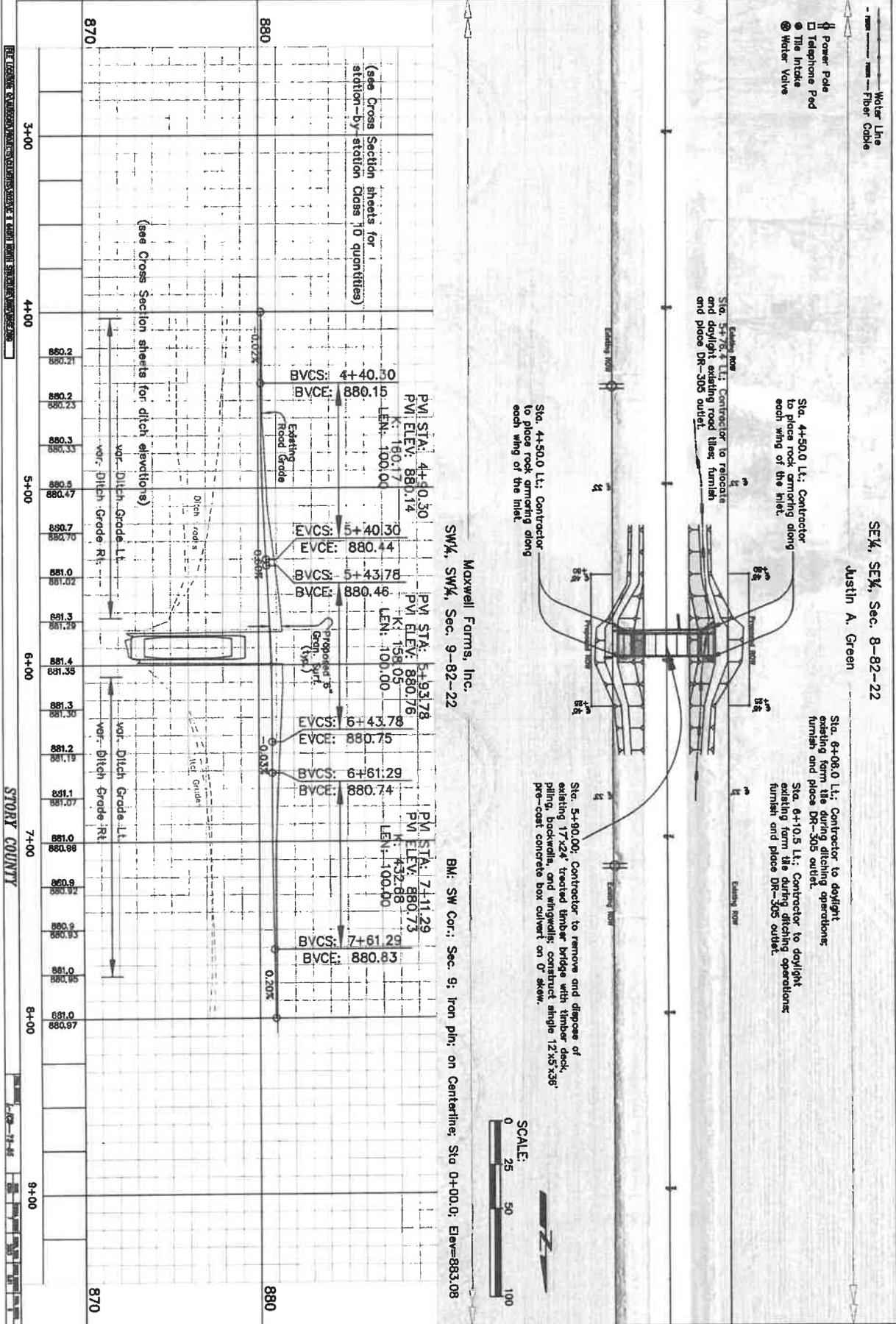
STORY COUNTY

DATE: 7-28-74



PLAN AND PROFILE SHEET

PROJ No. L-IC9--73-85



CROSS SECTIONS SHEET

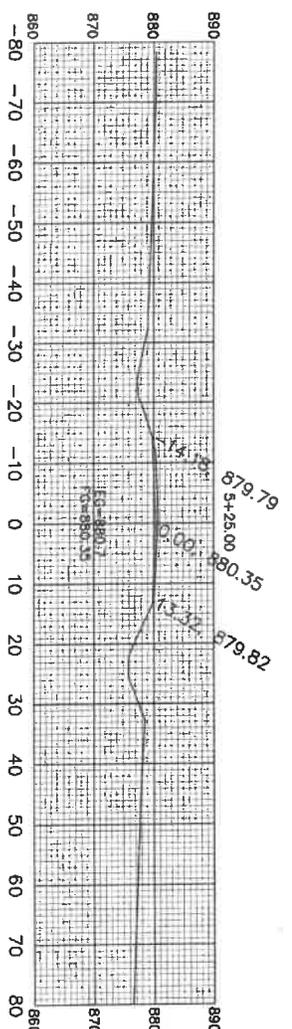
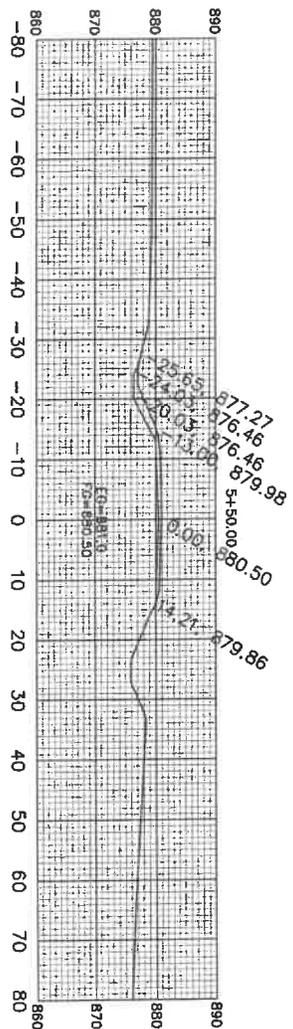
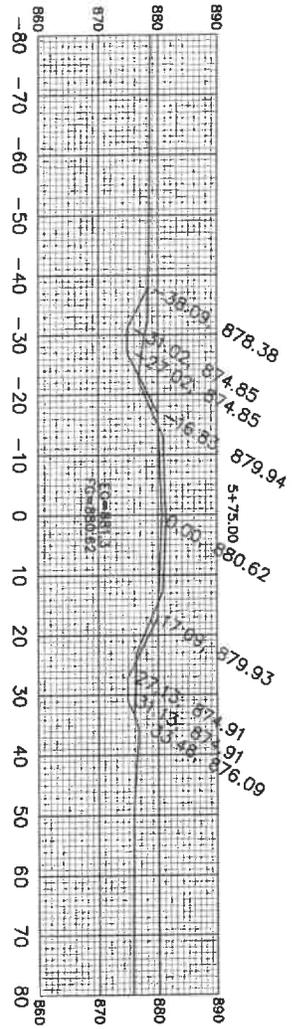
PROJ No. L-IC9--73-85

THE LOCATION OF ANY AND ALL PROPOSED CULVERTS SHALL BE SHOWN BY STRUCTURE VIEW AND PLAN

STORY COUNTY

L-IC9--73-85

DATE: 1/15/85



CROSS SECTIONS SHEET

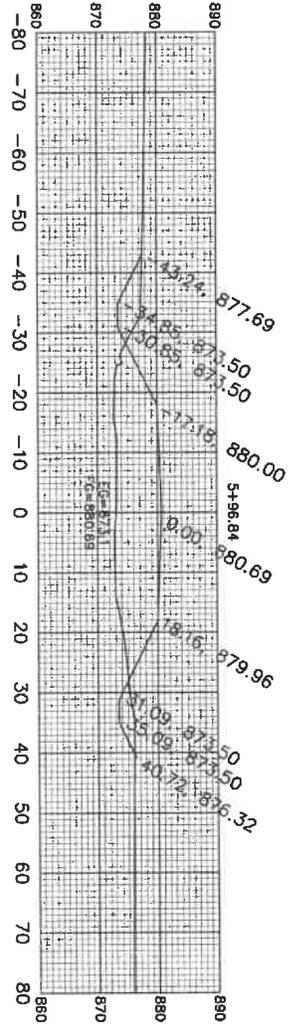
PROJ No. L-IC9--73-85

FILE LOCATION: S:\MIDWEST\PROJECTS\IC9\2002\3 8000\1001\5100\IC9\CROSS\

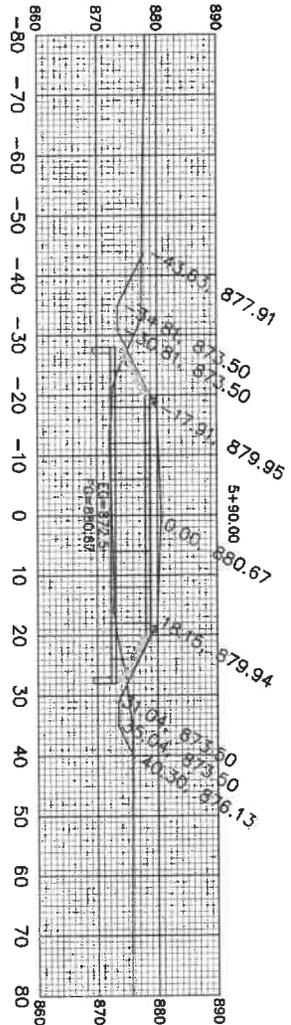
STORY COUNTY

DATE: 1-10-74-85

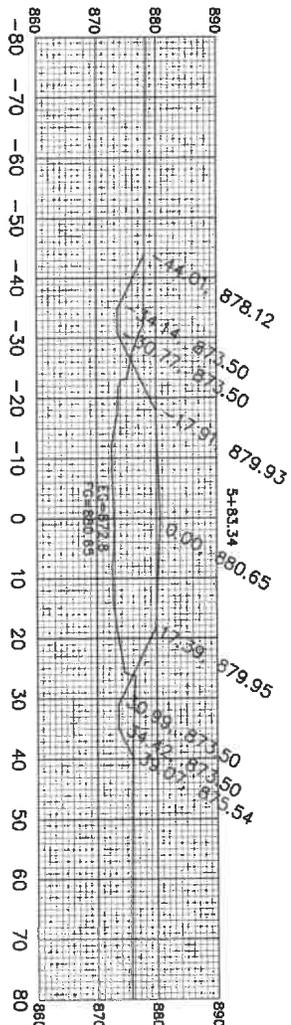
SCALE: 1"=40'



| | |
|--------------|--------|
| Sta. 5+96.84 | |
| Cut Area | 51.93 |
| Fill Area | 330.65 |
| Cut Vol | 0.00 |
| Fill Vol | 0.00 |



| | |
|--------------|------|
| Sta. 5+83.34 | |
| Cut Area | 0.00 |
| Fill Area | 0.00 |
| Cut Vol | 0.00 |
| Fill Vol | 0.00 |



| | |
|--------------|--------|
| Sta. 5+90.00 | |
| Cut Area | 69.23 |
| Fill Area | 331.85 |
| Cut Vol | 19.26 |
| Fill Vol | 68.94 |

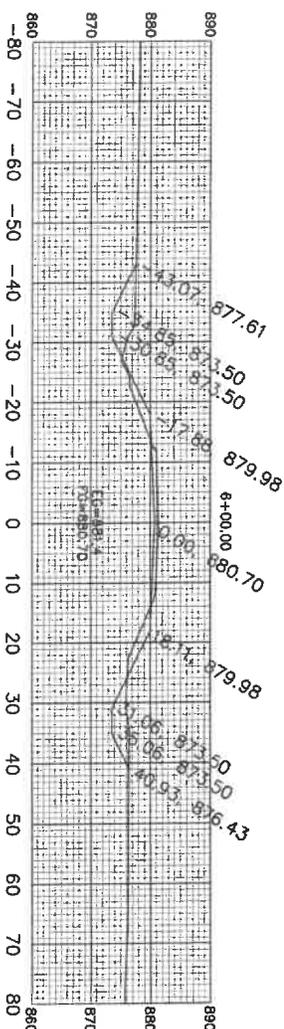
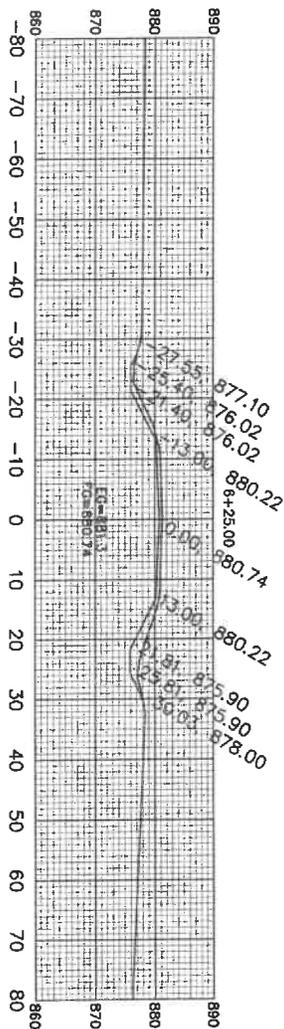
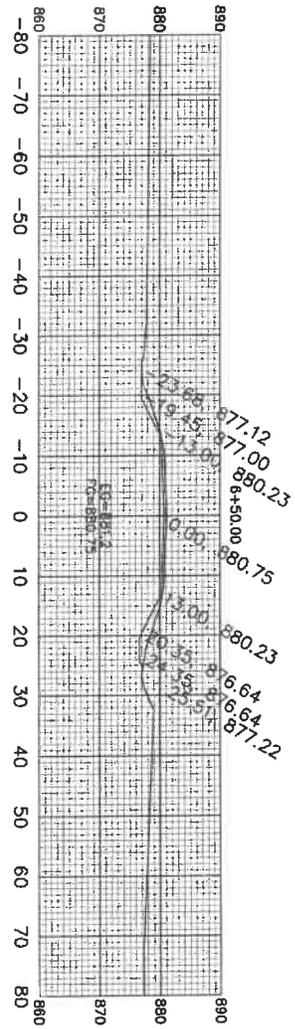
CROSS SECTIONS SHEET

PROJ No. L-IC9--73-85

FILE LOCATION: S:\PROJECTS\2002\IC9-73-85\STORY COUNTY STRUCTURE.DWG

STORY COUNTY

DATE: 1-19-74
 DRAWN BY: [unclear]
 CHECKED BY: [unclear]



Normal section shown may be modified to meet special conditions or other location specificity designated by the Engineer.

See Plan & Profile sheets for additional details of ditches and backdrops.

| ROAD IDENTIFICATION | SIDE | STATION TO STATION | DIMENSIONS | | | | |
|---------------------|------|--------------------|-----------------|------|------|------|----|
| | | | FF ¹ | D | W | R | S |
| Feet | Feet | Feet | Feet | Feet | Feet | Feet | |
| 535th Ave. | L | 8+50.0 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | L | 8+49.8 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | L | 8+49.4 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | L | 8+47.4 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | L | 11+15.1 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | L | 11+15.1 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | L | 11+12.5 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | L | 11+72.5 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | RT | 8+50.0 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | RT | 8+47.8 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | RT | 10+33.2 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | RT | 11+55.9 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | RT | 11+98.5 | 0 | Var. | 6 | 13 | 11 |
| 535th Ave. | RT | 11+98.5 | 0 | Var. | 6 | 13 | 11 |

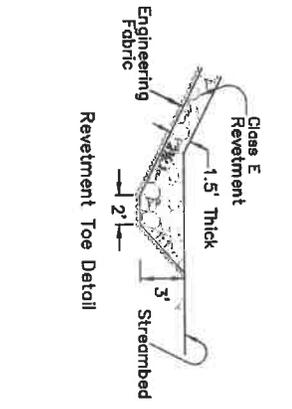
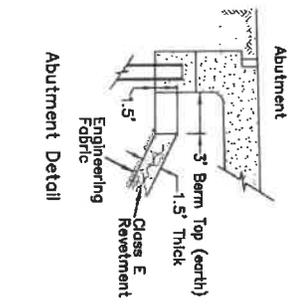
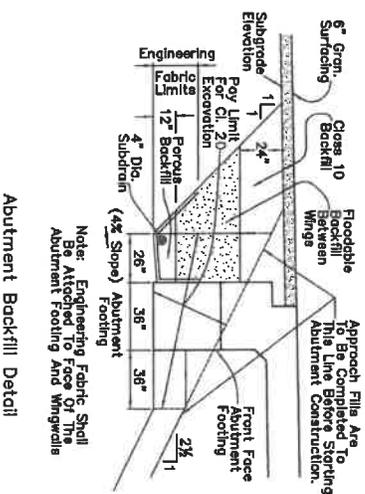
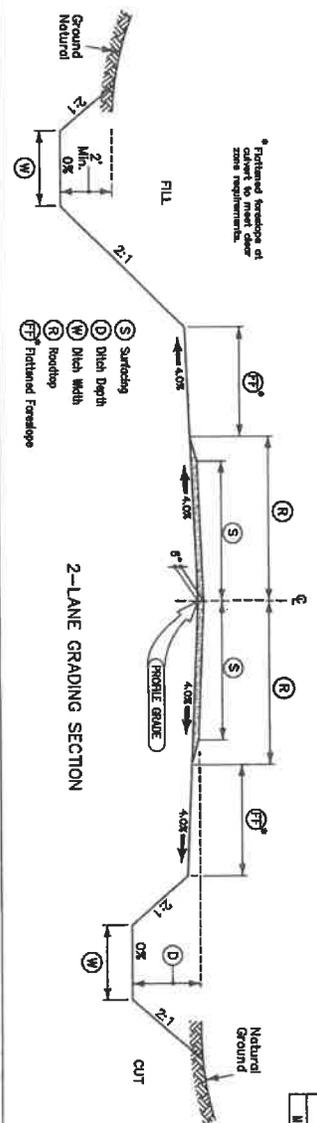
TABULATION OF SPREADING TOPSOIL

| Area | Quantity | Location | Station to Station | Side | Slope | Remarks | Amount Reserved | |
|------|----------|----------|--------------------|------|---------|-----------|--------------------|-------|
| | | | | | | | Station to Station | h |
| 1 | 88.8 | 10+37 | 13+00 | L | R. F. D | NW Corner | 88.8 | 10+37 |
| 2 | 48.3 | 10+87 | 13+00 | L | R. F. D | SE Corner | 48.3 | 10+87 |
| 3 | 68.8 | 8+50 | 11+13 | R | R. F. D | SE Corner | 68.8 | 8+50 |
| 4 | 56.5 | 8+50 | 10+57 | R | R. F. D | SW Corner | 56.5 | 8+50 |

Approach Fills Are To Be Completed To Lockfill Elevation This Line Before Starting Abutment Construction.

Perform this work, according to Section 2102. Prior to placing topsoil on any existing soil, the soil shall be removed to a minimum depth of 3 inches. Approach adjustments have been made in the sample quantities to reflect the backslope and ditch bottom as detailed herein.

Topsoil Excavation Available From



ESTIMATED PROJECT QUANTITIES OF QUANTITIES
(1 DIVISION PROJECT)

| ITEM | ITEM CODE | ITEM | UNIT | TOTAL |
|------|--------------|--|------|---------|
| 1 | 2101-0850001 | CLEARING AND GRUBBING | ACRE | 0.9 |
| 2 | 2102-2710070 | EXCAVATION, CL 10, ROADWAY AND BORROW | CY | 1523.6 |
| 3 | 2104-2710020 | EXCAVATION, CL 10, CHANNEL | CY | 71.0 |
| 4 | 2105-8425015 | TOPSOIL, STRIP, SALVAGE AND SPREAD | CY | 240.4 |
| 5 | 2401-8745625 | REMOVAL OF EXISTING BRIDGE | LS | 1.0 |
| 6 | 2402-2720000 | EXCAVATION, CLASS 20 | CY | 119.0 |
| 7 | 2403-0100010 | STRUCTURAL CONCRETE (BRIDGE) | CY | 274.9 |
| 8 | 2404-7775000 | REINFORCING STEEL | LB | 66,366 |
| 9 | 2414-6424124 | CONCRETE OPEN RAILING, TL-4 | LF | 244.5 |
| 10 | 2417-1040015 | CULVERT, CORRUGATED METAL ENTRANCE PIPE, 15 IN. DIA. | LF | 60.0 |
| 11 | 2501-0201042 | PILES, STEEL, HP 10 X 42 | LF | 2,000.0 |
| 12 | 2501-5478042 | CONCRETE ENCASUREMENT OF STEEL H PILES, HP 10 X 42 (P10L TYPE 3) | LF | 353.2 |
| 13 | 2507-3250005 | ENGINEER FABRIC | SY | 789.4 |
| 14 | 2507-6800061 | REVEINMENT, CLASS E | TON | 576.7 |
| 15 | 2507-6875002 | REVEINMENT, REMOVE AND REPLACE | CY | 19.1 |
| 16 | 2528-2518000 | SAFETY CLOSURE | EACH | 4.0 |
| 17 | 2528-8445110 | TRAFFIC CONTROL | LS | 1.0 |
| 18 | 2533-4980005 | MOBILIZATION | LS | 1.0 |
| 19 | 2602-0000030 | SILT FENCE FOR DITCH CHECKS | LF | 84.0 |
| 20 | 2602-0000312 | PERIMETER AND SLOPE SEDIMENT CONTROL DEVICE, 12 IN. DIA. | LF | 240.0 |

GENERAL NOTES

Stary County to stike bridge control and right-of-way, furnish and maintain detour signing, furnish and place granular surfacing, and perform seeding and mulching.
Contractor shall maintain access to individual properties during construction. This work shall be considered incidental to this project.

ESTIMATE REFERENCE INFORMATION

| ITEM NO. | DESCRIPTION |
|----------|--|
| 1. | The entire project shall be cleared and grubbed from BOP to EOP and from ROW line to ROW line. |
| 2. | Plan quantity is based on approximately 234.8 CY of fill (30% shrink factor) and 1523.6 CY of cut. Any excess material shall become the property of the contractor and removed from site. Type A compaction required. No payment for overhaul will be made. See Sheet R01 for station-by-station dirt quantities. |
| 3. | Item for excavation below the declassification line (set-aside) for abutting the channel. Excavated material may be used as fill for any channel relocation or ditches and used on roadway shoulders. Quantity was estimated using proposed channel width from ROW line to ROW line. |
| 4. | Contractor shall meet requirements for Topsoil conservation practices. Topsoil to be spread smooth to a minimum of 4" on all disturbed areas from each points to edge of road within project limits. Slopes to be finished smooth to allow for seeding. See tabulation on Sheet B01 for details. |
| 5. | Contractor to remove an existing 32x18" steel beam bridge with concrete deck and concrete high-wall abutments on 45' skew. Material from the old structure shall become the property of the Contractor according to article 1104.08 of the Standard Specifications, and removed from site. |
| 6. | Item for abutment formage excavation. Roadway Contractor shall have abutment forms built to the construction limits and dimensions shown in these plans prior to excavating for abutments. Excavated material shall be used to supplement Class 10 roadway fill. |
| 7. | Certified Plant Inspection (CPI) shall be included in bid price for Structural Concrete. Bridge deck concrete shall be Class C; substitution of Class D concrete is not allowed. Article 2428 deck smoothness requirements do not apply on this project. No additional payment will be allowed for heating and protecting of concrete, if necessary. |
| 9. | CPI is required. Open roll concrete shall be Class C; no substitutions allowed. |
| 11. | See Pile Notes on Sheet C02 and situation view on Sheet V01 for details. |
| 12. | Item for encasement of Type 3, P10L piling. Contractor may use either square or round encasement as per P10L specifications. See Sheet V01 for dimensions per pile. Any excavation necessary for encasements shall be included in bid price for encasement. Cap steel is required. |
| 13. | Item for placing fabric under revetment. All fabric laps should have upslope lap on top. |
| 14. | Item for furnishing and placing revetment stone on abutment bents and steep ditch slopes adjacent to the slopes. 157.8 Tons on the south bridge berm, 226.9 Tons on the north ditch slopes, and 155.8 Tons on the north bridge berm (all 1 1/2 feet thick). |
| 15. | Item for the removal, stockpiling, and reuse of existing broken concrete, stone revetment, and broken clay drainage tile. Preliminary survey shows numerous rocks, concrete, and clay tile lying around the bridge in the streambed, and on the inlet brook slope. The material shall be removed from the site and stockpiled on the site. Quantity is an estimate only. Contractor shall be paid actual quantity by measuring the stockpile and computing the volume. Basis of Payment shall be in cubic yards as computed by measurements. |
| 16. | See Tabulation 108-13A on Sheet C03 for Society Closure stationing and quantities. |
| 17. | See Standard Road Plan TC-252 for details. |
| 19-20. | Erosion control measures shall be placed at the earliest practicable time. See tabulations on Sheet C03 and Standard Road Plans EC-201 and EC-204 for details. The tabulation includes estimated locations for placement of sediment logs to address possible erosion during construction. |

SPECIFICATIONS:

Design: AASHTO LRFD, Series 2004 with Inham 2005.

Construction: Iowa Department of Transportation Standard Specifications For Highway and Bridge Construction, Series 2015, plus applicable General Supplemental Specifications, Developmental Specifications, Supplemental Specifications and Special Provisions shall apply to construction work on this project.

GENERAL NOTES:

The Contractor to construct a three-span 110'x30' reinforced concrete slab bridge on a 45' skew on S35th Ave. over Boland Creek and grade the approaches. The bridge is on Iowa DOT standard J-Series, Standard Bridge Plans and Standard Road Plans are available from the Iowa Department of Transportation website at <http://www.iowadot.gov/etf/index.html>

It shall be the contractor's responsibility to provide waste areas or disposal sites for excess material (excavated material or broken concrete) which is not desirable to be incorporated into the work involved on this project. These areas shall not impact wetlands or "Waters Of The U.S." No payment for removal will be allowed for material hauled to these sites. No material shall be placed within the right-of-way, unless specifically stated in the plans.

The prime Contractor shall be responsible for all erosion control measures and shall employ controls to reduce the erosiveness of the soils in the construction area adjacent to surface waters and wetlands, including planting and maintaining erosion control measures during and after construction.

CONTRACTOR'S WORK AREA:

The Contractor's work and material storage area shall be defined by the Contractor and noted to the Engineer. Upon project completion, the Contractor shall restore these areas to their original condition. Payment for any restorative work shall be paid for under the "Class 10 Excavation" bid item. Areas outside the Contractor's defined work and material storage areas that are disturbed by the Contractor shall be restored to their original condition by the Contractor and no additional payment shall be made for this work.

STREAM CROSSING NOTES:

The Contractor is encouraged to conduct construction activities during periods of low flow. Any temporary stream crossings shall include enough culverts to accommodate low flows and must be removed after completion of work on this project. Temporary stream crossings shall be constructed in accordance with Standard Road Plan ER-401. The cost of installation, maintenance, and removal of any temporary stream crossings (including culverts) shall be included in the price bid for "Mobilization".

Construction of any necessary stream crossing shall be done to prevent the dumping or spilling of material into streams, wetlands, or other bodies of water except as approved herein.

The Contractor shall employ measures to ensure that no petroleum products, chemicals, or other deleterious materials enter streams, wetlands, or other bodies of water.

Construction activities, equipment, and materials shall be kept out of the streams, wetlands, or other bodies of water to the maximum extent practicable.

UTILITY NOTES:

The Contractor shall call One Call at least 48 hours prior to beginning work. Utility companies found to be located within the construction area are listed on the title sheet of these plans. See Section 1107.15 of the Iowa DOT Standard Specifications For Highway And Bridge Construction, Series 2015, regarding utility related responsibilities.

EMERALD ASH BORER NOTE:

Dispose of all wood material generated as a result of clearing and/or grubbing according to the Iowa Department of Agriculture and Land Stewardship's Emerald Ash Borer (EAB) Quarantine Order. For more information refer to http://www.iowadot.com/abp_resolutions.html.

INDIANA BAT HABITAT:

See Iowa DOT Specification Section 2101.01 for tree removal.

GENERAL PILE NOTES:

Sounding and test boring data shown on these plans were accumulated for designing and estimating purposes. Their inclusion in these plans does not constitute a guarantee that conditions other than those indicated will not be encountered. For Piles subject to scour, the design bearing shall be obtained below the scour elevation. The scour elevation is calculated and shown on the Station Plan on Sheet V01.

The project uses the Load and Resistance Factor Design (LRFD) methodology for determining pile capacity, length and nominal axial bearing resistance. Nominal axial bearing resistance will be determined in the design but construction control shall be based on the relationship between required nominal axial bearing resistance and blow count. The County will manage construction control with the WEAP analysis formula that gives the relationship between required nominal axial bearing resistance and blow count.

For the Contractor's bidding purposes, particularly for the sizing of the pile driving hammer, the approximate previous design methodology bearing values at End of Drive (EOD) are given below. These values shall not be used for construction control and are given only for comparative purposes.

PILE DESIGN NOTES:

The contract length of 50 feet for the Abut piles is based on a mixed soil classification, a total factored axial load per pile (Fu) of 75.0 kips, and a geotechnical resistance factor (Phi) of 0.65. The nominal axial bearing resistance for construction control was determined from a cohesive soil classification and a geotechnical resistance factor (Phi) of 0.77. Piles are assumed to be driven from a start elevation at the bottom of footing.

The contract length of 85 feet for the Pier piles is based on a cohesive soil classification, a total factored axial load per pile (Fu) of 94.0 kips, and a geotechnical resistance factor (Phi) of 0.65. The nominal axial bearing resistance for construction control was determined from a cohesive soil classification and a geotechnical resistance factor (Phi) of 0.77. Design scour (100-year) was assumed to affect the upper 18 feet of embedded pile length and cause 21 kips of driving resistance. Piles are assumed to be driven from a start elevation at the proposed beam slope location.

PILE DRIVING NOTES:

The required nominal axial bearing resistance for Abut piles is 48 tons at End of Drive. The pile contract length shall be driven as per plan. Abut piles shall be driven to full penetration where practical. Construction control requires a WEAP analysis with bearing graph supplied by the County.

The required nominal axial bearing resistance for Pier piles is 72 tons at End of Drive. The pile contract length shall be driven as per plan. Pier piles are to be driven to full penetration where practical. Construction control requires a WEAP analysis with bearing graph, supplied by the County.

HAZARDOUS MATERIALS NOTES:

A scrape sample was taken from one area of this bridge to get an indication of the existence of the level of total Chromium on this site. Analysis of total lead on this sample was 211,000 parts per million (PPM). Analysis of total Chromium on this sample was 3,150 PPM. These analyses show the existence of these two toxic constituents. Levels indicated by these tests could create conditions above regulatory limits for health and safety requirements. No other constituents were analyzed. The bidder should not rely on the Department's testing and analysis for any purpose other than as an indication of the existence of these two toxic constituents.

The Contractor shall exercise care during the removal of existing structures to prevent any point from coming off of polluted surfaces. Should any point come off, the Contractor shall collect and dispose of the point according to Section 2509 of the Standard Specifications.

Before delivery of any salvaged materials that may contain toxic constituents, the Contractor shall provide a written notice to the receiving facility. The written notice shall contain at least:

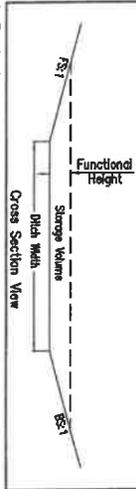
- a copy of the lab results of the scrape sample
- a signature block for the receiving facility to confirm their receipt of this information
- notification that salvaged materials include point that may contain toxic constituents at levels that may be hazardous to employees or the environment

A copy of this notice, signed by the receiving facility, shall be returned to the Engineer before any hazardous material is removed from the site.

An asbestos survey was conducted and found no asbestos at this site. However, should the occasion arise that asbestos is still found at the time of bridge demolition, the County will contract with a licensed asbestos contractor to remove any remaining asbestos during the bridge's demolition.

| PERIMETER AND SLOPE SEDIMENT CONTROL DEVICE | | | |
|--|-------------|------------|---|
| Refer to EC-204 | | | |
| LOCATION | 6 IN. DIA. | 9 IN. DIA. | 12 IN. DIA./20 IN. DIA. |
| BEGUN STATION | END STATION | SIZE | REMARKS |
| 12+71 | 12+80 | RT | Temp SW streambank control (prior to rip rap placement) |
| 12+140 | 12+70 | L/R | Temp SW streambank control (prior to rip rap placement) |
| 12+67 | 12+20 | L/R | Temp NW streambank control (prior to rip rap placement) |
| 12+197 | 12+20 | RT | Temp NE streambank control (prior to rip rap placement) |
| TOTALS | | | 2440 |

SILT FENCES FOR DITCH CHECKS



| Booth No. | Type | Location | Side | Function Height | B&I Items | | Removal | Feretion | B&S 1 | B&S 2 | Stormwater Storage | Ditch Width | Avg. % Slope | Volume* | Remarks |
|-----------|------|----------|------|-----------------|------------|-------------|---------|----------|-------------------|-------|--------------------|-------------|--------------|---------|---------|
| | | | | | Prevention | Maintenance | | | | | | | | | |
| 8+50 | L/R | 10.5 | 10.5 | 2-1 | 2-1 | 8.0 | 9.1 | 597 | West Ditch Checks | | | | | | |
| 12+50 | L/R | 10.5 | 10.5 | 2-1 | 2-1 | 8.0 | 2.0 | 440 | West Ditch Checks | | | | | | |
| 12+50 | L/R | 10.5 | 10.5 | 2-1 | 2-1 | 8.0 | 9.2 | 264 | West Ditch Checks | | | | | | |
| 13+00 | L/R | 10.5 | 10.5 | 2-1 | 2-1 | 6.0 | 3.2 | 294 | West Ditch Checks | | | | | | |
| 6+50 | R/L | 10.5 | 10.5 | 2-1 | 2-1 | 6.0 | 4.3 | 587 | East Ditch Checks | | | | | | |
| 9+30 | R/L | 10.5 | 10.5 | 2-1 | 2-1 | 6.0 | 2.5 | 440 | East Ditch Checks | | | | | | |
| 12+20 | R/L | 10.5 | 10.5 | 2-1 | 2-1 | 6.0 | 6.3 | 294 | East Ditch Checks | | | | | | |
| 13+00 | R/L | 10.5 | 10.5 | 2-1 | 2-1 | 6.0 | 6.1 | 294 | East Ditch Checks | | | | | | |
| Totals: | | | 84.0 | 84.0 | | | | | | | | | | | |

| Concrete and Steel Quantities | | |
|-------------------------------|--------------|------------------------------|
| Concrete | Steel | |
| Superstructure | 243.5 cy | 62,330 # |
| Abutments (2@15.7) | 31.4 cy | (2@2,028) 4,056 # |
| Piers | | |
| Open Roll | (Incidental) | (Included in superstructure) |
| | 274.9 cy | 66,386 # |

TABULATION OF SAFETY CLOSURES

| STATION | CLOSURE TYPE | | REMARKS |
|----------|--------------|-------------|---------|
| | ROAD QTY. | HAZARD QTY. | |
| 7+60.0 | 1 | 1 | |
| 8+100.0 | | 1 | |
| 12+50.0 | 1 | | |
| 14+100.0 | | | |
| TOTALS | | | 4.00 |

Design Phase Description Report:
 Proposed 6300 Avenue Ridge Replacement
 Preliminary Town, Zoning, County, Iowa
 CIVIL 19780C.ZJLM

Prepared for:
 Mr. Tom Smith
 Riley County Engineer's Office

Certifications:
 I hereby certify that the design and construction of the above project was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Iowa.

Michael D. Smith
 Michael D. Smith, P.E.
 License Number: 2224
 License Expiration Date: 12/31/2024
 State of Iowa - Riley County, Iowa
 Project Address: 6300 Avenue Ridge

DATE: 11/15/2023
 LOCATION: 6300 AVENUE RIDGE
 WORKSHEET: 1

LOG OF BORING CHERRY VALLEY TOWNSHIP

| DEPTH | SOIL TYPE | REMARKS | TYPE AND VALUE |
|-------|-----------|---------|--------------------|
| 0 | CL | CLAY | PP-12.0 MC - 12.0% |
| 1 | CL | CLAY | PP-12.0 MC - 12.0% |
| 2 | CL | CLAY | PP-12.0 MC - 12.0% |
| 3 | CL | CLAY | PP-12.0 MC - 12.0% |
| 4 | CL | CLAY | PP-12.0 MC - 12.0% |
| 5 | CL | CLAY | PP-12.0 MC - 12.0% |
| 6 | CL | CLAY | PP-12.0 MC - 12.0% |
| 7 | CL | CLAY | PP-12.0 MC - 12.0% |
| 8 | CL | CLAY | PP-12.0 MC - 12.0% |
| 9 | CL | CLAY | PP-12.0 MC - 12.0% |
| 10 | CL | CLAY | PP-12.0 MC - 12.0% |
| 11 | CL | CLAY | PP-12.0 MC - 12.0% |
| 12 | CL | CLAY | PP-12.0 MC - 12.0% |
| 13 | CL | CLAY | PP-12.0 MC - 12.0% |
| 14 | CL | CLAY | PP-12.0 MC - 12.0% |
| 15 | CL | CLAY | PP-12.0 MC - 12.0% |
| 16 | CL | CLAY | PP-12.0 MC - 12.0% |
| 17 | CL | CLAY | PP-12.0 MC - 12.0% |
| 18 | CL | CLAY | PP-12.0 MC - 12.0% |
| 19 | CL | CLAY | PP-12.0 MC - 12.0% |
| 20 | CL | CLAY | PP-12.0 MC - 12.0% |
| 21 | CL | CLAY | PP-12.0 MC - 12.0% |
| 22 | CL | CLAY | PP-12.0 MC - 12.0% |
| 23 | CL | CLAY | PP-12.0 MC - 12.0% |
| 24 | CL | CLAY | PP-12.0 MC - 12.0% |
| 25 | CL | CLAY | PP-12.0 MC - 12.0% |
| 26 | CL | CLAY | PP-12.0 MC - 12.0% |
| 27 | CL | CLAY | PP-12.0 MC - 12.0% |

Boring Location Sketch
 Proposed 6300 Avenue Ridge Replacement
 SW 1/4 Sec. 16 - T29N - R24W
 Precinct 700, Zoning County, Iowa
 19780C.ZJLM

Legend
 Boring Location
 A Boring Location

LOG OF BORING CHERRY VALLEY TOWNSHIP

| DEPTH | SOIL TYPE | REMARKS | TYPE AND VALUE |
|-------|-----------|---------|--------------------|
| 0 | CL | CLAY | PP-12.0 MC - 12.0% |
| 1 | CL | CLAY | PP-12.0 MC - 12.0% |
| 2 | CL | CLAY | PP-12.0 MC - 12.0% |
| 3 | CL | CLAY | PP-12.0 MC - 12.0% |
| 4 | CL | CLAY | PP-12.0 MC - 12.0% |
| 5 | CL | CLAY | PP-12.0 MC - 12.0% |
| 6 | CL | CLAY | PP-12.0 MC - 12.0% |
| 7 | CL | CLAY | PP-12.0 MC - 12.0% |
| 8 | CL | CLAY | PP-12.0 MC - 12.0% |
| 9 | CL | CLAY | PP-12.0 MC - 12.0% |
| 10 | CL | CLAY | PP-12.0 MC - 12.0% |
| 11 | CL | CLAY | PP-12.0 MC - 12.0% |
| 12 | CL | CLAY | PP-12.0 MC - 12.0% |
| 13 | CL | CLAY | PP-12.0 MC - 12.0% |
| 14 | CL | CLAY | PP-12.0 MC - 12.0% |
| 15 | CL | CLAY | PP-12.0 MC - 12.0% |
| 16 | CL | CLAY | PP-12.0 MC - 12.0% |
| 17 | CL | CLAY | PP-12.0 MC - 12.0% |
| 18 | CL | CLAY | PP-12.0 MC - 12.0% |
| 19 | CL | CLAY | PP-12.0 MC - 12.0% |
| 20 | CL | CLAY | PP-12.0 MC - 12.0% |
| 21 | CL | CLAY | PP-12.0 MC - 12.0% |
| 22 | CL | CLAY | PP-12.0 MC - 12.0% |
| 23 | CL | CLAY | PP-12.0 MC - 12.0% |
| 24 | CL | CLAY | PP-12.0 MC - 12.0% |
| 25 | CL | CLAY | PP-12.0 MC - 12.0% |
| 26 | CL | CLAY | PP-12.0 MC - 12.0% |
| 27 | CL | CLAY | PP-12.0 MC - 12.0% |

UNITED SOIL CLASSIFICATION (ASTM D-2487/84)

| Soil No. | Moisture Content (%) | Liquid Limit (%) | Plasticity Index (%) | Classification |
|----------|----------------------|------------------|----------------------|----------------|
| B-1 | 65.4 | 50 | 15 | CL |
| B-2 | 64.4 | 50 | 14 | CL |
| B-3 | 63.8 | 50 | 14 | CL |
| B-4 | 63.2 | 50 | 14 | CL |
| B-5 | 62.6 | 50 | 14 | CL |
| B-6 | 62.0 | 50 | 14 | CL |
| B-7 | 61.4 | 50 | 14 | CL |
| B-8 | 60.8 | 50 | 14 | CL |
| B-9 | 60.2 | 50 | 14 | CL |
| B-10 | 59.6 | 50 | 14 | CL |
| B-11 | 59.0 | 50 | 14 | CL |
| B-12 | 58.4 | 50 | 14 | CL |
| B-13 | 57.8 | 50 | 14 | CL |
| B-14 | 57.2 | 50 | 14 | CL |
| B-15 | 56.6 | 50 | 14 | CL |
| B-16 | 56.0 | 50 | 14 | CL |
| B-17 | 55.4 | 50 | 14 | CL |
| B-18 | 54.8 | 50 | 14 | CL |
| B-19 | 54.2 | 50 | 14 | CL |
| B-20 | 53.6 | 50 | 14 | CL |
| B-21 | 53.0 | 50 | 14 | CL |
| B-22 | 52.4 | 50 | 14 | CL |
| B-23 | 51.8 | 50 | 14 | CL |
| B-24 | 51.2 | 50 | 14 | CL |
| B-25 | 50.6 | 50 | 14 | CL |
| B-26 | 50.0 | 50 | 14 | CL |
| B-27 | 49.4 | 50 | 14 | CL |
| B-28 | 48.8 | 50 | 14 | CL |
| B-29 | 48.2 | 50 | 14 | CL |
| B-30 | 47.6 | 50 | 14 | CL |
| B-31 | 47.0 | 50 | 14 | CL |
| B-32 | 46.4 | 50 | 14 | CL |
| B-33 | 45.8 | 50 | 14 | CL |
| B-34 | 45.2 | 50 | 14 | CL |
| B-35 | 44.6 | 50 | 14 | CL |
| B-36 | 44.0 | 50 | 14 | CL |
| B-37 | 43.4 | 50 | 14 | CL |
| B-38 | 42.8 | 50 | 14 | CL |
| B-39 | 42.2 | 50 | 14 | CL |
| B-40 | 41.6 | 50 | 14 | CL |
| B-41 | 41.0 | 50 | 14 | CL |
| B-42 | 40.4 | 50 | 14 | CL |
| B-43 | 39.8 | 50 | 14 | CL |
| B-44 | 39.2 | 50 | 14 | CL |
| B-45 | 38.6 | 50 | 14 | CL |
| B-46 | 38.0 | 50 | 14 | CL |
| B-47 | 37.4 | 50 | 14 | CL |
| B-48 | 36.8 | 50 | 14 | CL |
| B-49 | 36.2 | 50 | 14 | CL |
| B-50 | 35.6 | 50 | 14 | CL |
| B-51 | 35.0 | 50 | 14 | CL |
| B-52 | 34.4 | 50 | 14 | CL |
| B-53 | 33.8 | 50 | 14 | CL |
| B-54 | 33.2 | 50 | 14 | CL |
| B-55 | 32.6 | 50 | 14 | CL |
| B-56 | 32.0 | 50 | 14 | CL |
| B-57 | 31.4 | 50 | 14 | CL |
| B-58 | 30.8 | 50 | 14 | CL |
| B-59 | 30.2 | 50 | 14 | CL |
| B-60 | 29.6 | 50 | 14 | CL |
| B-61 | 29.0 | 50 | 14 | CL |
| B-62 | 28.4 | 50 | 14 | CL |
| B-63 | 27.8 | 50 | 14 | CL |
| B-64 | 27.2 | 50 | 14 | CL |
| B-65 | 26.6 | 50 | 14 | CL |
| B-66 | 26.0 | 50 | 14 | CL |
| B-67 | 25.4 | 50 | 14 | CL |
| B-68 | 24.8 | 50 | 14 | CL |
| B-69 | 24.2 | 50 | 14 | CL |
| B-70 | 23.6 | 50 | 14 | CL |
| B-71 | 23.0 | 50 | 14 | CL |
| B-72 | 22.4 | 50 | 14 | CL |
| B-73 | 21.8 | 50 | 14 | CL |
| B-74 | 21.2 | 50 | 14 | CL |
| B-75 | 20.6 | 50 | 14 | CL |
| B-76 | 20.0 | 50 | 14 | CL |
| B-77 | 19.4 | 50 | 14 | CL |
| B-78 | 18.8 | 50 | 14 | CL |
| B-79 | 18.2 | 50 | 14 | CL |
| B-80 | 17.6 | 50 | 14 | CL |
| B-81 | 17.0 | 50 | 14 | CL |
| B-82 | 16.4 | 50 | 14 | CL |
| B-83 | 15.8 | 50 | 14 | CL |
| B-84 | 15.2 | 50 | 14 | CL |
| B-85 | 14.6 | 50 | 14 | CL |
| B-86 | 14.0 | 50 | 14 | CL |
| B-87 | 13.4 | 50 | 14 | CL |
| B-88 | 12.8 | 50 | 14 | CL |
| B-89 | 12.2 | 50 | 14 | CL |
| B-90 | 11.6 | 50 | 14 | CL |
| B-91 | 11.0 | 50 | 14 | CL |
| B-92 | 10.4 | 50 | 14 | CL |
| B-93 | 9.8 | 50 | 14 | CL |
| B-94 | 9.2 | 50 | 14 | CL |
| B-95 | 8.6 | 50 | 14 | CL |
| B-96 | 8.0 | 50 | 14 | CL |
| B-97 | 7.4 | 50 | 14 | CL |
| B-98 | 6.8 | 50 | 14 | CL |
| B-99 | 6.2 | 50 | 14 | CL |
| B-100 | 5.6 | 50 | 14 | CL |

LOG OF BORING CHERRY VALLEY TOWNSHIP

| DEPTH | SOIL TYPE | REMARKS | TYPE AND VALUE |
|-------|-----------|---------|--------------------|
| 0 | CL | CLAY | PP-12.0 MC - 12.0% |
| 1 | CL | CLAY | PP-12.0 MC - 12.0% |
| 2 | CL | CLAY | PP-12.0 MC - 12.0% |
| 3 | CL | CLAY | PP-12.0 MC - 12.0% |
| 4 | CL | CLAY | PP-12.0 MC - 12.0% |
| 5 | CL | CLAY | PP-12.0 MC - 12.0% |
| 6 | CL | CLAY | PP-12.0 MC - 12.0% |
| 7 | CL | CLAY | PP-12.0 MC - 12.0% |
| 8 | CL | CLAY | PP-12.0 MC - 12.0% |
| 9 | CL | CLAY | PP-12.0 MC - 12.0% |
| 10 | CL | CLAY | PP-12.0 MC - 12.0% |
| 11 | CL | CLAY | PP-12.0 MC - 12.0% |
| 12 | CL | CLAY | PP-12.0 MC - 12.0% |
| 13 | CL | CLAY | PP-12.0 MC - 12.0% |
| 14 | CL | CLAY | PP-12.0 MC - 12.0% |
| 15 | CL | CLAY | PP-12.0 MC - 12.0% |
| 16 | CL | CLAY | PP-12.0 MC - 12.0% |
| 17 | CL | CLAY | PP-12.0 MC - 12.0% |
| 18 | CL | CLAY | PP-12.0 MC - 12.0% |
| 19 | CL | CLAY | PP-12.0 MC - 12.0% |
| 20 | CL | CLAY | PP-12.0 MC - 12.0% |
| 21 | CL | CLAY | PP-12.0 MC - 12.0% |
| 22 | CL | CLAY | PP-12.0 MC - 12.0% |
| 23 | CL | CLAY | PP-12.0 MC - 12.0% |
| 24 | CL | CLAY | PP-12.0 MC - 12.0% |
| 25 | CL | CLAY | PP-12.0 MC - 12.0% |
| 26 | CL | CLAY | PP-12.0 MC - 12.0% |
| 27 | CL | CLAY | PP-12.0 MC - 12.0% |

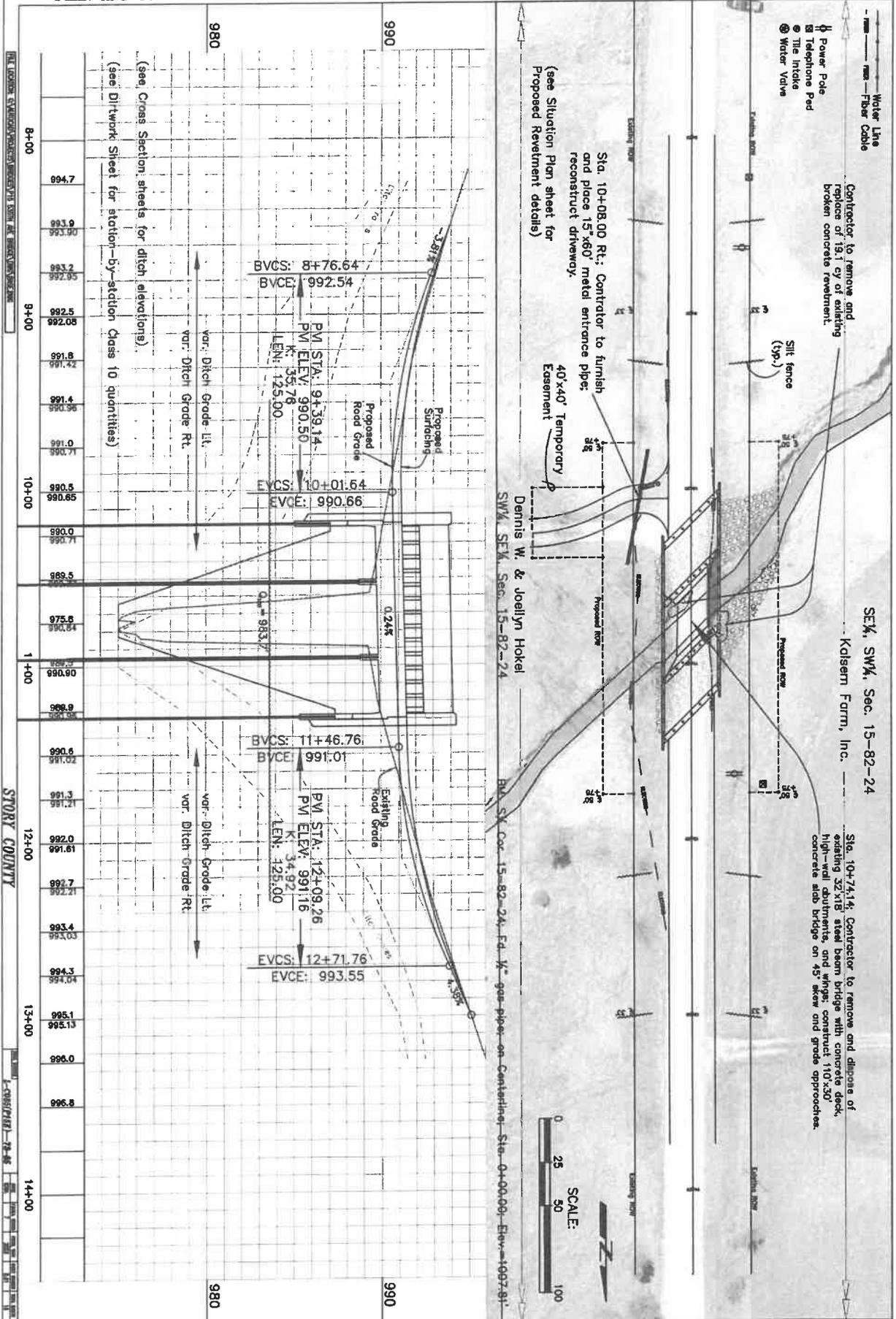
UNITED SOIL CLASSIFICATION (ASTM D-2487/84)

LEGEND TO SOIL DESCRIPTIONS

| Soil No. | Moisture Content (%) | Liquid Limit (%) | Plasticity Index (%) | Classification |
|----------|----------------------|------------------|----------------------|----------------|
| B-1 | 65.4 | 50 | 15 | CL |
| B-2 | 64.4 | 50 | 14 | CL |
| B-3 | 63.8 | 50 | 14 | CL |
| B-4 | 63.2 | 50 | 14 | CL |
| B-5 | 62.6 | 50 | 14 | CL |
| B-6 | 62.0 | 50 | 14 | CL |
| B-7 | 61.4 | 50 | 14 | CL |
| B-8 | 60.8 | 50 | 14 | CL |
| B-9 | 60.2 | 50 | 14 | CL |
| B-10 | 59.6 | 50 | 14 | CL |
| B-11 | 59.0 | 50 | 14 | CL |
| B-12 | 58.4 | 50 | 14 | CL |
| B-13 | 57.8 | 50 | 14 | CL |
| B-14 | 57.2 | 50 | 14 | CL |
| B-15 | 56.6 | 50 | 14 | CL |
| B-16 | 56.0 | 50 | 14 | CL |
| B-17 | 55.4 | 50 | 14 | CL |
| B-18 | 54.8 | 50 | 14 | CL |
| B-19 | 54.2 | 50 | 14 | CL |
| B-20 | 53.6 | 50 | 14 | CL |
| B-21 | 53.0 | 50 | 14 | CL |
| B-22 | 52.4 | 50 | 14 | CL |
| B-23 | 51.8 | 50 | 14 | CL |
| B-24 | 51.2 | 50 | 14 | CL |
| B-25 | 50.6 | 50 | 14 | CL |
| B-26 | 50.0 | 50 | 14 | CL |
| B-27 | 49.4 | 50 | 14 | CL |
| B-28 | 48.8 | 50 | 14 | CL |
| B-29 | 48.2 | 50 | 14 | CL |
| B-30 | 47.6 | 50 | 14 | CL |
| B-31 | 47.0 | 50 | 14 | CL |
| B-32 | 46.4 | 50 | 14 | CL |
| B-33 | 45.8 | 50 | 14 | CL |
| B-34 | 45.2 | 50 | 14 | CL |
| B-35 | 44.6 | 50 | 14 | CL |
| B-36 | 44.0 | 50 | 14 | CL |
| B-37 | 43.4 | 50 | 14 | CL |
| B-38 | 42.8 | 50 | 14 | CL |
| B-39 | 42.2 | 50 | 14 | CL |
| B-40 | 41.6 | 50 | 14 | CL |
| B-41 | 41.0 | 50 | 14 | CL |
| B-42 | 40.4 | 50 | 14 | CL |
| B-43 | 39.8 | 50 | 14 | CL |
| B-44 | 39.2 | 50 | 14 | CL |
| B- | | | | |

PLAN AND PROFILE SHEET

PROJ No. L-C085(P15E)--73-85



EARTHWORK TABULATION SHEET

PROJ No. L-C085(P15E)--73-85

Total Volume Table

| Station | Cut Area | Fill Area | Cut Volume | Fill Volume | Cumulative Cut Vol | Cumulative Fill Vol | Net Volume |
|----------|----------|-----------|------------|-------------|--------------------|---------------------|------------|
| 9+00.00 | 15.78 | 11.28 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| 9+25.00 | 20.89 | 1.09 | 16.98 | 7.45 | 16.98 | 7.45 | 9.53 |
| 9+50.00 | 31.29 | 0.02 | 24.16 | 0.67 | 41.13 | 8.11 | 33.02 |
| 9+75.00 | 23.13 | 14.65 | 25.19 | 8.83 | 66.33 | 16.94 | 49.38 |
| 10+00.00 | 43.01 | 49.06 | 30.62 | 38.34 | 96.95 | 55.29 | 41.66 |
| 10+25.00 | 303.31 | 5.22 | 160.33 | 32.67 | 257.28 | 87.95 | 169.33 |
| 10+50.00 | 419.27 | 1.27 | 334.53 | 3.91 | 591.81 | 91.86 | 499.95 |
| 10+75.00 | 129.67 | 16.65 | 254.28 | 11.99 | 846.09 | 103.85 | 742.24 |
| 11+00.00 | 317.37 | 5.73 | 207.11 | 14.67 | 1053.19 | 118.52 | 934.67 |
| 11+25.00 | 205.55 | 25.01 | 242.09 | 18.50 | 1295.28 | 137.02 | 1158.26 |
| 11+50.00 | 17.82 | 55.35 | 103.41 | 48.36 | 1398.69 | 185.39 | 1213.31 |
| 11+75.00 | 19.14 | 13.21 | 17.11 | 41.26 | 1415.81 | 226.65 | 1189.15 |
| 12+00.00 | 39.77 | 0.00 | 27.27 | 7.95 | 1443.08 | 234.60 | 1208.48 |
| 12+25.00 | 48.49 | 0.00 | 39.94 | 0.00 | 1483.01 | 234.60 | 1248.41 |
| 12+50.00 | 41.06 | 0.00 | 40.53 | 0.00 | 1523.55 | 234.60 | 1288.94 |

THE CENTER OF HIGHWAY DESIGN HAS REVIEWED THIS SHEET FOR CONFORMANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2003 EDITION, SECTION 101.02, AND THE STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, 2003 EDITION, SECTION 102.02.

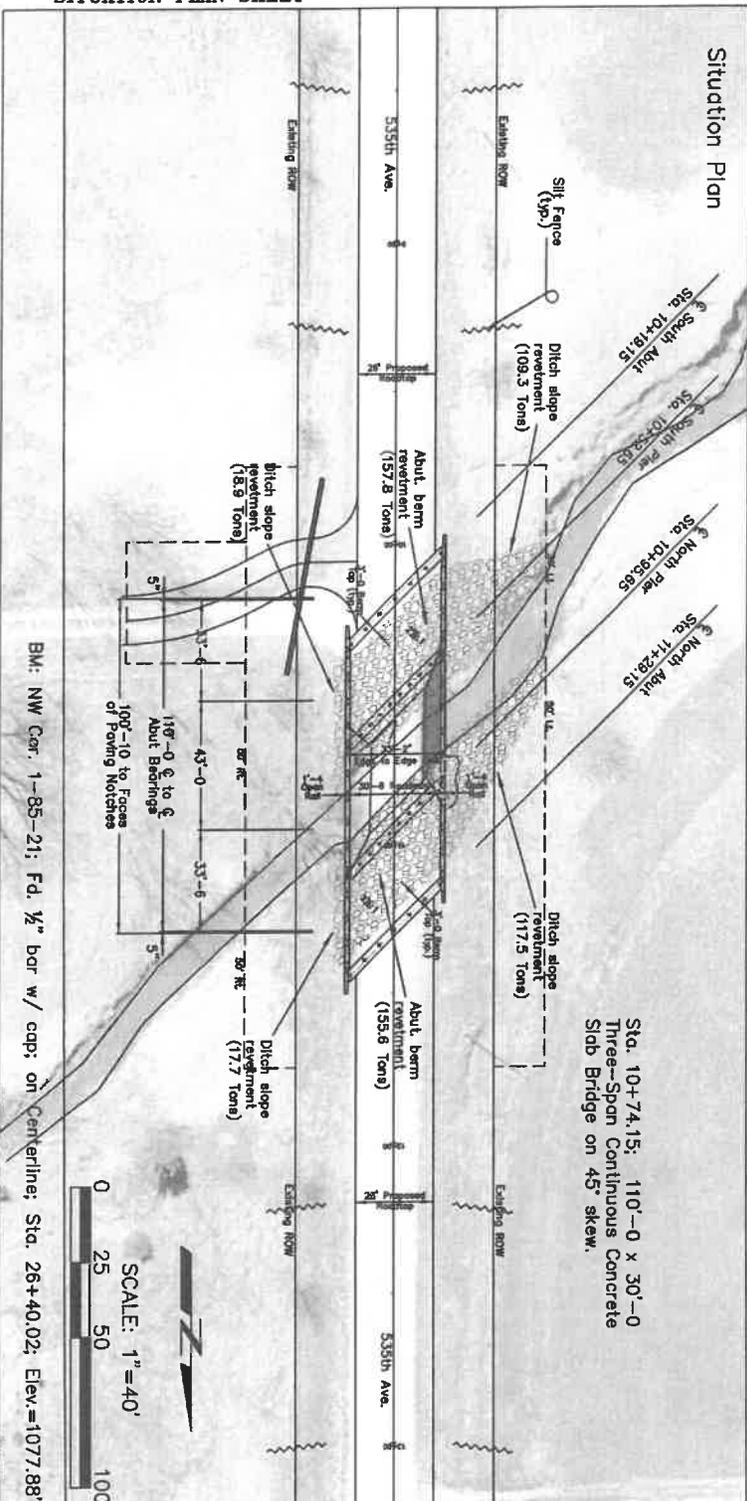
STORY COUNTY

PROJECT: L-C085(P15E)--73-85

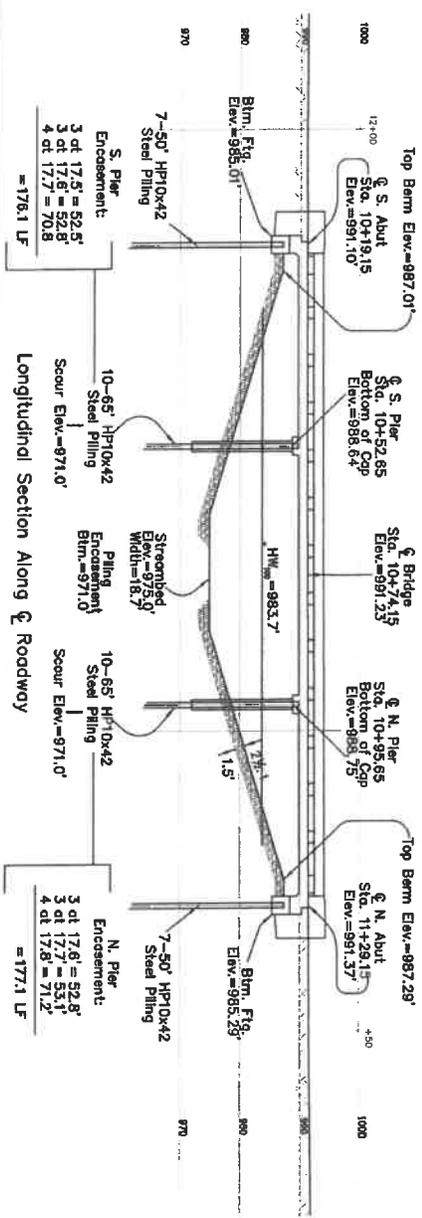
DATE: 10/11/07

FILE LOCATION: S:\PROJECTS\PROJECTS\015 STAIR AND BRIDGE\DWG\015-73-85-01.DWG

STORY COUNTY



BM: NW Cor. 1-85-21; Fd. 1/2" bar w/ cap; on Centerline; Sta. 26+40.02; Elev.=1077.88'



S. Pier Encasement:
 3 of 17.6' = 52.8'
 3 of 17.7' = 53.1'
 4 of 17.7' = 70.8'
 = 176.1 LF

N. Pier Encasement:
 3 of 17.6' = 52.8'
 3 of 17.7' = 53.1'
 4 of 17.8' = 71.2'
 = 177.1 LF

LOCATION
 Sta. 104+74.15; on 535th Ave.;
 0.20 mi. North of SW Corner,
 Section 15, T82N, R24W
 of Eastern Creek in
 Story County, Iowa

HYDRAULIC DATA
 (StreamStats Version 4.0)

Drainage Area = 11.3 sq. mi.
 Main Channel Slope = 6.7 ft./mi.
 Site Stream Slope = 0.001882 ft./ft.
 Q₂₅ = 922 cfs
 Natural Stage = 982.6'
 Backwater = 0.08'
 Stage w/Backwater = 982.7'
 Slope w/Backwater = 3.6 ft./mi.
 Bridge Waterway Opening = 288.8'²
 Q₅₀ = 1,120 cfs
 Natural Stage = 983.2'
 Backwater = 0.07'
 Stage w/Backwater = 983.3'
 Bridge Velocity = 4.70 fps
 Bridge Waterway Opening = 337.5'²
 Q₁₀₀ = 1,330 cfs
 Natural Stage = 983.7'
 Backwater = 0.06'
 Stage w/Backwater = 983.8'
 Bridge Velocity = 5.00 fps
 Bridge Waterway Opening = 378.0'²
 Est. Q₁₀₀ Pier Scour Elev. = 971.0'
 Begin Overlapping Flow = +13,000 cfs
 Begin Overlapping Elev. = 991.2'
 Recored Highwater = unknown
 Observed Low Water = unknown

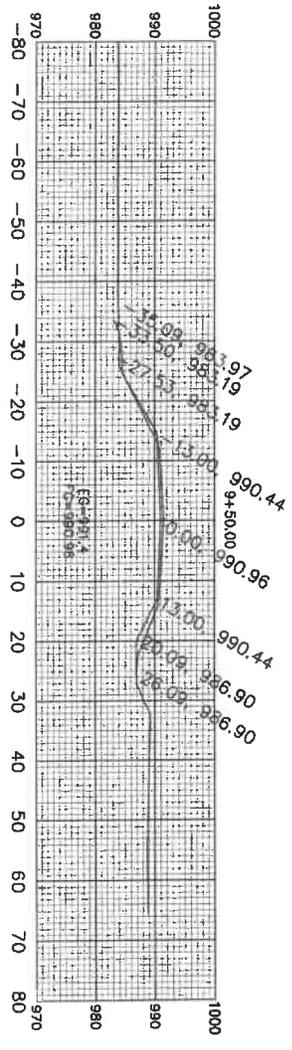
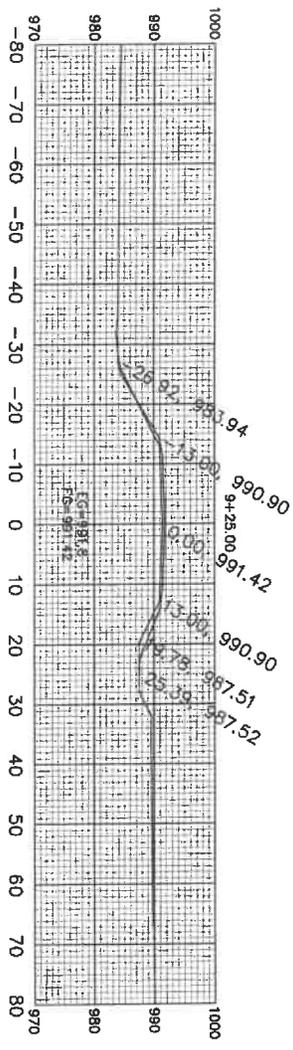
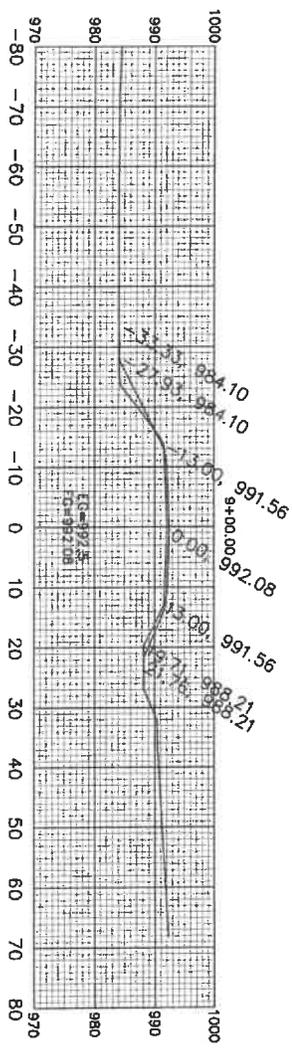
CROSS SECTIONS SHEET

PROJ No. L-C085(P15E)--73-85

SEE LOCATION & VERTICAL CURVES BACKSHEET FOR CROSS SECTION

STORY COUNTY

1:10000
L-C085(P15E)--73-85



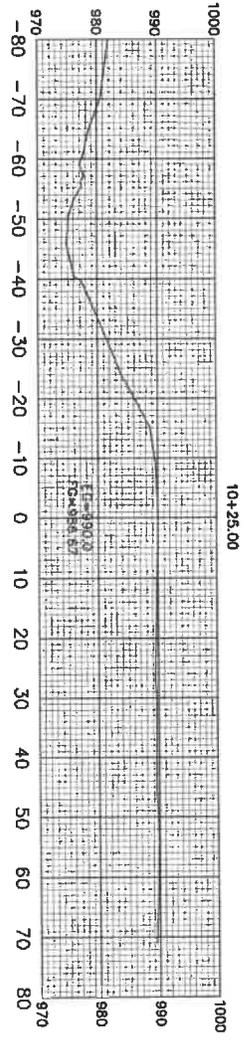
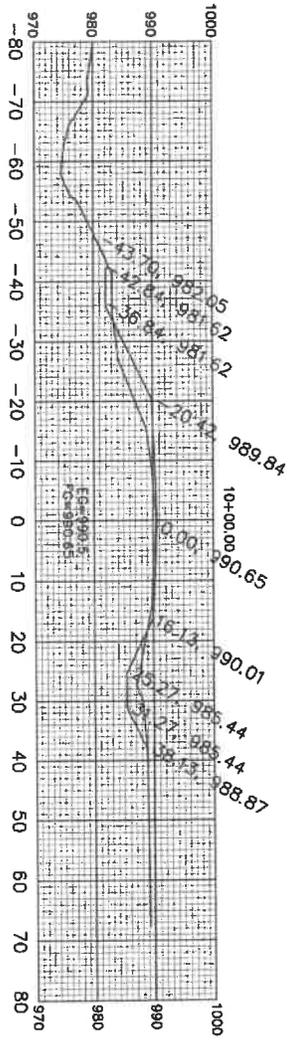
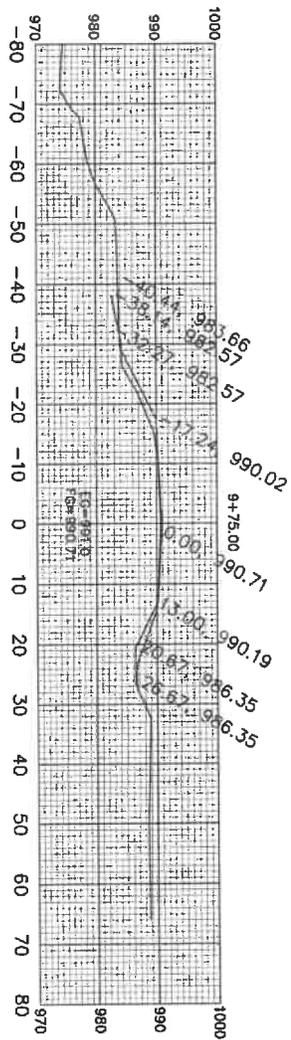
CROSS SECTIONS SHEET

PROJ No. L-C085(P15E)--73-85

FILE LOCATION: S:\MIDWEST\PROJECTS\PROJECTS\PLANS\PLANS\73-85\73-85-27-85.DWG

STORY COUNTY

PROJECT: L-C085(P15E)--73-85
 SHEET: 27-85
 DATE: 10/20/00
 DRAWN BY: JMM
 CHECKED BY: JMM



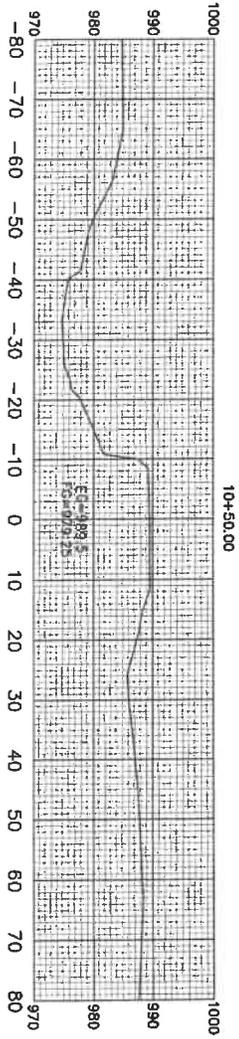
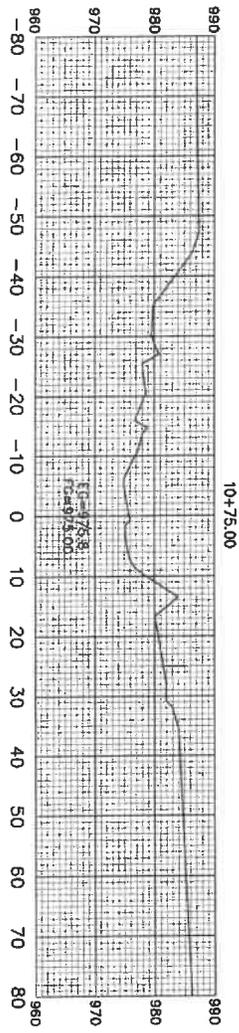
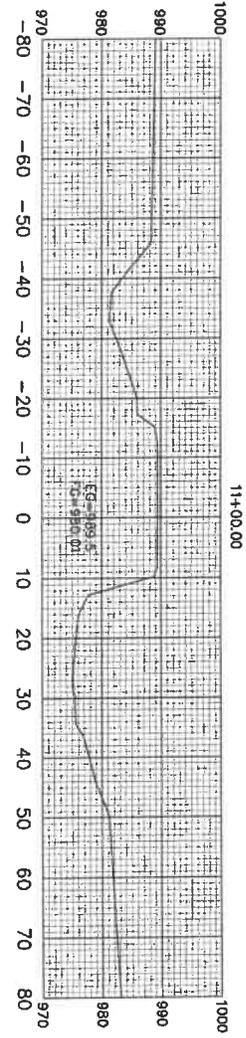
CROSS SECTIONS SHEET

PROJ No. L-C085(P15E)--73-85

FILE LOCATION: G:\WORK\PROJECTS\0855735_S&M\WG_SHEET\WG_SHEET.dwg

STORY COUNTY

L-C085(P15E)--73-85



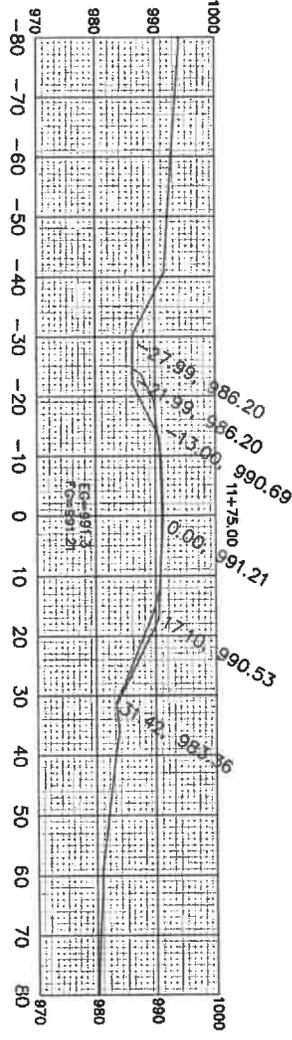
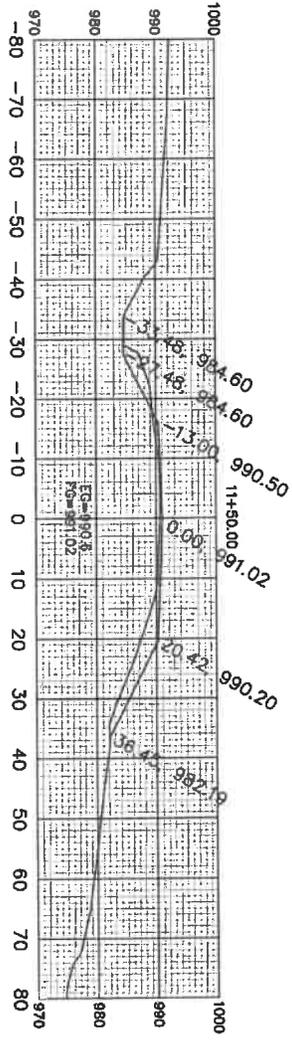
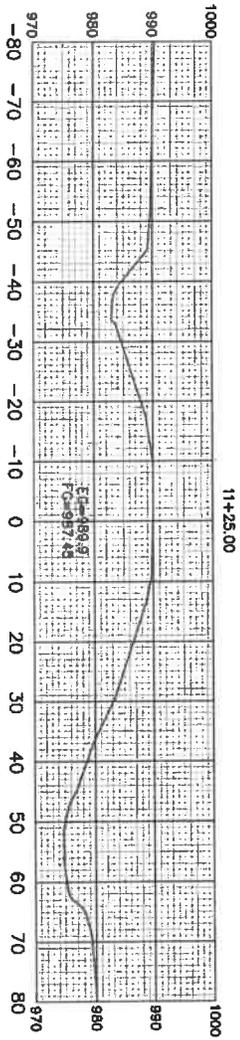
CROSS SECTIONS SHEET

PROJ No. L-C085(P15E)--73-85

FILE LOCATION: E:\WORK\PROJECTS\080523\30851.P15E\PROJ\CROSS\CS15E.DWG

STORY COUNTY

L-C085(P15E)--73-85



CROSS SECTIONS SHEET

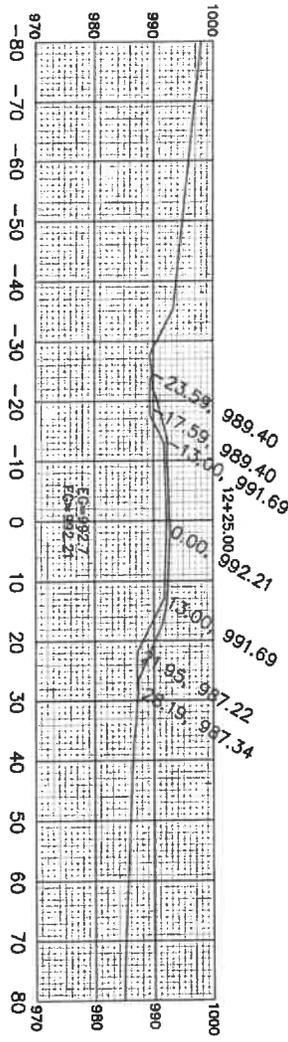
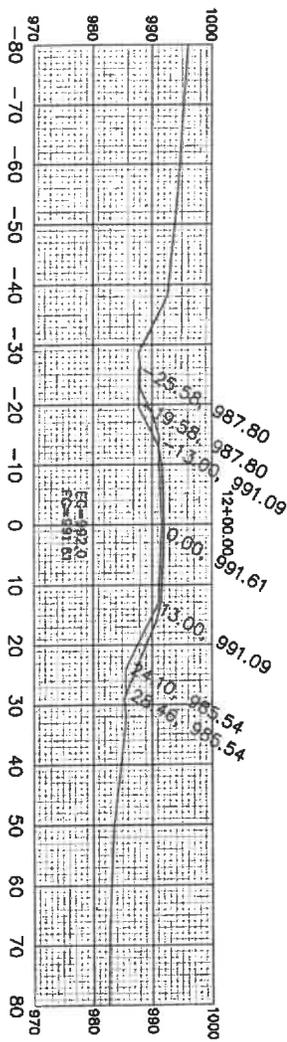
PROJ No. L-C085(P15E)--73-85

FILE LOCATION: \\NORTHWOOD\PROJECTS\PROJECTS\73-85\PROJ\DRAWINGS

STORY COUNTY

PROJECT: L-C085(P15E)-73-85

DATE: 11/11/03



STORY COUNTY, IOWA
RESOLUTION OF THE BOARD OF SUPERVISORS #23-46
 Assessed/Taxable Values of Utility Companies for 2022
 Payable in 2023-2024 Fiscal Year

WHEREAS, the Story County Auditor has received from the Iowa Department of Revenue the certified assessed values for gas and electric utilities, railroads, and pipelines for the 2022 Assessment Year;

NOW, THEREFORE, BE IT RESOLVED by the Story County Board of Supervisors that the certified values listed below be spread upon the books in the same manner as other valuations fixed by the Department of Revenue upon property assessed under the department's jurisdiction:

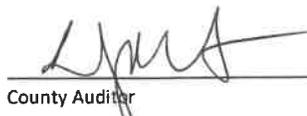
| Utility | Type/Miles | Rate | Assessed Value | Taxable Value |
|-------------------------------------|-----------------|--------------|--------------------|--------------------|
| Railroads | | | | |
| Union Pacific Corporation | 68.75 | 1288547.2468 | 88,587,623 | 79,678,601 |
| Pipelines | | | | |
| Magellan Pipeline Co, LP | Pipeline | | 4,463,534 | 4,463,534 |
| Northern Natural Gas Co | Pipeline | | 5,449,489 | 5,449,489 |
| Koch Pipelines | Pipeline | | 1,004,200 | 1,004,200 |
| Dakota Access LLC | Pipeline | | 65,274,498 | 65,274,498 |
| Sub-Total | | | 164,779,344 | 155,870,322 |
| Gas & Electric | | | | |
| Ames Municipal Electric | Transmission | | 13,966 | 17,036 |
| Basin Electric Power Coop | Gas | | 0 | 169 |
| Black Hills Energy Group | Gas | | 737,710 | 122,001 |
| Central Iowa Power Coop | Transmission | | 6,872,111 | 3,013,690 |
| Consumers Energy | Distribution | | 14,426,526 | 1,526,912 |
| Corn Belt Power Co | Transmission | | 427,964 | 154,445 |
| Corn Belt Power Co | Gas | | 0 | 437 |
| Interstate Power & Light Co | Elec/Prod/Trans | | 66,022,301 | 10,866,355 |
| Interstate Power & Light Co | Gas | | 75,677,848 | 15,248,561 |
| ITC Midwest LLC | Transmission | | 74,994,840 | 5,442,285 |
| Mid-American Energy | Transmission | | 745,385 | 261,811 |
| Midland Power Coop | Distribution | | 5,279,444 | 750,228 |
| State Center Municipal Utility | Transmission | | 6,458 | 19,697 |
| Story City Electric Utility | Transmission | | 325,543 | 142,813 |
| Sub-Total | | | 245,530,096 | 37,566,440 |
| Total of Certified Utilities | | | 410,309,440 | 193,436,761 |

DATED THIS 6th DAY OF DECEMBER, 2022



 Chairperson, Board of Supervisors

Attest:

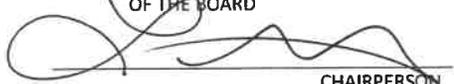


 County Auditor

ROLL CALL Latifah Faisal Yea Nay Absent
FOR ALLOWANCE Lisa Heddens Yea Nay Absent
 Linda Murken Yea Nay Absent

ALLOWED BY VOTE
OF THE BOARD

Yea 3 Nay 0 Absent 0


CHAIRPERSON

Above tabulation made by 



Story County Conservation Board - McFarland Park 56461 180th St. - Ames, Iowa 50010-9451
Phone (515) 232-2516 - Fax (515) 232-6989 - Email: conservation@storycounty.com
www.storycountyconservation.org

Memorandum

To: Story County Board of Supervisors
Through: Michael Cox, Director
From: Russ DeWall, Operations Supervisor
Date: December 6, 2022
Re: Consideration of Contract with Finco Tree Service for Removing Ash Trees and Stumps along the Prairie Rail Trail in McCallsburg for \$9,600.00.

The attached contract secures the services of Finco Tree Service for removing sixteen ash trees and stumps along the Prairie Rail Trail from the train tracks on the west side of McCallsburg to the edge of city limits on the east side of town from December 2022 through April 2023, not to exceed \$9600.00.

Quotes were requested from more than three local contractors for this project. Finco Tree Service was selected for their low responsible quote. We request this contract to be funded by the Urban Renewal fund with finances allocated towards the Prairie Rail Trail.

Story County Conservation Board urges your approval of this contract.


Approval

12.6.22
Date

Disapproval

Date

CONTRACT

Kind of Work Tree Removal

County Story

THIS AGREEMENT made and entered by and between Story County, Iowa, by its Conservation Board, Contracting Authority, and

of _____ Contractor.

WITNESSETH: That the Contractor, for and in consideration of (\$ _____)

payable as set forth in the specifications constituting a part of this contract, hereby agrees to construct in accordance with the plans and specifications therefore, and in the locations designated in the notice to bidders, the various items of work as follows:

| Item No. | Item | Quantity | Units | Unit Price | Amount |
|----------|--|----------|-------|--------------------|-------------------|
| 1 | 16 ash trees and stumps removed, backfilled, and seeded along | 16.00 | | \$600.00 | \$9,600.00 |
| 2 | the Prairie Rail Trail from the train tracks on the west side of | | | | |
| 3 | McCallsburg to the edge of city limits on the east side of town | | | | |
| 4 | | | | | |
| 5 | | | | | |
| 6 | | | | | |
| 7 | Contractor agrees to add Story County and Story County | | | | |
| 8 | Conservation as Additional Insured on Contractor's Commercial | | | | |
| 9 | General Liability Insurance | | | | |
| 10 | | | | | |
| 11 | Bid awarded to lowest qualified responsive bidder | | | | |
| 12 | | | | | |
| 13 | | | | | |
| 14 | | | | | |
| | | | | Subtotal: | |
| | Ô See supplemental information on Page 2 | | | Pg2 Subtot: | |
| | | | | TOTAL: | \$9,600.00 |

Said specifications and plans are hereby made a part of the the basis of this agreement and a true copy of said plans and specifications are now on file in the Story County Conservation Office.

That in consideration of the foregoing, the Contracting Authority hereby agrees to pay the Contractor, promptly and according to the requirements of the specifications the amounts set forth subject to the Conditions as set forth in the specifications.

That it is mutually understood and agreed by the parties hereto that the notice to bidders, the proposal, the specifications for Project No. Tree Removal

in Story County, Iowa, the within contract, the contractor's bond, and the general and detailed plans are and constitute the basis of contract between the parties thereto.

That it is further understood and agreed by the parties of this contract that the above work shall be commenced and completed on or before:

| Approximate Starting Date | Specified Starting Date | Late Start Date | Number of Working Days |
|---------------------------|-------------------------|-----------------|------------------------|
| 21-Dec-21 | Dec - 21 | | |

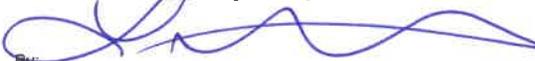
That time is the essence of this contract and that said contract contains all of the terms and conditions agreed upon by the parties hereto. It is further understood that the Contractor consents to the jurisdiction of the courts of Iowa to hear, determine and render judgement as to any controversy arising hereunder.

IN WITNESS WHEREOF the parties hereto have set their hands for the purposes herein expressed to this and three other instruments of like tenor, as of the

Recommended by:

Approved:

Story County, Iowa
Contracting Authority

By: 
Chair, Story County Board of Supervisors

Date: 12/16/22

By: 
Contractor

Date: _____



GASB 75 INTERIM ACTUARIAL VALUATION

Fiscal Year Ending June 30, 2022

STORY COUNTY

Approved
~~APPROVED~~ **DENIED**
 Board Member Initials: *JMA*
 Meeting Date: 12.6.22

Follow-up action: _____

CONTACT
John Mallows, FSA, MAAA
 john.mallows@nyhart.com

PHONE
 General (317) 845-3500

Table of Contents

| | Page |
|--|------|
| Certification | 1 |
| Executive Summary | 3 |
| GASB Disclosures | 4 |
| Schedule of Changes in Net OPEB Liability and Related Ratios | 6 |
| OPEB Expense | 7 |
| Deferred Outflows / (Inflows) of Resources | 9 |
| Sensitivity Results | 10 |
| Discussion of Discount Rates | 11 |
| Summary of Key Actuarial Assumptions | 14 |
| Actuary's Notes | |



November 30, 2022

**Lucy Martin
Story County
900 6th Street
Nevada, IA 50201**

This report summarizes the interim GASB actuarial valuation for the Story County 2021/22 fiscal year. To the best of our knowledge, the report presents a fair position of the funded status of the plan in accordance with GASB Statement No. 75 (Accounting and Financial Reporting by Employers for Post-Employment Benefits Other Than Pensions). This report may not be appropriate for other purposes. Please contact Nyhart prior to disclosing this report to any other party or relying on its content for any purpose other than that explained above. Failure to do so may result in misrepresentation or misinterpretation of this report.

The information presented herein is based on the actuarial assumptions and substantive plan provisions summarized in this report and participant information furnished to us by the Plan Sponsor. We have reviewed the employee census provided by the Plan Sponsor for reasonableness when compared to the prior information provided but have not audited the information at the source, and therefore do not accept responsibility for the accuracy or the completeness of the data on which the information is based. When relevant data may be missing, we may have made assumptions we feel are neutral or conservative to the purpose of the measurement. We are not aware of any significant issues with and have relied on the data provided.

The discount rate, other economic assumptions, and demographic assumptions have been selected by the Plan Sponsor with the concurrence of Nyhart. In our opinion, the actuarial assumptions are individually reasonable and in combination represent our estimate of anticipated experience of the Plan. All calculations have been made in accordance with generally accepted actuarial principles and practice.

Future actuarial measurements may differ significantly from the current measurements presented in this report due to such factors as the following:

- plan experience differing from that anticipated by the economic or demographic assumptions;
- changes in economic or demographic assumptions;
- increases or decreases expected as part of the natural operation of the methodology used for these measurements (such as the end of an amortization period); and
- changes in plan provisions or applicable law.

We did not perform an analysis of the potential range of future measurements due to the limited scope of our engagement.

To our knowledge, there have been no significant events prior to the current year's measurement date or as of the date of this report that could materially affect the results contained herein.



Neither Nyhart nor any of its employees has any relationship with the plan or its sponsor that could impair or appear to impair the objectivity of this report. Our professional work is in full compliance with the American Academy of Actuaries "Code of Professional Conduct" Precept 7 regarding conflict of interest. The undersigned are compliant with the continuing education requirements of the Qualification Standards for Actuaries Issuing Statements of Actuarial Opinion in the United States.

Should you have any questions please do not hesitate to contact us.

John Mallows, FSA, MAAA
Actuary

Cody Kocher, ASA, MAAA
Actuary

Executive Summary

Story County Interim GASB 75 Valuation for Fiscal Year Ending June 30, 2022

Summary of Results

Presented below is the summary of GASB 75 results for the fiscal year ending June 30, 2022 compared to the prior fiscal year as shown in the County's Notes to Financial Statement.

| | As of June 30, 2021 | As of June 30, 2022 |
|----------------------------------|---------------------|---------------------|
| Total OPEB Liability | \$ 1,666,326 | \$ 1,463,251 |
| Actuarial Value of Assets | \$ 0 | \$ 0 |
| Net OPEB Liability | \$ 1,666,326 | \$ 1,463,251 |
| Funded Ratio | 0.0% | 0.0% |

| | FY 2020/21 | FY 2021/22 |
|--------------------------------------|------------|------------|
| OPEB Expense | \$ 215,114 | \$ 212,579 |
| Annual Employer Contributions | \$ 105,053 | \$ 60,702 |

| | As of June 30, 2021 | As of June 30, 2022 |
|----------------------------------|---------------------|---------------------|
| Discount Rate | 2.19% | 4.09% |
| Expected Return on Assets | N/A | N/A |

GASB Disclosures

Story County Interim GASB 75 Valuation for Fiscal Year Ending June 30, 2022

Schedule of Changes in Net OPEB Liability and Related Ratios

| OPEB Liability | FY 2021/22 | FY 2020/21 | FY 2019/20 | FY 2018/19 | FY 2017/18 |
|--|---------------------|---------------------|---------------------|---------------------|---------------------|
| Total OPEB Liability | | | | | |
| Total OPEB Liability - beginning of year | \$ 1,666,326 | \$ 1,508,183 | \$ 1,502,748 | \$ 1,236,406 | \$ 1,138,874 |
| Service cost | 170,170 | 140,456 | 127,366 | 81,028 | 75,302 |
| Interest | 39,558 | 42,465 | 54,635 | 48,807 | 41,218 |
| Change of benefit terms | 0 | 0 | 0 | 0 | 0 |
| Changes in assumptions | (211,221) | 120,777 | 91,432 | 64,627 | (23,346) |
| Differences between expected and actual experience | (140,880) | (40,502) | (119,591) | 185,483 | 118,091 |
| Benefit payments | (60,702) | (105,053) | (148,407) | (113,603) | (113,733) |
| Net change in total OPEB liability | \$ (203,075) | \$ 158,143 | \$ 5,435 | \$ 266,342 | \$ 97,532 |
| Total OPEB Liability - end of year | \$ 1,463,251 | \$ 1,666,326 | \$ 1,508,183 | \$ 1,502,748 | \$ 1,236,406 |
| Plan Fiduciary Net Position | | | | | |
| Plan fiduciary net position - beginning of year | \$ 0 | \$ 0 | \$ 0 | \$ 0 | \$ 0 |
| Contributions - employer | 60,702 | 105,053 | 148,407 | 113,603 | 113,733 |
| Contributions - active employees | 0 | 0 | 0 | 0 | 0 |
| Net investment income | 0 | 0 | 0 | 0 | 0 |
| Benefit payments | (60,702) | (105,053) | (148,407) | (113,603) | (113,733) |
| Trust administrative expenses | 0 | 0 | 0 | 0 | 0 |
| Net change in plan fiduciary net position | \$ 0 | \$ 0 | \$ 0 | \$ 0 | \$ 0 |
| Plan fiduciary net position - end of year | \$ 0 | \$ 0 | \$ 0 | \$ 0 | \$ 0 |
| Net OPEB Liability - end of year | \$ 1,463,251 | \$ 1,666,326 | \$ 1,508,183 | \$ 1,502,748 | \$ 1,236,406 |
| Plan fiduciary net position as % of total OPEB liability | 0.0% | 0.0% | 0.0% | 0.0% | 0.0% |
| Covered employee payroll | \$ 17,778,134 | \$ 16,745,067 | \$ 15,881,003 | \$ 15,602,603 | \$ 14,593,861 |
| Net OPEB liability as % of covered payroll | 8.2% | 10.0% | 9.5% | 9.6% | 8.5% |

GASB Disclosures

Story County Interim GASB 75 Valuation for Fiscal Year Ending June 30, 2022

Schedule of Changes in Net OPEB Liability and Related Ratios (Continued)

| OPEB Liability | FY 2016/17 |
|--|---------------------|
| Total OPEB Liability | |
| Total OPEB Liability - beginning of year | \$ 1,172,914 |
| Service cost | 78,565 |
| Interest | 35,031 |
| Change of benefit terms | 0 |
| Changes in assumptions | (43,293) |
| Differences between expected and actual experience | 0 |
| Benefit payments | (104,342) |
| Net change in total OPEB liability | \$ (34,039) |
| Total OPEB Liability - end of year | \$ 1,138,875 |
| Plan Fiduciary Net Position | |
| Plan fiduciary net position - beginning of year | \$ 0 |
| Contributions - employer | 104,342 |
| Contributions - retired members | 0 |
| Net investment income | 0 |
| Benefit payments | (104,342) |
| Trust administrative expenses | 0 |
| Net change in plan fiduciary net position | \$ 0 |
| Plan fiduciary net position - end of year | \$ 0 |
| Net OPEB Liability - end of year | \$ 1,138,875 |
| Plan fiduciary net position as % of total OPEB liability | 0.0% |
| Covered employee payroll | \$ 14,032,559 |
| Net OPEB liability as % of covered payroll | 8.1% |

GASB Disclosures

Story County Interim GASB 75 Valuation for Fiscal Year Ending June 30, 2022

OPEB Expense

| OPEB Expense | FY 2021/22 | FY 2020/21 |
|---|------------|------------|
| Discount Rate | | |
| Beginning of year | 2.19% | 2.66% |
| End of year | 4.09% | 2.19% |
| Service cost | \$ 170,170 | \$ 140,456 |
| Interest | 39,558 | 42,465 |
| Change of benefit terms | 0 | 0 |
| Projected earnings on OPEB plan investments | 0 | 0 |
| Reduction for contributions from active employees | 0 | 0 |
| OPEB plan administrative expenses | 0 | 0 |
| Current period recognition of deferred outflows / (inflows) of resources | | |
| Differences between expected and actual experience | \$ 1,304 | \$ 13,044 |
| Changes in assumptions | 1,547 | 19,149 |
| Net difference between projected and actual earnings on OPEB plan investments | 0 | 0 |
| Total current period recognition | \$ 2,851 | \$ 32,193 |
| Total OPEB expense | \$ 212,579 | \$ 215,114 |

GASB Disclosures

Story County Interim GASB 75 Valuation for Fiscal Year Ending June 30, 2022

Deferred Outflows / (Inflows) of Resources

Deferred Outflows / (Inflows) of Resources represents the following items that have not been recognized in the OPEB Expense:

1. Differences between expected and actual experience of the OPEB plan
2. Changes of assumptions
3. Differences between projected and actual earnings in OPEB plan investments (for funded plans only)

The initial amortization period for the first two items noted above is based on expected future service lives while the difference between the projected and actual earnings in OPEB plan investment is amortized over five years. All balances are amortized linearly on a principal only basis and new bases will be created annually for each of the items above.

| | Initial Balance | Initial Amortization Period | Annual Recognition | Unamortized Balance as of June 30, 2022 |
|---------------|-----------------|-----------------------------|--------------------|---|
| June 30, 2017 | \$ 0 | N/A | \$ 0 | \$ 0 |
| June 30, 2018 | \$ 118,091 | 11 | \$ 10,736 | \$ 64,411 |
| June 30, 2019 | \$ 185,483 | 11 | \$ 16,862 | \$ 118,035 |
| June 30, 2020 | \$ (119,591) | 11 | \$ (10,872) | \$ (86,975) |
| June 30, 2021 | \$ (40,502) | 11 | \$ (3,682) | \$ (33,138) |
| June 30, 2022 | \$ (140,880) | 12 | \$ (11,740) | \$ (129,140) |

| | Initial Balance | Initial Amortization Period | Annual Recognition | Unamortized Balance as of June 30, 2022 |
|---------------|-----------------|-----------------------------|--------------------|---|
| June 30, 2017 | \$ (43,293) | 11 | \$ (3,896) | \$ (19,484) |
| June 30, 2018 | \$ (23,346) | 11 | \$ (2,122) | \$ (12,736) |
| June 30, 2019 | \$ 64,627 | 11 | \$ 5,875 | \$ 41,127 |
| June 30, 2020 | \$ 91,432 | 11 | \$ 8,312 | \$ 66,496 |
| June 30, 2021 | \$ 120,777 | 11 | \$ 10,980 | \$ 98,817 |
| June 30, 2022 | \$ (211,221) | 12 | \$ (17,602) | \$ (193,619) |

GASB Disclosures

Story County Interim GASB 75 Valuation for Fiscal Year Ending June 30, 2022

Deferred Outflows / (Inflows) of Resources (Continued)

| Net Difference between projected and actual earnings in OPEB plan investments for FYE | Initial Balance | Initial Amortization Period | Annual Recognition | Unamortized Balance as of June 30, 2022 |
|---|-----------------|-----------------------------|--------------------|---|
| June 30, 2018 | \$ 0 | N/A | \$ 0 | \$ 0 |
| June 30, 2019 | \$ 0 | N/A | \$ 0 | \$ 0 |
| June 30, 2020 | \$ 0 | N/A | \$ 0 | \$ 0 |
| June 30, 2021 | \$ 0 | N/A | \$ 0 | \$ 0 |
| June 30, 2022 | \$ 0 | N/A | \$ 0 | \$ 0 |

| As of fiscal year ending June 30, 2022 | Deferred Outflows | Deferred Inflows |
|---|-------------------|---------------------|
| Differences between expected and actual experience | \$ 182,446 | \$ (249,253) |
| Changes in assumptions | 206,440 | (225,839) |
| Net difference between projected and actual earnings in OPEB plan investments | N/A | N/A |
| Total | \$ 388,886 | \$ (475,092) |

Annual Amortization of Deferred Outflows / (Inflows)

The balances as of June 30, 2022 of the deferred outflows / (inflows) of resources will be recognized in OPEB expense in the future fiscal years as noted below.

| FYE | Balance |
|------------|--------------|
| 2023 | \$ 2,851 |
| 2024 | \$ 2,851 |
| 2025 | \$ 2,851 |
| 2026 | \$ 2,851 |
| 2027 | \$ 2,847 |
| Thereafter | \$ (100,457) |

GASB Disclosures

Story County Interim GASB 75 Valuation for Fiscal Year Ending June 30, 2022

Sensitivity Results

The following presents the Net OPEB Liability as of June 30, 2022, calculated using the discount rate assumed and what it would be using a 1% higher and 1% lower discount rate.

- The current discount rate is 4.09%.
- The 1% decrease in discount rate would be 3.09%.
- The 1% increase in discount rate would be 5.09%.

| As of June 30, 2022 | Net OPEB Liability |
|-----------------------|--------------------|
| 1% Decrease | \$ 1,571,947 |
| Current Discount Rate | \$ 1,463,251 |
| 1% Increase | \$ 1,360,588 |

The following presents the Net OPEB Liability as of June 30, 2022, using the health care trend rates assumed and what it would be using 1% higher and 1% lower health care trend rates.

- The current health care trend rate starts at an initial rate of 7.50%, decreasing to an ultimate rate of 4.50%.
- The 1% decrease in health care trend rates would assume an initial rate of 6.50%, decreasing to an ultimate rate of 3.50%.
- The 1% increase in health care trend rates would assume an initial rate of 8.50%, decreasing to an ultimate rate of 5.50%.

| As of June 30, 2022 | Net OPEB Liability |
|---------------------|--------------------|
| 1% Decrease | \$ 1,283,073 |
| Current Trend Rates | \$ 1,463,251 |
| 1% Increase | \$ 1,678,694 |

Discussion of Discount Rates

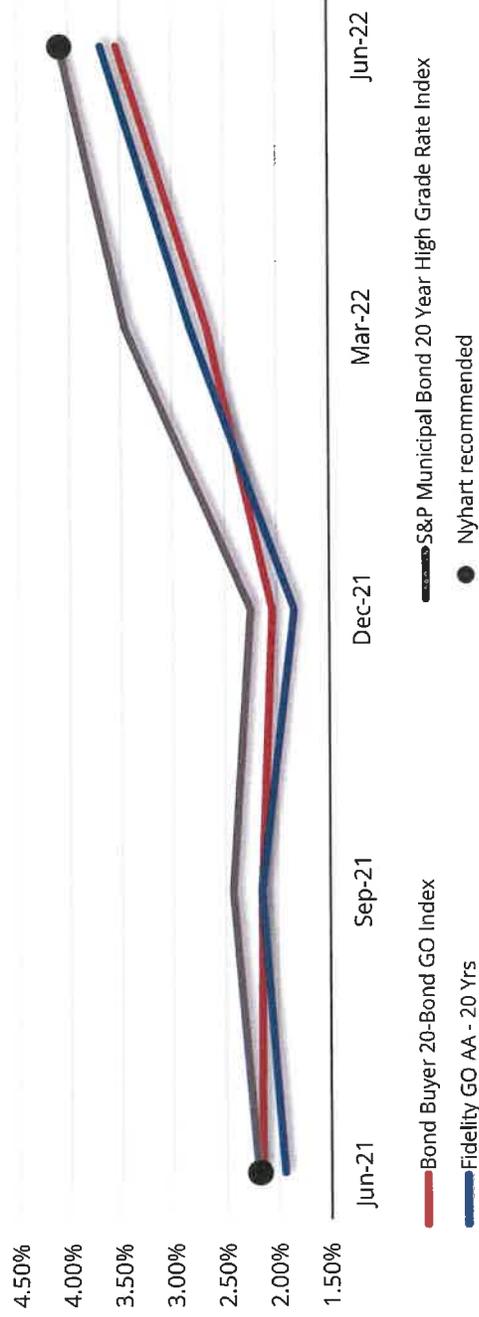
Story County Interim GASB 75 Valuation for Fiscal Year Ending June 30, 2022

Under GASB 75, the discount rate used in valuing OPEB liabilities for unfunded plans as of the Measurement Date must be based on a yield for 20-year tax-exempt general obligation municipal bonds with an average rating of AA/Aa or higher (or equivalent quality on another rating scale).

For the current valuation, the discount rate was selected from the range of indices as shown in the table below, where the range is given as the spread between the lowest and highest rate shown.

| | Bond Buyer Go 20- Bond Municipal Bond Index | S&P Municipal Bond 20-Year High Grade Rate Index | Fidelity 20-Year Go Municipal Bond Index | Bond Index Range | Actual Discount Rate Used |
|---------------------------|---|--|--|------------------|---------------------------------|
| Yield as of July 1, 2021 | 2.16% | 2.19% | 1.94% | 1.94% - 2.19% | 2.19% |
| Yield as of June 30, 2022 | 3.54% | 4.09% | 3.69% | 3.54% - 4.09% | 4.09% |

20-Year Municipal Bond Indices



Summary of Key Actuarial Assumptions

Story County Interim GASB 75 Valuation for Fiscal Year Ending June 30, 2022

For a complete summary of actuarial methods and assumptions, refer to the GASB 75 actuarial valuation report for the fiscal year ending June 30, 2021.

Measurement Date

For fiscal year ending June 30, 2022, a June 30, 2022 measurement date was used.

Actuarial Valuation Date

July 1, 2021 with results actuarially projected on a “no gain / no loss” basis to get to the June 30, 2022 measurement date. Liabilities as of July 1, 2021 are based on an actuarial valuation date of July 1, 2021 with no adjustments.

Discount Rate

2.19% as of July 1, 2021 and 4.09% as of June 30, 2022 for accounting disclosure purposes. Refer to the Discussion of Discount Rates section for more information on selection of the discount rate.

The discount rate was chosen by the plan sponsor based on the information provided in the “Discussion of Discount Rates” section above.

Payroll Growth

The payroll growth assumption for General and Sheriffs/Deputies and Protection Occupation employees are based on the IPERS valuation as of June 30, 2021. The assumptions from these state-wide valuations provide reasonable estimates of experience for municipal employers such as Story County. The rates below include general wage inflation (2.60% general inflation and 0.65% real wage inflation) and merit / productivity increases.

| | Years of Service | General (State) | Sheriffs/Deputies and Protection Occupation |
|--|------------------|-----------------|---|
| | 1 | 14.25% | 16.25% |
| | 5 | 7.75% | 5.75% |
| | 10 | 5.50% | 4.55% |
| | 15 | 4.45% | 4.05% |
| | 20 | 3.85% | 3.75% |
| | 25 | 3.60% | 3.75% |
| | 30 | 3.35% | 3.25% |
| | 35+ | 3.25% | 3.25% |

Summary of Key Actuarial Assumptions

Story County Interim GASB 75 Valuation for Fiscal Year Ending June 30, 2022

Inflation Rate

2.60% per year

The inflation rate is based on the current economic environment and future expectations.

Cost Method

Allocation of Actuarial Present Value of Future Benefits for services prior and after the Measurement Date was determined using Entry Age Normal Level % of Salary method where:

- Service Cost for each individual participant, payable from date of employment to date of retirement, is sufficient to pay for the participant's benefit at retirement; and
- Annual Service Cost is a constant percentage of the participant's salary that is assumed to increase according to the Payroll Growth.

Health Care Trend Rates

| FYE | Medical/Rx | FYE | Medical/Rx |
|------|------------|-------|------------|
| 2023 | 7.5% | 2027 | 5.5% |
| 2024 | 7.0% | 2028 | 5.0% |
| 2025 | 6.5% | 2029+ | 4.5% |
| 2026 | 6.0% | | |

The initial trend rate was based on a combination of employer history, national trend surveys, and professional judgment.

The ultimate trend rate was selected based on historical medical CPI information.

Summary of Key Actuarial Assumptions

Story County Interim GASB 75 Valuation for Fiscal Year Ending June 30, 2022

Models

ProVal

Valuation software developed by Winklevoss Technologies, LLC. This software is widely used for the purpose of performing postretirement medical valuations. We coded the plan provisions, assumptions, methods and participant data summarized in this report, and reviewed the liability and cost outputs for reasonableness. We are not aware of any weakness or limitations in the software and have determined that it is appropriate for performing this valuation.

HealthMAPS Manual

Rating manual developed by WTW. Aging factors are used to develop per capita costs by age for plans with limited credible exposure to develop plan-specific factors. We are not aware of any weakness or limitations in the factors and have determined that they are appropriate for performing

Actuary's Notes

Story County Interim GASB 75 Valuation for Fiscal Year Ending June 30, 2022

There have been no plan provision changes since the last full valuation, which was for the fiscal year ending June 30, 2021. For a complete summary of plan provisions, refer to the GASB 75 actuarial valuation report for the fiscal year ending June 30, 2021.

Interim year valuation results have been projected from the prior year's valuation with adjustments for actual premium increases from 2021/22 to 2022/23. Making this change resulted in a decrease in liabilities.

Additionally, we have updated the discount rate assumption to be based on the yield for 20-year-tax-exempt general obligation municipal bonds as of June 30, 2022 (measurement date). The discount rate is 2.19% as of July 1, 2021 and 4.09% as of June 30, 2022. Refer to the Discussion of Discount Rates section for more information on selection of the discount rate. Making this change resulted in a significant decrease in liabilities.

Premium Rates

The monthly premiums effective July 1, 2022 and July 1, 2021 by plan are as shown below.

| Health Plans | Eff. 7/1/2022 | | Eff. 7/1/2021 | |
|--------------|---------------|-------------|---------------|-------------|
| | Single | 2-person | Single | 2-person |
| AS Plan 1 | N/A | N/A | \$ 910.28 | \$ 2,252.64 |
| AS Plan 2 | \$ 855.54 | \$ 2,115.80 | \$ 855.54 | \$ 2,115.80 |
| BC Plan 1 | N/A | N/A | \$ 836.15 | \$ 2,067.32 |
| BC Plan 2 | \$ 784.61 | \$ 1,938.46 | \$ 784.61 | \$ 1,938.46 |

Work Orders:

Q4 2021, our numbers were:

| Location | Work Orders Opened | Work Orders Closed | On-Call |
|----------------|--------------------|--------------------|-----------|
| Admin | 96 | 95 | 0 |
| Group Homes | 27 | 24 | 5 |
| McFarland | 10 | 8 | 0 |
| HSC | 92 | 93 | 0 |
| Justice Center | 171 | 177 | 6 |
| Animal Control | 15 | 18 | 1 |
| Engineer | 16 | 14 | 0 |
| Equip/Vehicles | 32 | 36 | 0 |
| West Ames Shed | 1 | 2 | 0 |
| Total | 460 | 467 | 12 |

Submitted
~~APPROVED~~
Board Member Initials: *ABK* **DENIED**
Meeting Date: *12.6-22*
Follow-up action: _____

Q4 2022, our numbers are:

| Location | Work Orders Opened | Work Orders Closed | On-Call |
|----------------|--------------------|--------------------|-----------|
| Admin | 124 | 128 | 1 |
| Group Homes | 35 | 30 | |
| McFarland | 18 | 17 | |
| HSC | 98 | 86 | 2 |
| Justice Center | 152 | 143 | 12 |
| Animal Control | 27 | 24 | |
| Engineer | 25 | 24 | |
| Equip/Vehicles | 45 | 45 | |
| West Ames Shed | 1 | 1 | |
| Total | 525 | 498 | 15 |

General Information: Facilities staff continues to be very busy taking care of the routine maintenance for all buildings, lawn care, and keeping all equipment and vehicles in good working condition.

- Filled our 2nd shift Maintenance Technician position, by promoting within. Began recruiting for 2nd shift for Building Service/Maintenance Assistant position.
- Finished replacing our gas-powered equipment with battery-powered equipment
- Assisted Auditor's office in delivery and pickup of election equipment
- First snow event under our belts, went smoothly
- Fall exterior window cleaning has been completed, and interior stair tower windows at Administration building

Administration Building:

- Completed fall heat pump filter change

Animal Control:

- Parking lot has been paved
- Repaired septic system's sand filter's valve
- Exterior cameras are all online and operational
- The 12" of added insulation for the attic has been completed

Engineer's building:

- Nothing to report

Group Homes:

- Repaired bulkhead and began painting at Calhoun
- All exterior and fences have been washed
- Painting bedrooms and carpet cleaning as client change-over occurs

Human Services Center:

- Remainder of vinyl flooring has been replaced.
- HVAC replacement project is out for bid

Justice Center (Courtside):

- 44 of 68 HVAC heat pumps have been replaced
- Continuing with LED interior lighting update

Justice Center (Jail, Sheriff, & Jail Support)

- 23 of the 23 HVAC heat pumps have been replaced
- 7 of the 7 HVAC rooftop units have been replaced

McFarland Park:

- Nothing to report

1-00

Permit Number 23-6697

STORY COUNTY UTILITY PERMIT

Date 11/30/22

To the Board of Supervisors, Story County, Iowa:
XENIA RURAL

The WATER DISTRICT Company, incorporated under the laws of IOWA
authorize to do business within the State of Iowa, with its principal place of business at 23998
141st ST, Bouton IA 50039, does hereby make application requesting
permission to occupy certain portions of public right-of-way and that the County Engineer be
directed to establish the location of lines of transmission of potable water on secondary route

#122207 - 2455

To provide water service per attached map(s).

Agreements: The utility company, corporation, applicant, permittee, or licensee, (hereinafter referred to as the permittee) agrees that the following stipulations shall govern under this permit.

1. The Permittee will file a plat setting out the location of proposed line on the secondary route and that the description of the proposed installation including type, height, and spacing of poles, maximum voltage, lengths of cross arms, minimum clearance and number of wires, type, size and capacity of underground cables, conduits, tile lines, and pipe lines, maximum working pressures for pipe lines carrying gas or flammable petroleum products are described as follows:

2. The installation shall meet the requirements of county, state, and federal laws, franchise rules, and of the Iowa State Commerce Commission Regulations and Directives, Utilities Division, the Iowa State Department of Health, and any other laws or regulations applicable.

3. The Permittee shall be fully responsible for any future adjustments of its facilities within the established highway right-of-way caused by highway construction or maintenance operations.

4. Story County assumes no responsibility for damages to the Permittee's property occasioned by any construction or maintenance operations on said highways.

5. The Permittee shall take all reasonable precautions during the construction and maintenance of said installation to protect and safeguard the lives and property of the traveling public and adjacent property owners.

6. The Permittee, and its contractors, shall carry on the construction or repair of the accommodated utility with serious regard to the safety of the public. Traffic protection shall be in accordance with Part VI of the current Iowa Department of Transportation Manual on Uniform Control Devices for Streets and Highways.

7. The Permittee shall be responsible for any damage resulting to said highways because of the construction operation, or maintenance of said utility, and shall reimburse Story County for any expenditure the County may have to make on said highways because of said permittee's utility having been constructed, operated, and maintained thereon.

8. The Permittee shall indemnify and save harmless Story County from any and all causes of action, suits at law or in equity, or losses, damages, claims, or demands, and from any and all liability and expense of whatsoever nature for, on account of or due to the acts or omissions of said Permittee's officers, members, agents, representatives, contractors, employees or assigns arising out of or in connection with its (or their) use or occupancy of the public highway under this permit.

9. Noncompliance with any of the terms of permit, or agreement, may be considered cause for shut down of utility construction operations, or revocation of the permit.

10. The following special requirements, if applicable, shall apply to this permit:

Whenever the route of the proposed cable line runs along a paved secondary highway, the location of said cable shall be constructed on top of the road shoulder so as to be within approximately two-feet of the pavement edge.

Whenever the route of the proposed cable line runs along a dirt or gravel surfaced highway, the location of said cable shall be constructed on top of the road surface and as near possible to the shoulder line

Whenever a cross road culvert or bridge is encountered along the route of the proposed cable lines, said cable shall be constructed around the ends of said cross road culvert or bridge even though this looping is not designated on the situation plans attached hereto.

The crossing of the cable line from one side of the highway to the other shall be accomplished at a near right angle rather than diagonally so as to disturb the roadbed of the traveled way as little as possible.

Whenever the route of the proposed cable line is to cross a paved highway, such crossing shall be in a bored hole rather than open cut trench.

Date 11/30/2022

XENIA RURAL WATER DISTRICT

Name of Company (Applicant - Permittee)

Roger Olson
by

(515) 676-2117

Phone no.

Recommended for Approval:

Date 11-30-22

Dawn Mann

Asst. County Engineer

515-382-7355

Phone no.

Approved:

Date 12.6.22

[Signature]

Chair, Board of Supervisors
Story County, Iowa

Three (3) copies of this form will be required for each installation. A plat shall be attached to each copy submitted.



DIRECTIONAL BORE – STORY COUNTY
Directional bore of 1 1/2" PVC water service line under 560th Ave 60' south of C/L drive of 32603 560th Ave, private to private. Located in Story County, Palestine Township, Section 25 (25-82-24)

T82N

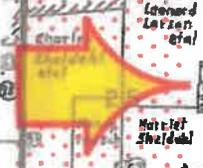
PALESTINE

R24W



DIRECTIONAL BORE - STORY COUNTY

Directional bore of 1 1/2" PVC water service line under 560th Ave 60' south of C/L drive of 32603 560th Ave, private to private. Located in Story County, Palestine Township, Section 25 (25-82-24)



**STORY COUNTY CONSERVATION
QUARTERLY REPORT
December 6, 2022
Michael D. Cox, Conservation Director**

McFarland Park

- Lake renovation is underway. The Touch-A-Life trail is temporarily closed due to the renovation. We have submitted a grant application to the Iowa Department of Natural Resources (IDNR) for a Fish Habitat Grant to offset a portion of the renovation costs.

Heart of Iowa Nature Trail

- Wayfinding, identification, interpretive signs are being installed. *Submitted*
- Phase 3a of paving is in the final design review stage. We anticipate an April bid letting. **APPROVED** **DENIED**

Dakins Lake

- Playground improvements are complete.

Board Member Initials: *[Signature]*

Meeting Date: 12-6-22

Follow-up action: _____

Sopers Mill Water Trail Access Improvements

- Design is complete and we anticipate releasing an Invitation to Bid immediately.

Hickory Grove Park Wastewater

- Garden and Associates has been contracted for design services and they have begun data gathering writing a preliminary report for submission to the IDNR.

Hannum's Mill Dam Mitigation

- Temporary construction easements have been secured. We have received a Lowhead Dam Mitigation Grant from the IDNR and will continue submitting additional grant applications.

Water Quality

- Design is underway for potential edge of field practice installations in 2023.
- Water Quality monitoring has been going well this summer. An annual report is anticipated to be complete in January 2023.
- The Headwaters of the South Skunk River WMA watershed assessment is complete and awaiting adoption by the WMA.

Hickory Grove Park and Conservation Center Master Plans

- Shive Hattery has been contracted to complete these master plans. They have toured sites, completed a public opinion survey and had several discussions with staff and Board.

Events/Environmental Education

- The fall field trip season has ended.
- We offered Wild Women of the Woods in September. It was attended by 66 participants.
- We are continuing programming with Cultivating Hope Farm to offer educational opportunities for youth and young adults on the autism spectrum, and their families.
- In-school programming is underway.
- We have winter themed public programming planned. Programming will include family programming, specialized programming for underserved audiences.
- Upcoming outdoor school programming will include ice fishing and snowshoe hiking.
- We are exploring enhanced programming partnerships with YSS.

- Upcoming OWLS programs are: January 5th – Artifact Roadshow, February 2nd -The Return of Iowa's Bald Eagles, March 2nd – Iowa Natural Heritage Foundation, and April 6th – African Wildlife Adventures
- The annual Supporters Appreciation banquet will be held April 20th.

Natural Resources

- Partnered with CCI for habitat management work at McFarland Park and Carroll Prairie.
- Worked with Planning and Development to review proposed developments.
- Completed seed harvest including combine harvest as well as hand harvest. Several volunteers assisted with harvesting.
- Natural Resource Stewards completed more than 430 hours of volunteer service which is valued at nearly \$12,000.
- Completed management plans for Carroll Prairie, Wicks Wildlife Area, Jordan Wildlife Area.
- Created natural resources program priorities for all county lands.
- Updated GIS Database to reflect area management practices such as: Spray records, burn records, trail maintenance issues, timber stand improvements, invasive species management.
- Completed volunteer led biological surveys
 - Breeding bird surveys at Deppe Conservation Area, and Carroll Prairie
 - Small mammal surveys at Deppe Conservation Area

Personnel and Administration

- Madison Nolte has been hired as Outreach and Community Engagement Coordinator. All positions are full. Recruitment for summer 2023 seasonal positions has been opened.
- The FY22 Annual Report has been completed.
- The 2023-2026 Strategic Plan has been completed.



Board of Supervisors

Story County, Iowa

Holiday Policy

| | | |
|---|--|---------------------------|
| Approval Date: | Effective Date: 01/01/2023 | Revision No: 03 |
| Reference: BOS Minutes: Initially Adopted: 7/1/2018 | Distribution: APPROVED Employee Handbook, S:drive: Policy Book | |

Board Member Initials: *[Signature]* DENIED

Meeting Date: 12-6-22

Follow-up action: for 7-day review

General Policy

It is the policy of Story County to provide its employees paid time off for certain holidays as designated by the Board of Supervisors.

Scope

This policy is applicable to:

All Story County employees responsible to the Board of Supervisors.

All Story County employees responsible to a county elected office holder with the exception of statutory deputies and assistant county attorneys employed under the provisions of Iowa Code 331.904.

All employees not directly responsible to either the Board of Supervisors or an elected office holder and whose governing body and the Board of Supervisors have certified its applicability.

When there is a conflict between this policy and a collective bargaining agreement and/or the Iowa Code, the provisions of a collective bargaining agreement and/or the Iowa Code prevail.

Holidays

The County observes the following holidays each year:

| | |
|----------------------------|--|
| New Year's Day | Labor Day |
| Martin Luther King Jr. Day | Veterans Day |
| Presidents Day | Thanksgiving Day |
| Memorial Day | Friday following Thanksgiving |
| Juneteenth | Two Days at Christmas |
| Independence Day | Two hours on December 31 st * |

*This time is allowed only if December 31st falls on a Monday Through Thursday.

Particular dates for each holiday will be determined by the Story County Board of Supervisors at the beginning of each calendar year. Holidays falling on a Saturday are normally observed on the preceding Friday. Holidays falling on a Sunday are normally observed on the following Monday.

Religious Holidays

It is the policy of the County to permit absence from work with compensation for employees who wish to observe religious holidays of their faith, providing previous arrangements are made with the County for establishing an alternative work time. If an alternate work period cannot be arranged, an absence will be charged to vacation leave or to leave without pay.

Holiday Pay

Full and part-time employees will receive their regular compensation for the holidays approved by the Board of Supervisors. Compensation for each designated holiday will consist of eight (8) hours. Employees shall not receive payment for any holiday if they have an unexcused absence or are not on the payroll the working day immediately preceding and following the holiday.

In the case where an employee is required to work on a designated holiday, that employee will be paid at the overtime rate for hours worked on the specific holiday. This shall be in addition to any holiday pay the employee would otherwise receive.

If a recognized holiday falls during an employee's scheduled vacation or any period of approved sick leave scheduled, it will be counted as a holiday and not charged to the employee's accumulated vacation or sick leave bank.

Overtime

Holiday pay is considered work time for the purpose of computing overtime.



APPROVED

DENIED

Board Member Initials: JK
Meeting Date: 12.6.22 @ 20,000.00
Follow-up action: lost funds

Dear Story County Board of Supervisors,

This proposal is to continue the work of Story County College Access Network (SCCAN) through an investment of \$20,000 in FY 24. These funds would bridge a three-month gap in SCCAN's FY 24 budget while additional financing options are pursued. This is the first time SCCAN has sought funds from the Story County Board of Supervisors.

SCCAN Overview

Since 2019, SCCAN has been a multi-sector collaborative network that engages individuals, guardians, and community partners to improve outcomes for career readiness and post-secondary opportunities through systemic awareness and engagement. SCCAN was initially established with funding from Iowa College Aid. These grant funds were intended to create networks that promote and increase postsecondary enrollment access and attainment. This is the basis of SCCAN's vision "to provide awareness and coordination among existing resources, identify gaps, and develop solutions that will better prepare individuals for post-secondary educational opportunities and careers." SCCAN is now in Year IV, the final year of the grant funding from Iowa College Aid. In Year IV, SCCAN leadership has set out to ensure programmatic and financial stability. This involves identifying relevant stakeholders who actively support program goals as well as developing continued funding through an analysis of financing needs.

SCCAN Successes to Date

Programmatically, SCCAN operates at the direction of the Leadership Team (see attached) and through the efforts of the various Action Teams. In this way, SCCAN has created measurable and intentional programming for Story County youth and families. SCCAN's work has included the following:

- Ames Middle School Speaker Series: This series had guests from a variety of professionals speak to middle schoolers during their lunch time about their profession
- #Getajob: The Story County Summer job fair or #Getajob is an event for 14-24-year-old Story County residents to find summer employment; forty-four businesses participated in the event, and 438 people attended the fair.
- Story County Middle School Career Fair: An event for middle school students to meet with local businesses to explore career opportunities.
- Future Ready Nights: SCCAN volunteers provide information to students and parents at each of the seven high schools in Story County. Topics include: FAFSA assistance, college fair, High School 101, and more.
- Business Engagement Collaborative: SCCAN's website and social media is a learning experience of its own, as it was designed and managed by students at Ames High School.

SCCAN creates and maintains trust and cultivates long-term partnerships by working alongside other organizations. Through these relationships, SCCAN will achieve programmatic stability. Which ultimately, and most importantly, benefits the students, families, and employers of Story County.

SCCAN Sustainability and Growth

Financially, SCCAN recognizes that sustainability is enhanced when there is diversity in funding streams. That is why, among other options, SCCAN is requesting \$20,000 from the Story County Board of Supervisors while applying to join the StriveTogether network. Of the more than a dozen LCANs funded by Iowa College Aid, Aligned Impact Muscatine County (AIM) has successfully sustained college and career readiness work beyond Year IV of the grant. They have done this by joining StriveTogether. In their own words, “StriveTogether is a national movement working to ensure every child has every opportunity to succeed in school and in life.” StriveTogether’s work is to aid in the development of cradle-to-career collaboratives, like SCCAN, that look at the success of students and beyond to their success as community members. StriveTogether would elevate SCCAN’s work to be a part of a national network of professional and programmatic support and the possibility of sustained funding.

Beyond StriveTogether, among others, additional funding will be asked of:

- United Way of Story County
- Kreg Cares
- Ames Economic Development Commission
- Nevada Economic Development Commission

SCCAN will be supported in this venture by Story County Reads, the local chapter of the national Campaign for Grade-Level Reading, which is driven by the mission to ensure all students are reading at grade level by third grade. Story County Reads brings together the community to support programs and initiatives aimed at parent and early childhood education, high-impact tutoring, summer enrichment, and more. Working together, SCCAN and Story County Reads offer Story County cradle-to-career services.

Why SCCAN Matters for Story County

The work of SCCAN is essential for the health of our community as, according to data analysis by Iowa State University, a positive experience at their public school increased the likelihood that students would return to their hometown after leaving for college or career pursuits. Dr. Stephanie Sowl, the researcher, said that communities “can create opportunities for youth to be involved,” thereby “getting [students] invested early, and sending the message to them that ‘Yes, you can come back with your new skills, we can use you to fulfill volunteerism and leadership positions...’ [these findings] underscore the importance of creating change through existing connections and building collective action to make sure that communities thrive.” This is precisely what SCCAN does and can continue to do with your support.

Thank you.



Appendix

- A. SCCAN Budget
- B. LCAN Explanation
- C. Leadership Team membership
- D. SCCAN program flyers
- E. StriveTogether material and AIM presentation
- F. Story County Reads
- G. SCCAN and Story County Reads Infographic

APPENDIX A

SCCAN Budget

**APPENDIX A
SCCAN BUDGET**

| Budget Category | Approved Budget | Budget Match (United Way of Story County) |
|---|-----------------|---|
| SCCAN Director Salary | \$50,960 | \$0 |
| UWSC Backbone Staff Salary | \$0 | \$5,200 |
| UWSC Backbone Staff Benefits | \$0 | \$1,433 |
| SCCAN Director Professional Development | \$1,000 | \$0 |
| SCCAN Director Mileage | \$100 | \$0 |
| Clear Impact Scorecard Annual Fee | \$240 | \$0 |
| Computer and Internet | \$0 | \$600 |
| Event Supplies | \$250 | \$2000 |
| Office Space and Utilities | \$0 | \$1563 |
| Printing | \$0 | \$100 |
| Telephone | \$0 | \$425 |
| Web host fees | \$300 | \$0 |
| Zoom subscription | \$165 | \$0 |
| Budget Category | Approved Budget | Community In-Kind Time and Effort |
| Action Team Volunteer Hours | \$0 | \$3,522 |
| Community Partners and Volunteers | \$0 | \$4,025 |
| Leadership Team Volunteer Hours | \$0 | \$1,024 |
| Indirect Costs | \$0 | \$7,291 |
| Totals | \$53,015 | \$27,183 |

Total Operating Cost: \$80,198

APPENDIX B

LCAN

LCAN OVERVIEW



LOCAL COLLEGE ACCESS NETWORKS convene cross-sector leaders, align programs, and enhance their community's postsecondary access and success.

Iowa College Aid's Local College Access Networks (LCANs) aim to increase college access, enrollment, and completion to meet workforce demands. LCANs receive up to four years of grant funding from Iowa College Aid (ICA) to establish a network and build towards sustainability. The collective impact framework provides the foundation for Iowa's LCAN grant program. Crucially, LCANs seek to support all postsecondary pathways, including 2- and 4-year degrees, apprenticeships, certificates, and similar programs.

LCAN purpose

LCANs provide funding to establish a framework through which existing resources are leveraged and aligned to increase college access.

—Grants at a Glance
3.0

The origins of Iowa LCANs date to 2015. Initially, ICA staff looked to the model established by the Michigan College Access Network (MCAN) LCAN grant program which used collective impact as its structure. ICA established a fund using internal operating dollars to launch the first LCANs in our state.

As the number of Iowa LCANs increased over the past several years, it became clear that an updated approach to the grant program was needed. ICA staff worked to incorporate feedback from LCANs into an updated grant structure that reflected the practical application of collective impact in Iowa. Additionally, the new models' rollout allowed ICA to align all LCANs to the state's fiscal year.

This updated LCAN model launched in 2019. The funding of the Coordinator position is now a top priority for LCAN grant dollars, for example, and the framework allows for more flexibility within the overall program structure. Postsecondary access and success, across multiple pathways, remains at the core of our Iowa LCANs.



LCAN GRANTS AT A GLANCE 3.2

| Phases | Pre-Award | Year I | Year II | Year III | Year IV |
|---|--|--|--|--|--|
| Annual Application Cycle | | May 1-June 1 | | | |
| Annual Funding Period | | July 1-June 30 | | | |
| Eligibility Requirements | | Full Grant Proposal with Pre-Award Deliverables | Year I Deliverables | Year II Deliverables | Year III Deliverables |
| Deliverables | Problem Statement with Baseline Data | LCAN Team MOUs and Renewed LOCs | Renewed and updated MOUs, LOCs | Renewed and Updated MOUs, | Renewed and Updated MOUs, LOCs |
| | Resource Map | Coordinator Position Filled | Data Dashboard | Revised Resource Map and Data Dashboard | Revised Resource Map and Data Dashboard |
| | Letters of Commitment (LOCs) from Community Leaders | Defined LCAN Team Structure SMART Goals with Indicators > FAFSA Goal | Priority Work Groups Formed | Work Group Reports | Work Group Reports |
| | Identified Fiscal Agent | Performance Report Leadership Team Roster | Performance Report | Performance Report | Performance Report |
| | Coordinator Job Description | Identified Priorities for Year II | Sustainability and Continuous Improvement Plan Draft | Sustainability and Continuous Improvement Plan | Sustainability and Continuous Improvement Assessment |
| Grant Award | 0 | \$50,000 Range | \$50,000 Range | \$50,000 Range | \$50,000 Range |
| Match Requirement (cash and in-kind) | 0 | 25% | 25% | 50% | 50% |
| Allowable Costs | Salary/wages and benefits for LCAN Coordinator Travel and training for Coordinator, team members Contracted services in support of LCAN work, outreach and events Indirect costs not to exceed 12% (10% if no negotiated indirect cost rate) Materials and supplies directly related to identified priorities | | | | |

(over)

LCAN GRANTS AT A GLANCE 3.1 (continued)

LCAN GRANT SERIES

The goal of the LCAN (Local College Access Network) Grant Series is to increase college attainment through the Collective Impact Framework. This grant does not support new programs. It provides funding to establish a framework through which existing resources are leveraged and aligned to increase college attainment. The LCAN Grant Series supports payroll and benefits for an LCAN Coordinator position; travel and training for LCAN Coordinators and Leadership Team members; contracted services in support of LCAN work, outreach and events; and indirect costs not to exceed 12 percent of the total award (10 percent if no negotiated indirect cost rate).

Iowa College Aid seeks grant proposals that reflect strong community partnerships and commitment to increasing college attainment. Partnerships should represent cross-sector CEO-level collaboration while also being reflective of the community's population. Proposals must articulate problem statements that are supported by data and research. Priority will be given to applicants who demonstrate a plan for sustainability as well as a commitment to equity and inclusion within the LCAN leadership team and network. Applications that address in a meaningful way low-income students, students of color, rural communities, and/or first-generation college-going students are of particular interest.

Year I

The Year I Grant supports communities in their initial stages of establishing an LCAN utilizing the Collective Impact Framework. In Year I, the LCAN hires an LCAN Coordinator and establishes its LCAN Leadership Team. The Leadership Team identifies the SMART Goals the LCAN will work towards and the indicators that will be used to measure progress towards those goals. Because FAFSA completion is a key indicator for college enrollment, Iowa College Aid asks that one of the LCAN's SMART Goals has a focus on FAFSA Completion. Open to applicants who have completed the steps outlined in the *Pre-Award Deliverables* section of the Grants-at-a-Glance matrix.

Year II

In Year II of the grant, the LCAN forms priority work groups around its identified common SMART goals and creates a data dashboard that is used as a tool to report to the community around progress in meeting goals. During Year II, the LCAN will draft a Sustainability and Continuous Improvement Plan. Open to LCANs who received Year I grants in the prior year and completed Year I deliverables.

Year III

In Year III, priority work groups spring into action carrying out objectives that fall under the identified common SMART goals. Deliverables of Year III include (but are not limited to) reporting priority work group initiatives, updating the data dashboard, and formalizing the Sustainability and Continuous Improvement Plan. Open to LCANs who received Year II grants in the prior year and completed Year II deliverables.

Year IV

The Year IV grant is the final year of Iowa College Aid funding for the LCAN grant. In Year IV, the LCAN will continue to carry out initiatives that meet specific objectives under its goals. The LCAN will assess its Sustainability and Continuous Improvement Plan. By Year IV, it is key that the LCAN is embedded in the community in such a way that the LCAN will be sustained after the life of the grant. Open to LCANs who received Year III grants in the prior year and completed Year III deliverables.

APPENDIX C

Leadership Team



SCCAN Leadership Team

| | | | | |
|-----------------|---------|---------------|--------------------------------|---------------------------------|
| Leadership Team | Andy | Fish | United Way of Story County | <i>Philanthropy</i> |
| Leadership Team | Anneke | Mundel | United Way of Story County | <i>Philanthropy</i> |
| Leadership Team | Latifah | Faisal | Story County Supervisor | Public sector |
| Leadership Team | Sandra | King | Story County | Public sector |
| Leadership Team | Nikki | Fischer | Ames Chamber of Commerce | Business |
| Leadership Team | Liz | Zurcher | Story County Foundation | <i>Philanthropy</i> |
| Leadership Team | Staci | Shugar | Center for Creative Justice | Community-based organization |
| Leadership Team | Mandy | Rangel | YSS | Community-based organization |
| Leadership Team | Jeff | Kelly | DMACC | Postsecondary Education |
| Leadership Team | Jenn | Wiederin | Danfoss | Business |
| Leadership Team | Jean | Muhammad | Ames Community School District | Early Education, K-12 education |
| Leadership Team | Sharon | Perry-Fantini | Iowa State University | Postsecondary Education |
| Leadership Team | Megan | Sibbel | Iowa College Aid | Postsecondary Education |

APPENDIX D

SCCAN Programs

FUTURE READY NIGHT

NOV. 22nd 6-8PM

Roland-Story High School

All RSHS students and their families are invited to this all-in-one night!

What to Expect:

- Visit with DMACC Representatives
- Learn about DMACC Workforce Training Academy
- 1-on-1 Scholarship, College Application, Resume, and FAFSA assistance
- Visit with the area Regent Universities
- Discuss IowaWorks Apprenticeships
- Learn more about DMACC Career Academy
- Talk with educators about Work-based learning opportunities

Join Us! Let us know you're interested by filling out this form or emailing afleecs@roland-story.k12.ia.us





WELCOME TO FUTURE READY NIGHT!

TONIGHTS SCHEDULE:

5:30 FREE PIZZA

6:00 – WELCOME (AUDITORIUM)

6:15–6:40 SESSION 1

6:45–7:10 SESSION 2

7:15–7:40 SESSION 3

7:40–8 OPEN TIME

SPECIAL THANK YOU TO:



SESSIONS

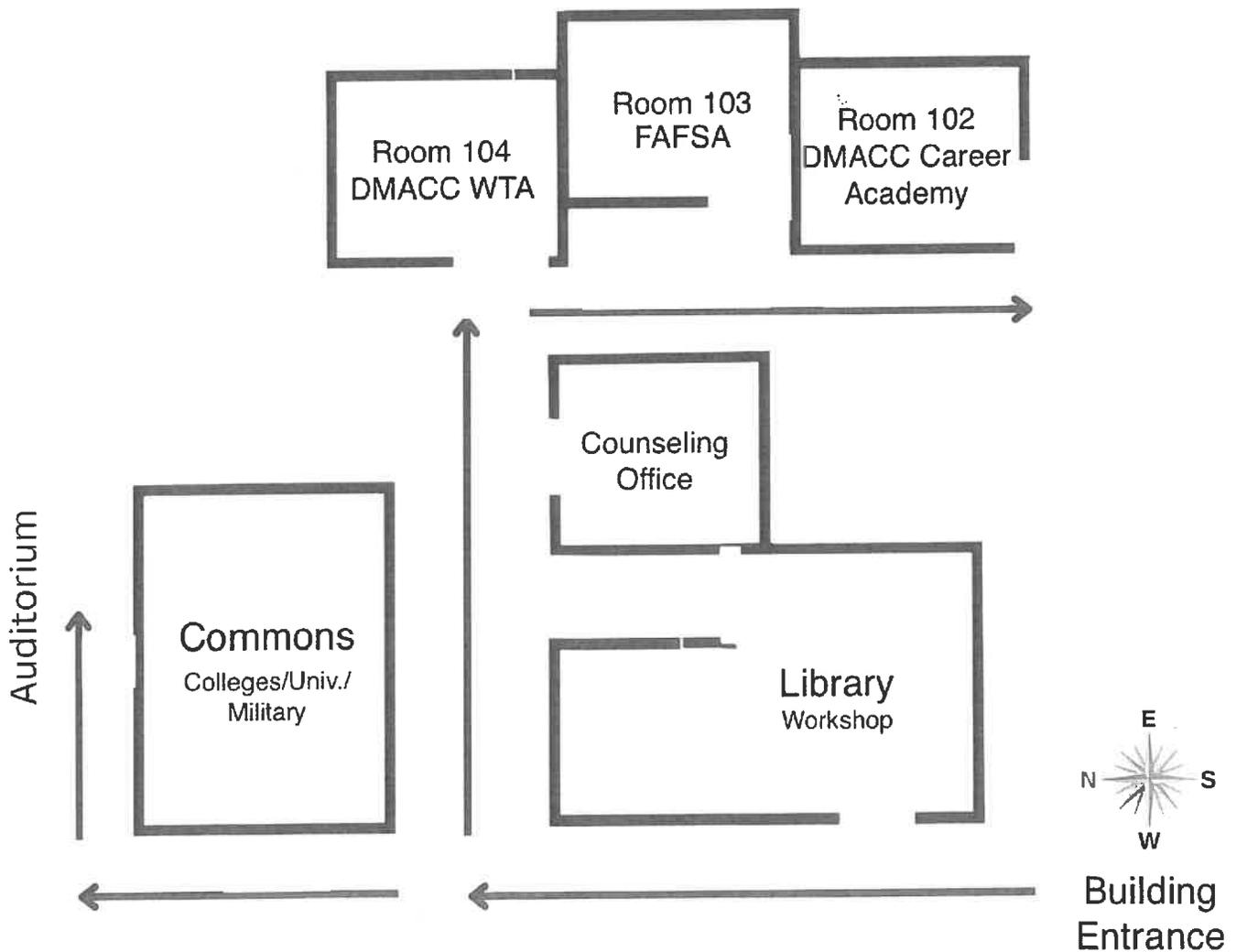
COLLEGES, UNIVERSITIES, AND MILITARY - COMMONS

WORKSHOP - LIBRARY

DMACC CAREER ACADEMY - ROOM 102

FAFSA - ROOM 103

DMACC WORKFORCE TRAINING ACADEMY - ROOM 104



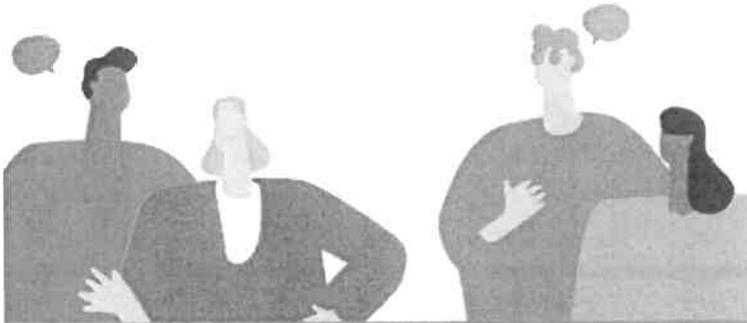


#GETAJOB

STORY COUNTY YOUTH
SUMMER JOB FAIR

April 23
11AM - 3PM

North Grand
Mall



Don't miss out on the food trucks, special prizes,
and swag bags for the first 100 attendees!

Hosted By:



Sponsored By:



NORTHWEST BANK

Commitment you can bank on.

Story County Middle School Career Fair

October 24

5:00 - 7:00 p.m.

Ames Public Library Auditorium

*First 50 Attendees
Receive a Gift Card*

Sponsored by:



This inaugural career fair is **FREE** and open to **ALL** Story County Middle School Students. Engage with businesses and organizations to learn about opportunities now and beyond high school. Gather information to explore your interests, set goals, and make informed decisions about your postsecondary future.

Organized by:



#partofyourStory



This institution is an equal opportunity provider. For the full non-discrimination statement or accommodation inquiries, go to www.extension.iastate.edu/diversity/ext.

IOWA STATE UNIVERSITY
Extension and Outreach

APPENDIX E
Strive Together
AIM

StriveTogether®

Every child. Cradle to career.

their future. our mission.

StriveTogether is a national movement with a clear purpose: help every child succeed in school and in life, cradle to career, regardless of race, ethnicity, zip code or circumstance.

Since launching nationally in 2010, StriveTogether has learned a great deal about what it takes for communities to improve outcomes for children at scale. Our nationally recognized approach supports communities in collecting and using local data to illuminate obstacles facing children of color and those living in poverty.

Community partners use these findings to make decisions in real time to improve and properly scale practices and target resources to support what works. In short, data gives StriveTogether communities the insight and information to make smarter investments in the success of every child, from cradle to career.

cradle to career network

The StriveTogether Cradle to Career Network shows us what is possible when we work together. StriveTogether convenes cradle-to-career partnerships to ensure the success of every child — ensuring local initiatives have impact and maintain momentum. The people involved include school staff; local nonprofit, business and faith leaders; investors; other professionals in the field; and students along with their families.

StriveTogether supports these groups using proven methods that have worked in similar communities. As a team, our impact reflects our shared motivation to create lasting change. We work upstream to dismantle the cycle of inequitable outcomes by re-designing the systems that perpetually fail children and families to instead maximize their opportunity. Starting with kindergarten readiness and extending to health care, housing, public safety and transportation, children must be given the support and resources needed to reach their full potential.

what we do

StriveTogether helps communities build cradle-to-career infrastructure to support the success of every child.

CONVENE: We bring community leaders together to learn from each other.

COACH: We coach our network to improve systems and practices.

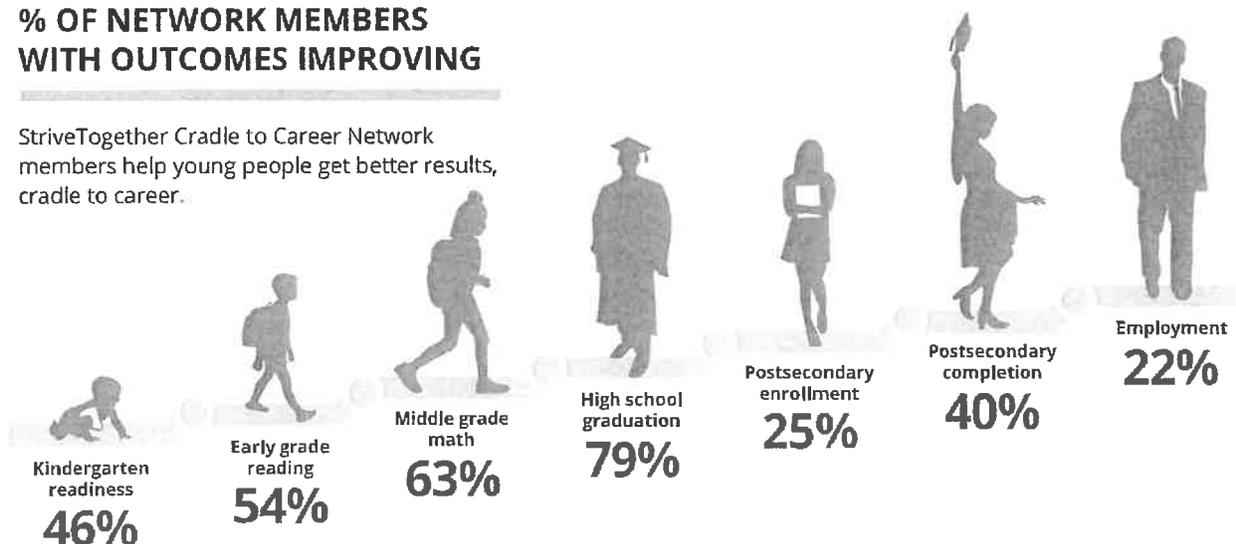
CODIFY: We share key learnings to accelerate communities' progress.

INVEST: We provide resources to communities to get results.

INFLUENCE: We advocate for cradle-to-career work across the country.

% OF NETWORK MEMBERS WITH OUTCOMES IMPROVING

StriveTogether Cradle to Career Network members help young people get better results, cradle to career.



Data source: the 2019 Civic Infrastructure Assessment.

StriveTogether Cradle to Career Network



OUR IMPACT

14+
Million Children

ONE COMMUNITY AT A TIME

8+
Million Children of Color

6+
Million Children
Experiencing Poverty

OUR REACH

68
Cradle-to-Career
Partnerships

30
States +
Washington D.C.

© 2022. StriveTogether, Inc. All rights reserved.

Updated 6/2022

why we do what we do.

ECONOMIC MOBILITY

StriveTogether and the Cradle to Career Network are committed to increasing economic mobility for children throughout their lives, starting from the moment they are born all the way until graduation and beyond. We support communities to transform the lives of children and families by using tools and approaches that address the root causes of inequities. Improving educational outcomes is crucial to ending the cycle of poverty. Communities that embrace StriveTogether's approach make progress in building civic infrastructure to improve outcomes, eliminate disparities and expand opportunities for every child.

RACIAL EQUITY

Racial equity is both a value StriveTogether lives and an outcome we must achieve to realize our vision. Leaders must have the courage to disaggregate data to consider race, ethnicity and gender to inform strategies, drive accountability and engage in tough conversations about the systemic racism underpinning the systems we need to transform. A combination of qualitative and quantitative data can be used to highlight inequities to shift mental models, change power dynamics and establish more equitable policies in the community. Partnerships ultimately work to eliminate disparities in achievement and change systems to advance more equitable opportunities.

SYSTEMS TRANSFORMATION

Better systems for better outcomes have always been at the center of StriveTogether's work. Using data to make decisions and improve practices in real time leads to real results, but in many cases, the right solutions require rebuilding systems instead of trying to fix existing ones. The most vulnerable students are stuck in systems not designed to support them. We must dismantle obstacles and partner with people across sectors to help every child reach their full potential, from cradle to career.

To learn more visit StriveTogether.org or contact
Kelly Anchrum at anchrumk@strivetogether.org

StriveTogether[®]
Every child. Cradle to career.

A PROVEN FRAMEWORK FOR CHANGE: THEORY OF ACTION™

StriveTogether first released the Theory of Action (TM) in 2013 to provide communities with a road map for changing systems to improve outcomes for youth and families. This framework for change is rooted in how the work happens in communities across the Cradle to Career Network. The framework evolves as network members fail forward and learn together, building the civic infrastructure critical to getting better outcomes for youth and families.

This latest iteration, the fifth revision to the Theory of Action™ in eight years, was developed with network cradle-to-career partnerships. It strengthens the focus on racial and ethnic equity and places an even greater emphasis on **systems transformation**. Systems transformation occurs when communities build civic infrastructure that enables every Black, Indigenous, Latinx and Asian youth and family and those experiencing poverty to have the opportunity to reach their fullest potential, cradle to career. This is a result of partnership with system leaders in making fundamental and institutionalized shifts in policies, practices, resources and power structures to eliminate structural racism and advance equitable outcomes.

Cradle-to-career **partnerships** are formal groups consisting of cross-sector organizational and system leaders (e.g., education, business, government, nonprofits, etc.) as well as grassroots organizations, neighborhood leaders and individual members of affected populations, especially youth and families who come together around a shared community vision. With support from backbone staff, the partnership group works together to define population-level challenges, develop and implement strategies to address those challenges, and hold systems accountable for results.

GETTING
BETTER
RESULTS
FOR EVERY
CHILD,
CRADLE TO
CAREER

StriveTogether
theory of
ACTION™

StriveTogether

125 East Ninth Street
Second Floor
Cincinnati, OH 45202

513.929.1150
StriveTogether.org

theory of ACTION™

GETTING BETTER RESULTS FOR EVERY CHILD, CRADLE TO CAREER

EXPLORING



A cross-sector partnership, including racial, linguistic, Latinx, and Asian youth and families, and those experiencing poverty, defines a geographic scope and organizes around an equity-driven cradle-to-career vision.

SHARED COMMUNITY VISION

The partnership establishes a diverse, cross-sector leadership table and accountability structure*

The partnership develops a set of messages aligned to the equity-driven cradle-to-career vision, and communicates these messages across the community



EVIDENCE-BASED DECISION MAKING

The partnership adopts a team-forward, by-collaboration

The partnership priorities focus areas based on disaggregated data and co-learn by practitioners and insights

COLLABORATIVE ACTION



INVESTMENT AND SUSTAINABILITY

The partnership engages with local, state, and/or federal leaders who influence policy

The partnership engages investors to support the operations and collaborative work of partners to advance equitable outcomes

EMERGING

The partnership operates in alignment with the accountability structure

The partnership builds authentic relationships with youth, families and diverse community partners and publicly communicates progress toward shared goals

The partnership collects and publicly shares data for core indicators: disaggregated by race, income, gender, and other priority demographic variables

The partnership identifies, collects, and publicly shares systems indicators

The partnership acquires collaborative action networks with cross-sector representation and a clear call to action, effectively applying its collaborative framework

Collaborative action networks identify underlying factors that lead to inequitable systems

The partnership builds collaboration skills among stakeholders in and the community

The partnership capacity exists to support daily management, data needs, facilitation, communication and engagement with the community and has multiple revenue sources to implement its work

The partnership influences policy, change, that will lead to equitable outcomes and identifies how key policy roles will be filled

The partnership allocates resources to strategies that support the advancement of equitable outcomes

SUSTAINING

The partnership takes aligned action to shift policies, practices, resources and families contribute to decision making

The partnership reinvigorates vision and strategies in collaboration with, and considering the perspectives of, youth and families

The partnership facilitates the sharing of data for youth- and family-informed cross-sector action

The partnership mobilizes partners to use systems indicators to address inequities in policies, practices and resources

Collaborative action networks align to advance equitable outcomes

The partnership tests strategies that address inequitable systems using rapid-cycle continuous improvement

The partnership mobilizes the broader community to advance equitable outcomes

The partnership develops a sustainability plan that includes implementing and sustaining practices to advance racial equity and inclusion

The partnership co-creates policy, advocacy efforts with youth and families

The partnership aligns public and private resources toward strategies that demonstrate equitable outcomes

SYSTEMS CHANGE

Multiple sectors are aligned and accountable to the cradle-to-career vision, and youth and families contribute to decision making

The partnership publicly communicates progress and challenges to grow its coalition and promote shared accountability

The partnership supports a cross-sector data infrastructure that enables partners to shift policies, practices, resources and power structures

Sustained collaborative action efforts shift policies, practices, resources and power structures

The partnership spreads and scales strategies that advance equitable outcomes

The partnership secures resources to ensure its continuation and builds the capability of diverse staff, partners and leaders to implement its strategic plan

The partnership advocates for changes to local, state and/or national policies based on the perspectives of youth and families. Policies change to advance equitable outcomes

The partnership aligns public and private resources to spread and sustain data-informed strategies

SYSTEMS TRANSFORMATION

Youth and families use decision-making authority to shift policies, practices, resources and power structures across systems

The partnership regularly communicates about the aligned contributions of partners in service of economic mobility

Cross-sector partners, including youth and families, regularly use outcomes and systems data to achieve equitable outcomes

Youth and families lead decision-making in collaborative action networks that inform the adoption and implementation of cross-sector strategies to advance equitable outcomes

Strategies that advance equitable outcomes are sustained and scaled

The partnership secures resources to implement its strategic plan and consistently builds capacity of diverse staff, partners, leaders and youth and families to shift policies, practices, resources and power structures

The partnership maintains a sustainable policy infrastructure, led by youth and families, resulting in advocacy for and implementation of policy changes across institutions and sectors that advance equitable outcomes

The partnership ensures that youth and families have formal authority to make decisions about the allocation of public and private resources that shift policies, practices, resources and power structures

LEADS TO EQUITABLE OUTCOMES

PROOF POINT

• A recognition to partnerships that shift the systems change and/or systems transformation benchmarks and are

• Improving credit-eligibility outcomes of the population that is being paid and

• Improving credit-eligibility outcomes for students with income-based needs for dual-enrollment and those experiencing poverty

• Scaling programs, systems and/or

CRADLE-CAREER OUTCOMES

Kindergarten readiness

Early grade reading

Middle grade math

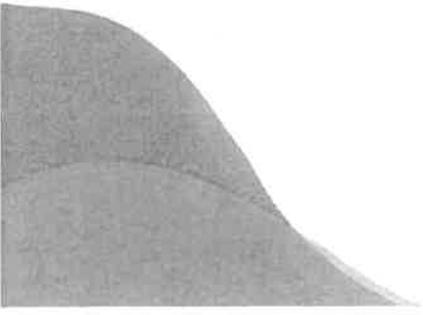
High school graduation

Postsecondary enrollment

Postsecondary completion

Employment

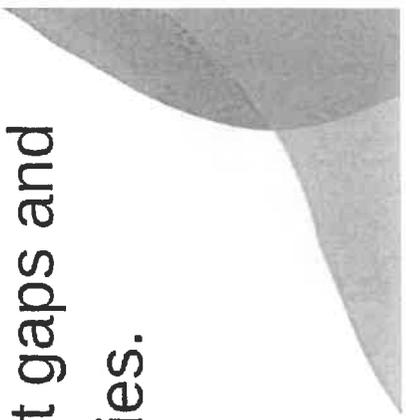
*StriveTogether is currently refining the Proof Point definition and will propose Proof Point designations until 2024.



AIM

Aligned Impact Muscatine County

AIM aligns community resources and identifies effective practices for implementation to reduce achievement gaps and improve outcomes for all students and families.





Leadership Council

Brenda Arthur-Miller, West Liberty Community School District

Bobby Fiedler, Musser Public Library

Clint Christopher, Muscatine Community School District

Stacey Cook, Bayer

Dr. Naomi DeWinter, Muscatine Community College

Rich Dwyer, Kent Corporation

Leslie Eichelberger, HNI

Heidi Hoffman, ISU Extension and Outreach Muscatine County

Bret Olson, Muscatine Community YMCA

Shane Orr, United Way of Muscatine

Rebecca Paulsen, GMCCI

Tammy Place, Wilton Community School District

Christy Roby Williams, Trinity Muscatine Public Health

Nicholas Salazar, State Director, League of United Latin American Citizens of Iowa

Charla Schafer, Community Foundation of Greater Muscatine

Danni Zumwalt, Flickinger Learning Center

Erick Recinos, UnityPoint Trinity Muscatine



Everything we do is in collaboration with other organizations.

Family Effectiveness Coalition (Early Education)

Muscatine Community YMCA
Muscatine Community School District
Early Childhood Iowa
Muscatine County
UnityPoint Trinity Muscatine Public Health
UnityPoint New Horizons
Lutheran Services in Iowa
Iowa State University Ext. & Outreach-Muscatine County
Mississippi Bend AEA
Muscatine County Conservation
United Way of Muscatine
Musser Public Library
Parents as Teachers
Child Care Resource and Referral

SPARK Community Partners:

Muscatine Art Center
Stanley Center for Peace and Security
City of Muscatine Public Works
Muscatine County Conservation
Muscatine Fire Department
ISU Ext and Outreach Muscatine County
Muscatine Community College
Muscatine Power and Water
Musser Public Library
Muscatine Police Department
Muscatine YMCA

West Liberty Planning Team:

West Liberty Community School District
West Liberty LULAC
Dream Catchers
NAMI Greater Mississippi Valley

Postsecondary Strategy Network:

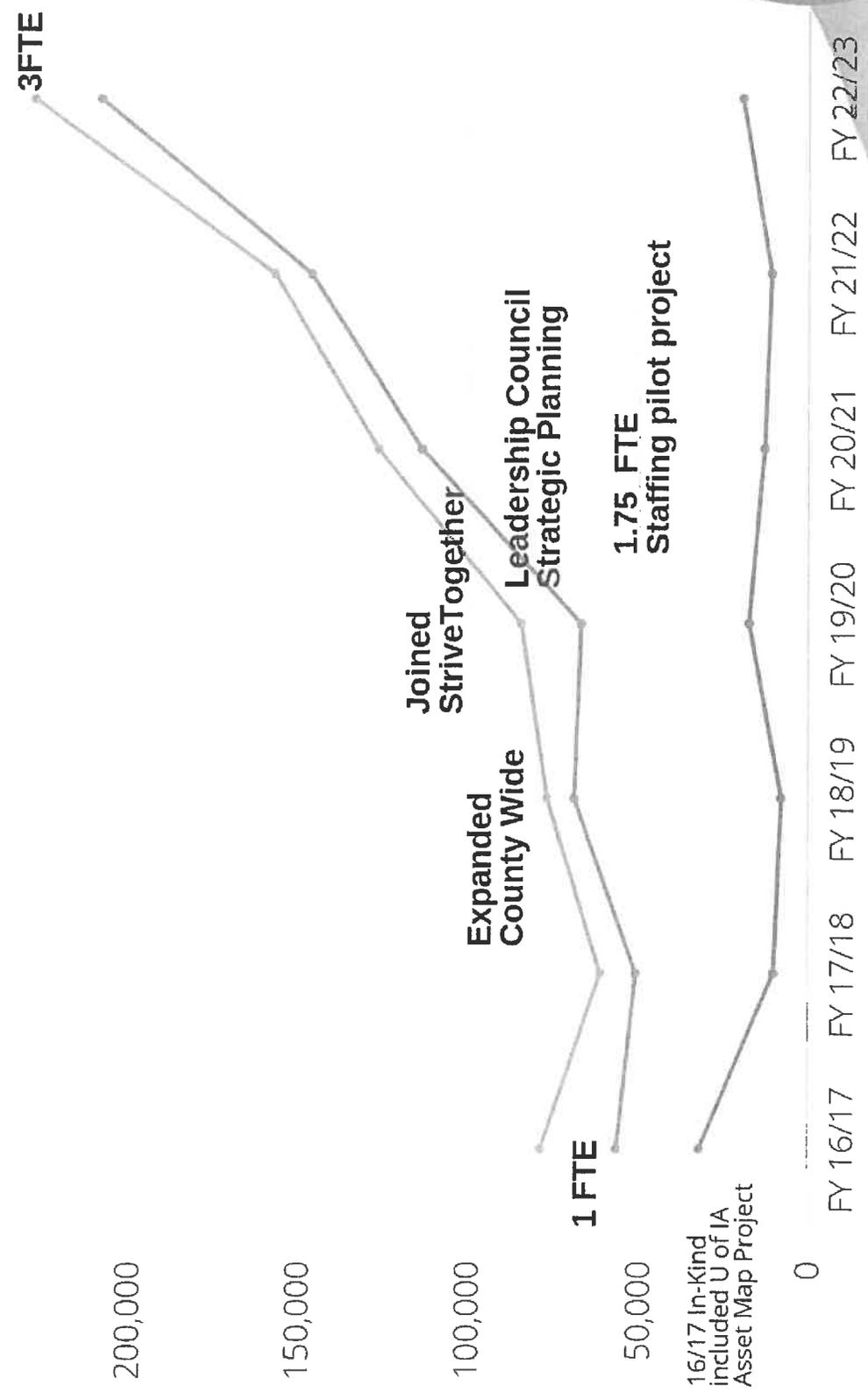
Iowa State University Extension and Outreach-
Muscatine County Latinos Outreach Program
Muscatine Community College
Muscatine Community School District
Mississippi Bend Area Education Agency
West Liberty Community School District
Wilton Community School District

Adult Success Team:

Diversity Service Center
Muscatine Community College
Iowa Works
Muscatine County Community Services
Goodwill of the Heartland
City of Muscatine
Muscatine Center for Social Action
Community Foundation of Greater Muscatine
The Salvation Army of Muscatine County
New Horizons
Trinity Muscatine Public Health UnityPoint
Robert Young Center-UnityPoint Health
Crossroads
Muscatine Community School District

■ Total ■ Cash ■ In-kind

Budget Over Time



Free to all StriveTogether Members (AIM has utilized)



Outcomes

Outcomes are the short-term, measurable goals that we expect to see in our communities. They are the building blocks of our long-term vision.

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

Professional supports

Professional supports are designed to support your students through their individualized learning paths (and parents) on their way.

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

Coaching through adaptive the cycle

Coaching through adaptive the cycle is a process that helps you understand your students' individualized learning paths (and parents) on their way.

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

SAVE THE DATE

2021 quarter one

network offerings

Learn more about these offerings in brief overview videos on the Partner Portal.

©2020 Strive Together. All rights reserved.

Professional supports

Professional supports are designed to support your students through their individualized learning paths (and parents) on their way.

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

Coaching through adaptive the cycle

Coaching through adaptive the cycle is a process that helps you understand your students' individualized learning paths (and parents) on their way.

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

AUG

SEP

OCT

NOV

DEC

JAN

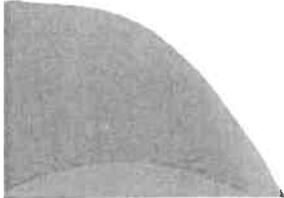
Theory of Action

Portal

- Resources, toolkits, documents
- Outcome-based collaborative groups
- Coaching
- Role Alikes
- Series (communication, finances)
 - Occasionally require applications

Technology

- Zoom, Tableau



Free to all StriveTogether Members- Application Process (AIM has utilized)

- Results-Based Facilitation Training (RBF)
 - Assistance with Federal Grant Application
 - Executive Coaching
 - Post-secondary Transitions Action Team (PTAC) https://youtu.be/Mb_UqLqN3wQ
- 

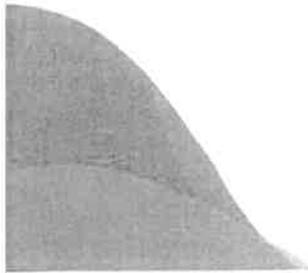


Free to all StriveTogether Members- Invitation Process (AIM has utilized)

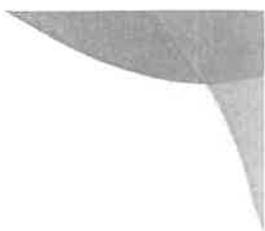
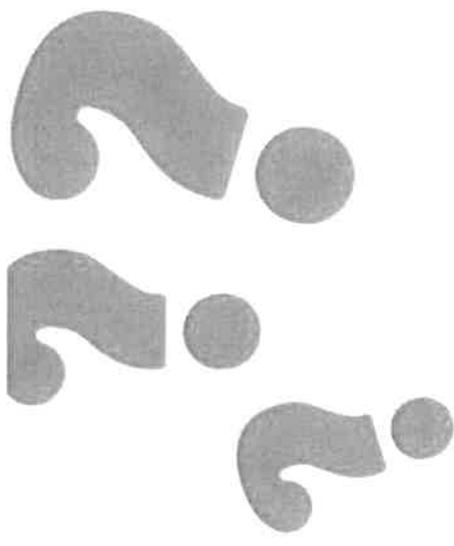
- Elevate Grants Accelerator Project (\$10,500)
- Grant funding (currently \$75,000)

Other Funding

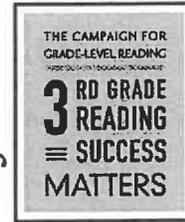
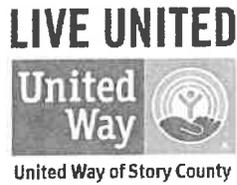
- PTAC Gates Grant-\$10,000
 - Leadership and Talent Grant-\$80,000 over 2 years
- 



Kim Warren
Director
Aligned Impact Muscatine County (AIM)
Direct: 563-594-6835
kim@unitedwaymuscatine.org
alignedimpactmuscatine.org



APPENDIX F
Story County Reads



Story County Reads is a Campaign for Grade-Level Reading Community founded in 2014 with the mission to ensure all youth in Story County achieve literacy proficiency by the end of third grade. Operating with United Way of Story County as the backbone agency, Story County Reads is a collaborative that includes members from BooSt Together for Children (ECI), YSS, Ames Public Library, MICA, LSI, Raising Readers in Story County, Boys & Girls Club, and more. Story County Reads works closely with school districts and school communities to provide summer enrichment, attendance resources, and tutoring opportunities as well as early learning and parent education.

APPENDIX G

Infographic

Kindergarten Readiness

FOCUS:

Building vocabulary

PROGRAM:

LENA talk program



3rd Grade Reading

FOCUS:

Proficiency level

PROGRAM:

Iowa Reading Corps



Graduation

FOCUS:

Post Secondary
Enrollment

PROGRAM:

FAFSA clinics
Career fairs



Employment

FOCUS:

Living wage jobs

PROGRAM:

#GetAJob

Story County Workforce

Innovation Project



STORY COUNTY READS and STORY COUNTY COLLEGE ACCESS NETWORK

make up the cradle to career infrastructure for Story County, Iowa. Focusing first on babies and young children to create a foundation of caretakers being a child's first teacher to reading proficiency of third graders, where students transition from learning to read to reading to learn. With the largest factor of graduation being 3rd grade reading proficiency, targeting that goal creates a lasting impact on graduation rates and eventually post-secondary enrollment/opportunities. Once those milestones are reached, career outlook is increased.

DO NOT WRITE IN THE SPACE ABOVE. RESERVED FOR RECORDER

Prepared By: Marcus Amman, Story County Planning and Development, 900 6th Street, Nevada, IA 50201 (515) 382-7245
Please Return to the Story County Planning & Development Department

**STORY COUNTY IOWA
RESOLUTION OF THE BOARD OF SUPERVISORS
RESOLUTION NUMBER 23-40**

WHEREAS, there has been submitted to the Board of Supervisors of Story County, Iowa, an application to subdivide real estate from Kyla A Struthers, 73618 305th St, Collins, IA 50055 & Charles W Struthers, 29885 730th Ave, Collins, IA 50055, involving the real estate located at 73618 305th St, Collins, in the southeast quarter of Section 13 of Collins Township identified as Parcels #16-13-400-120 & 16-13-400-130 hereinafter described on Attachment A and shown on Attachment B, and

WHEREAS, Charles W. Struthers and Kay A. Struthers and Kyla A. Struthers is the legal titleholder of said real estate and;

WHEREAS, it appears that all conditions and requirements prescribed by Chapter 354 and Chapter 355, Code of Iowa, and as prescribed by the Story County C2C Plan and the Code of Ordinances, of Story County, Iowa, have been complied with and met,

AND WHEREAS, it is the opinion of the Board of Supervisors of Story County, Iowa, that it is advisable and in the best interests of Story County, Iowa, and all persons concerned, that said Plat be approved, and accepted.

NOW, THEREFORE, BE IT RESOLVED that the Residential Parcel Subdivision Plat of the Struthers' Subdivision involving real estate hereinafter described on Attachment A and shown on Attachment B being the same, is hereby approved and accepted and all acts and deeds of the said owners and grantors in the premises are hereby confirmed and approved and the real estate hereinafter described on Attachment A and shown on Attachment B shall hereinafter be known as the Struthers' Subdivision.

IT IS FURTHER RESOLVED that the Chair of the Board of Supervisors and the County Auditor are authorized and they are hereby directed to certify a copy of this Resolution 23-40 to be affixed to said Final Plat upon its approval by the Board of Supervisors.

Dated this 6th day of December 20 22.


Chairperson, Board of Supervisors

Attest:

County Auditor

ROLL CALL FOR ALLOWANCE
Latifah Faisal Yea Nay Absent
Lisa Heddens Yea Nay Absent
Linda Murken Yea Nay Absent

ALLOWED BY VOTE
OF BOARD

CHAIRPERSON

Yea 3 Nay 0 Absent 0
Above tabulation made by 

ATTACHMENT A

Survey Description:

The West Half (W 1/2) of the Southeast Quarter (SE 1/4) of Section Thirteen (13) Township Eighty-two (82) North Range Twenty-one (21) West of the 5th P.M.

PLAT OF RESIDENTIAL PARCEL SUBDIVISION STRUTHERS' SUBDIVISION

INDEX LEGEND

LOCATION: STRUTHERS' SUBDIVISION IN THE W $\frac{1}{2}$ SE $\frac{1}{4}$ SECTION 13, TOWNSHIP 82 NORTH, RANGE 21 WEST IN STORY COUNTY, IOWA

PROPRIETORS: CHARLES W. AND KAY A. STRUTHERS
29885 730TH ST
COLLINS, IA 50055

KYLA A. STRUTHERS
73618 305TH ST
COLLINS, IA 50055

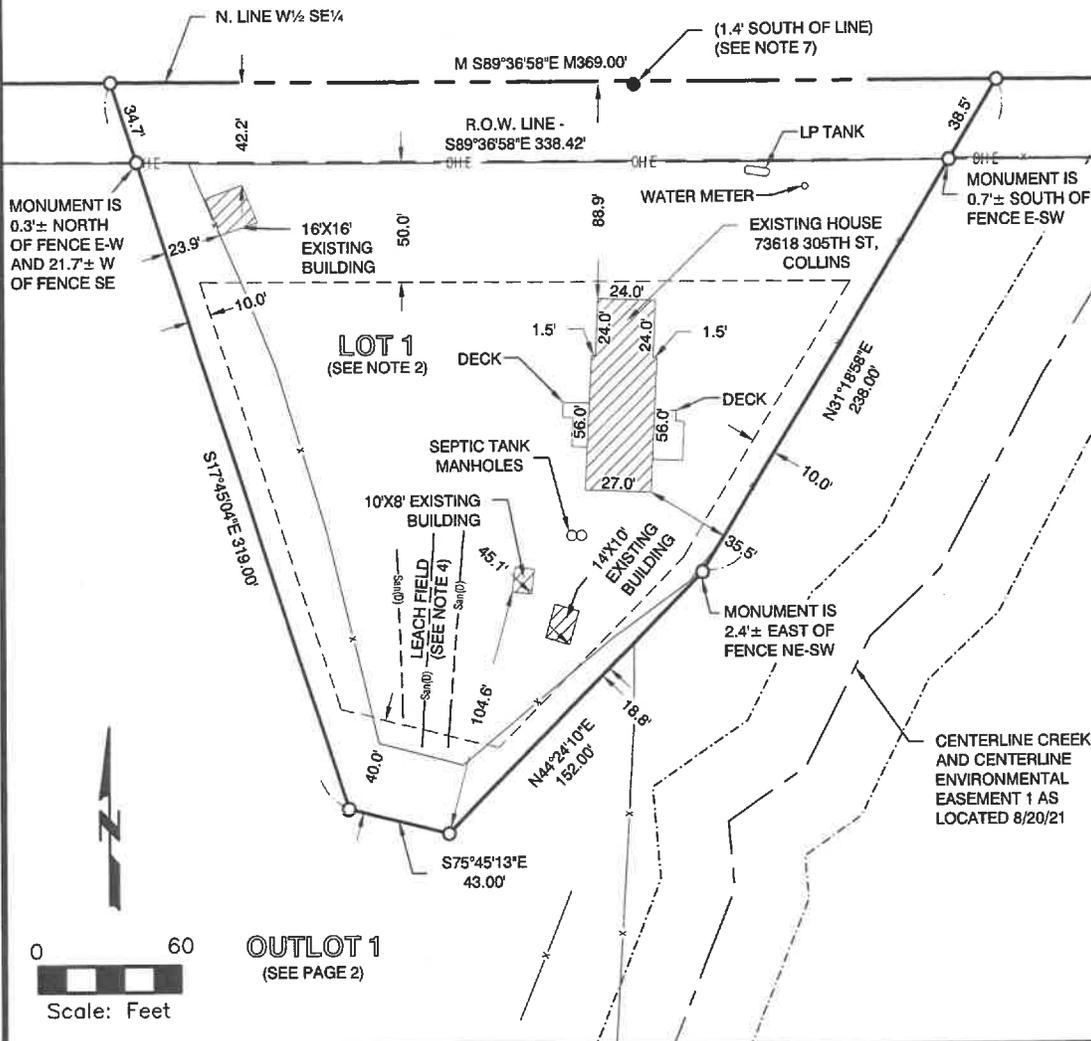
REQUESTED BY: CHARLES STRUTHERS

SURVEYOR: JOSEPH A. SNETHEN, PLS #23133

PREPARED BY CLAPSADDLE-GARBER ASSOCIATES, INC.
511 BANK ST., WEBSTER CITY, IA. 50595
& RETURN TO: PH: 515-832-1876 FAX: 515-832-1932
WWW.CGACONSULTANTS.COM

SHEET INDEX:

PAGE 1: DETAIL OF LOT 1 & MONUMENT LEGEND
PAGE 2: SUBDIVISION PLAT
PAGE 3: LEGAL DESCRIPTIONS, NOTES, & DISTRICTS
PAGE 4: FLOOD MAP INFORMATION & LINE TYPE LEGEND



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

JOSEPH A. SNETHEN, PLS
Date: _____ license number: 23133
My license renewal date is December 31, 2022
Pages or sheets covered by this seal: 1-4

Monument Symbols are Orientated to the North
▲ PLSS Corner (As noted)
● Iron Rail Road Spike (Shown for informational purposes only)

▲ PLSS Corner $\frac{3}{4}$ " x 4.0" Aluminum Capped Iron Rerod (#23133) or as noted
○ $\frac{3}{4}$ " x 2.0" Light Blue Plastic Capped Iron Rerod (#23133)

J:\79279\dwgs\2_Survey\79279 - PLAT.dwg

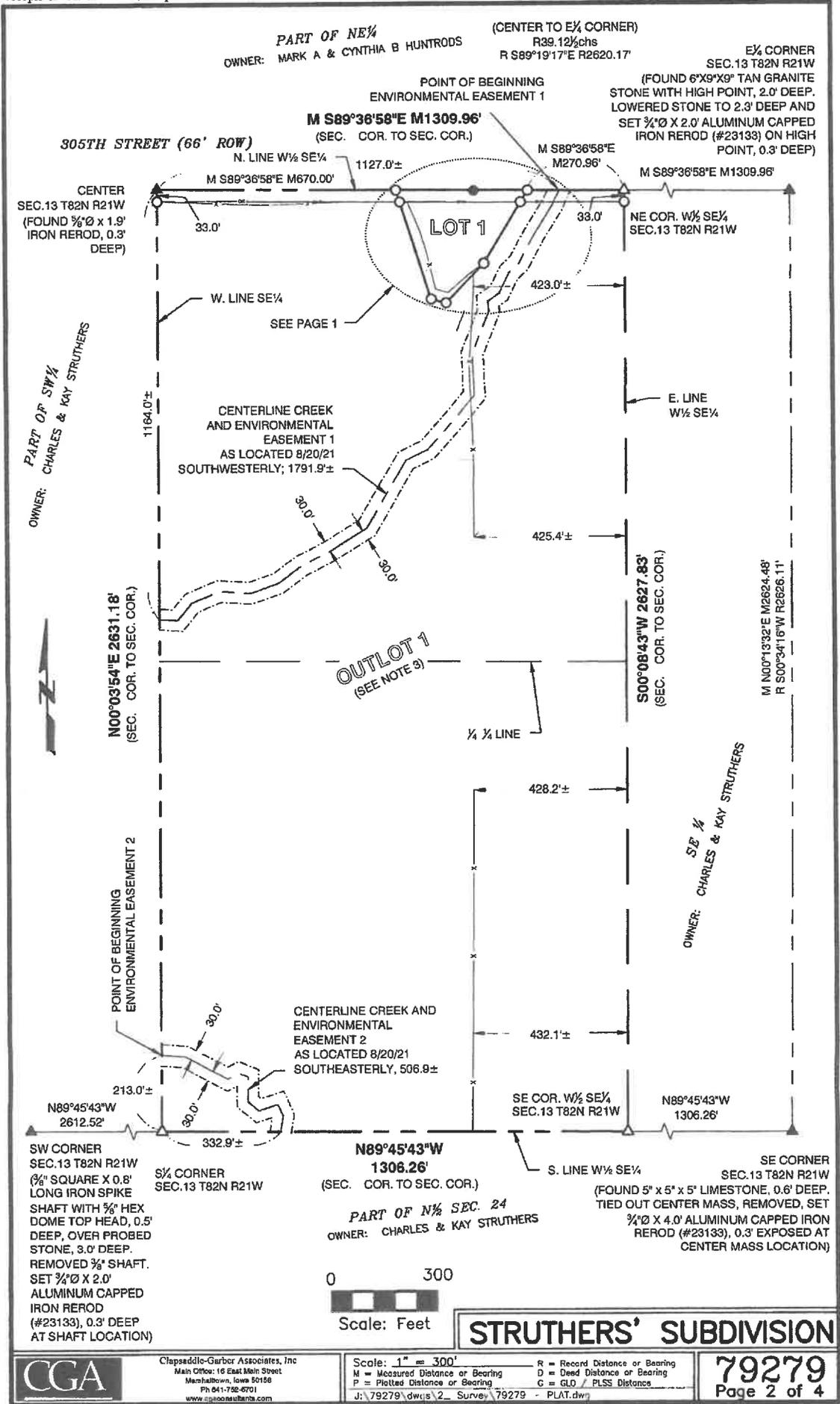
M = Measured Distance or Bearing
P = Platted Distance or Bearing
R = Record Distance or Bearing
D = Deed Distance or Bearing
G = GLO / PLSS Distance

79279
Page 1 of 4



Clapsaddle-Garber Associates, Inc.
Main Office: 16 East Main Street
Marshalltown, Iowa 50158
Ph 641-752-6701
www.cgaconsultants.com

Date of Survey: Aug. 20, 2021
Scale: 1" = 60'
Field Crew: CS, DP, CR



Clapsaddle-Garber Associates, Inc.
 Main Office: 16 East Main Street
 Marshalltown, Iowa 50158
 Ph 515-758-6701
 www.cga-pls.com

Scale: 1" = 300'
 M = Measured Distance or Bearing
 P = Plotted Distance or Bearing
 R = Record Distance or Bearing
 D = Deed Distance or Bearing
 C = CLO / PLSS Distance

79279
 Page 2 of 4

LEGAL DESCRIPTIONS OF STRUTHERS' SUBDIVISION

A tract of land being part of the West One-half of the Southeast Quarter ($W\frac{1}{2} SE\frac{1}{4}$) of Section Thirteen (13), Township Eighty-two (82) North, Range Twenty-one (21) West of the 5th P.M., Story County, Iowa, more particularly described as follows:

Said West One-half of said Southeast Quarter, except the West Fifty-five (55) acres thereof.

AND

COUNTY RECORDER'S INSTRUMENT #: 2017-10043

West Fifty-five (W 55) Acres of the Southeast Quarter ($SE\frac{1}{4}$) of Section Thirteen (13), Township Eighty-two (82) North, Range Twenty-one (21) West of the 5th PM, Story County, Iowa.

LEGAL DESCRIPTIONS OF ENVIRONMENTAL EASEMENTS:

ENVIRONMENTAL EASEMENT 1

A Sixty (60.0) feet wide easement located in the West One-half of the Southeast Quarter ($W\frac{1}{2} SE\frac{1}{4}$) of Section Thirteen (13), Township Eighty-two (82) North, Range Twenty-one (21) West of the 5th P.M., Story County, Iowa, the centerline of which is more particularly described as follows:

Commencing at the Center of said Section 13; thence South $89^{\circ}36'58''$ East, 1127.0 feet more or less along the north line of said West One-half of said Southeast Quarter to the centerline of an existing creek (said point also being the point of beginning); thence Southwesterly, 1791.9 feet more or less along said centerline of said existing creek to a point on the west line of the Southeast Quarter ($SE\frac{1}{4}$), with the boundaries of said easement being extended and/or trimmed as necessary to meet each other and said north and said west lines.

For the purposes of this easement, said north line of said West One-half of said Southeast Quarter was determined to bear South $89^{\circ}36'58''$ East using to GPS.

ENVIRONMENTAL EASEMENT 2

A Sixty (60.0) feet wide easement located in the West One-half of the Southeast Quarter ($W\frac{1}{2} SE\frac{1}{4}$) of Section Thirteen (13), Township Eighty-two (82) North, Range Twenty-one (21) West of the 5th P.M., Story County, Iowa, the centerline of which is more particularly described as follows:

Commencing at the South Quarter Corner of said Section 13; thence North $00^{\circ}03'54''$ East, 213.0 feet more or less along the west line of the Southeast Quarter ($SE\frac{1}{4}$) to the centerline of an existing creek (said point also being the point of beginning); thence Southeasterly, 506.9 feet more or less along said centerline of said existing creek to a point on the south line of said West One-half of said Southeast Quarter, with the boundaries of said easement being extended and/or trimmed as necessary to meet each other and said west and said south lines.

For the purposes of this easement, said west line of said Southeast Quarter was determined to bear North $00^{\circ}03'54''$ East using to GPS.

DISTRICTS:

AMBULANCE DISTRICT: STORY COUNTY AMBULANCE
FIRE DISTRICT: COLLINS FIRE
SCHOOL DISTRICT: COLLINS-MAXWELL COMMUNITY SCHOOL DISTRICT
ZONING DISTRICT: BOTH PARCELS ARE ZONED A-1, AGRICULTURAL DISTRICT
WATERSHED: HEADWATERS CLEAR CREEK
WATER DISTRICT: IOWA REGIONAL UTILITIES ASSOCIATION
ELECTRIC DISTRICT: CONSUMERS ENERGY

NOTES:

1. FOR THE PURPOSES OF THIS SURVEY, PARTS OF THE FOLLOWING WERE RETRACED:
COUNTY RECORDER'S BOOK 217 PAGE 301
COUNTY RECORDER'S INSTRUMENT 2009-00010272 AND 2014-00004457
COUNTY RECORDER'S SURVEY RECORD BOOK A PAGE 237
COUNTY RECORDER'S SURVEY RECORD BOOK B SEC 13-82-21 AND SEC 24-82-21

(ITEMS LISTED BELOW ARE FROM PRIVATE INTERNAL CGA RECORDS. THESE RECORDS MAY OR MAY NOT BE DUPLICATES OF THOSE AVAILABLE IN PUBLIC RECORDS)

UNRECORDED NISSEN PLAT DATED 8/31/78 AND UNRECORDED RICHARD & WITT PLATS DATED JULY 1975

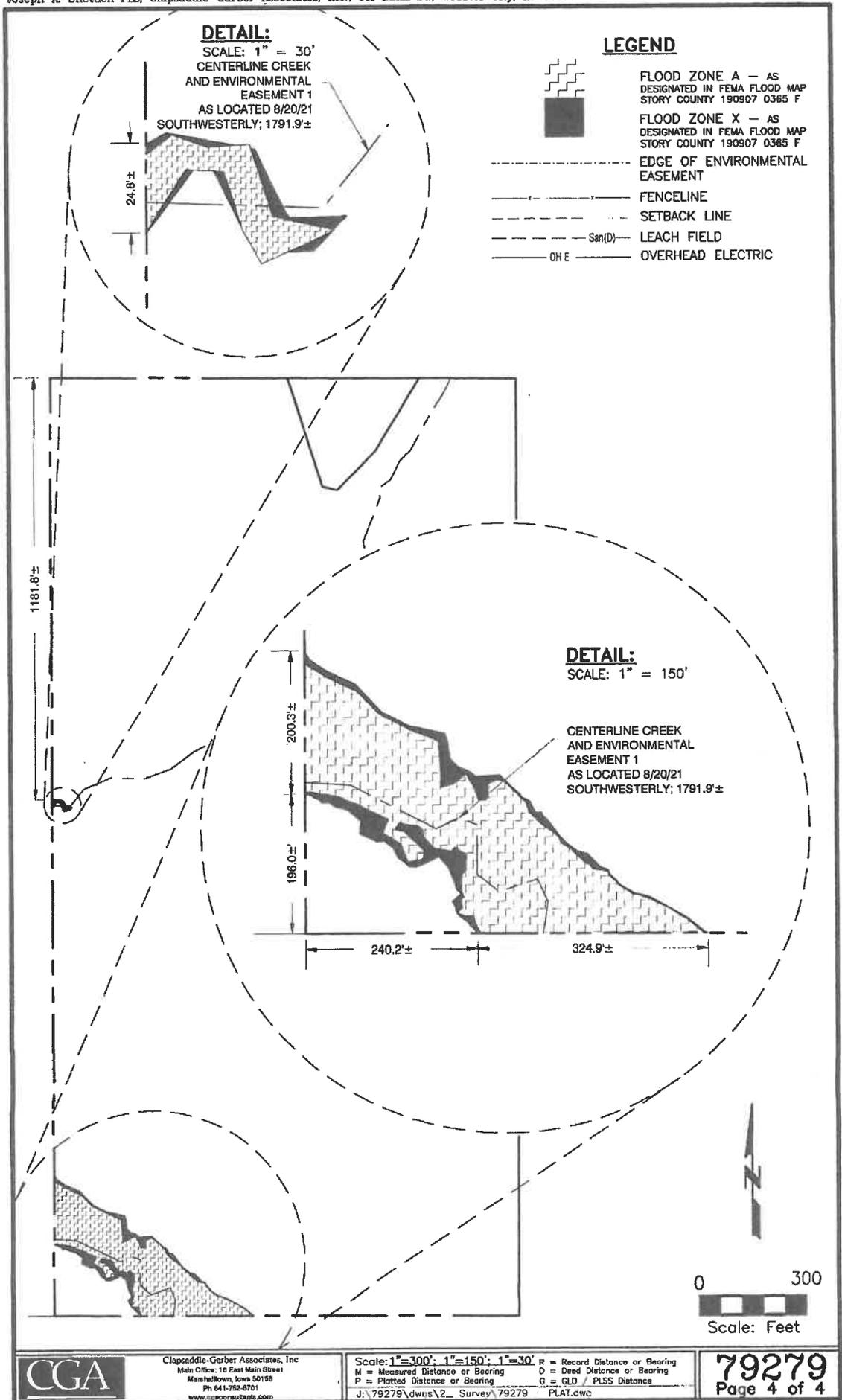
2. LOT 1 CONTAINS 1.55 ACRES TOTAL INCLUDING 0.27 ACRES OF EXISTING RIGHT OF WAY. SUBJECT TO EASEMENTS
3. OUTLOT 1 CONTAINS 77.41 ACRES TOTAL INCLUDING 0.72 ACRES OF EXISTING RIGHT OF WAY WITH 37.97 ACRES IN THE $NW\frac{1}{4} SE\frac{1}{4}$ AND 39.44 ACRES IN THE $SW\frac{1}{4} SE\frac{1}{4}$. SUBJECT TO EASEMENTS. OUTLOT IS NOT BUILDABLE. NO ZONING PERMIT CAN BE ISSUED ON AN OUTLOT.
4. PROPRIETOR IDENTIFIED THREE STRIPS OF GRASS THAT HAD A DARKER TINT COLORATION TO BE A LEACH FIELD LINES ON 8/20/2021.
5. ALL NEW LOTS SHALL REQUIRE A 911 ADDRESS FOR INHABITED STRUCTURES, INCLUDING RESIDENCES AND BUSINESSES, TELECOMMUNICATIONS TOWER AND FACILITIES, AND FOR ANY PUBLIC ASSEMBLY AREA INCLUDING OPEN-AIR, OUTDOOR ACTIVITIES. 911 ADDRESSES SHALL BE ASSIGNED BY STORY COUNTY AT THE REQUEST OF PROPRIETOR.
6. FOR THE PURPOSES OF THIS PLAT OF RESIDENTIAL PARCEL SUBDIVISION, THE NORTH LINE OF THE WEST ONE-HALF OF THE SOUTHEAST QUARTER WAS DETERMINED TO BEAR SOUTH $89^{\circ}36'58''$ EAST USING GPS.
7. FOUND IRON RAILROAD SPIKE FROM UNRECORDED SURVEYS, 421.9'± WEST OF THE NE CORNER $W\frac{1}{2} SE\frac{1}{4}$. MONUMENT APPEARS TO HAVE BEEN DISTURBED AND MOVED FROM ORIGINAL LOCATION. SHOWN FOR INFORMATIONAL PURPOSES ONLY



Clapsaddle-Garber Associates, Inc.
Main Office: 18 East Main Street
Marshalltown, Iowa 50156
Ph 641-752-6701
www.cgaonline.com

Scale: N/A
H = Measured Distance or Bearing
P = Plotted Distance or Bearing
R = Record Distance or Bearing
D = Deed Distance or Bearing
G = GLO / PLSS Distance
J:\79279\dwg\2_Survey\79279 - PLAT.dwg

79279
Page 3 of 4



Clapsaddle-Garber Associates, Inc.
 Main Office: 18 East Main Street
 Marshalltown, Iowa 50158
 Ph 641-752-6701
 www.cgsurveys.com

Scale: 1"=300', 1"=150', 1"=30' R = Record Distance or Bearing
 M = Measured Distance or Bearing D = Deed Distance or Bearing
 P = Plotted Distance or Bearing Q = GLD / PLSS Distance
 J:\79279\dwg\2_Survey\79279 PLAT.dwg

79279
 Page 4 of 4

PLAT OF RESIDENTIAL PARCEL SUBDIVISION STRUTHERS' SUBDIVISION

INDEX LEGEND

LOCATION: STRUTHERS' SUBDIVISION IN THE W $\frac{1}{2}$ SE $\frac{1}{4}$ SECTION 13, TOWNSHIP 82 NORTH, RANGE 21 WEST IN STORY COUNTY, IOWA

PROPRIETORS: CHARLES W. AND KAY A. STRUTHERS
29885 730TH ST
COLLINS, IA 50055

KAYLA A. STRUTHERS
73618 305TH ST
COLLINS, IA 50055

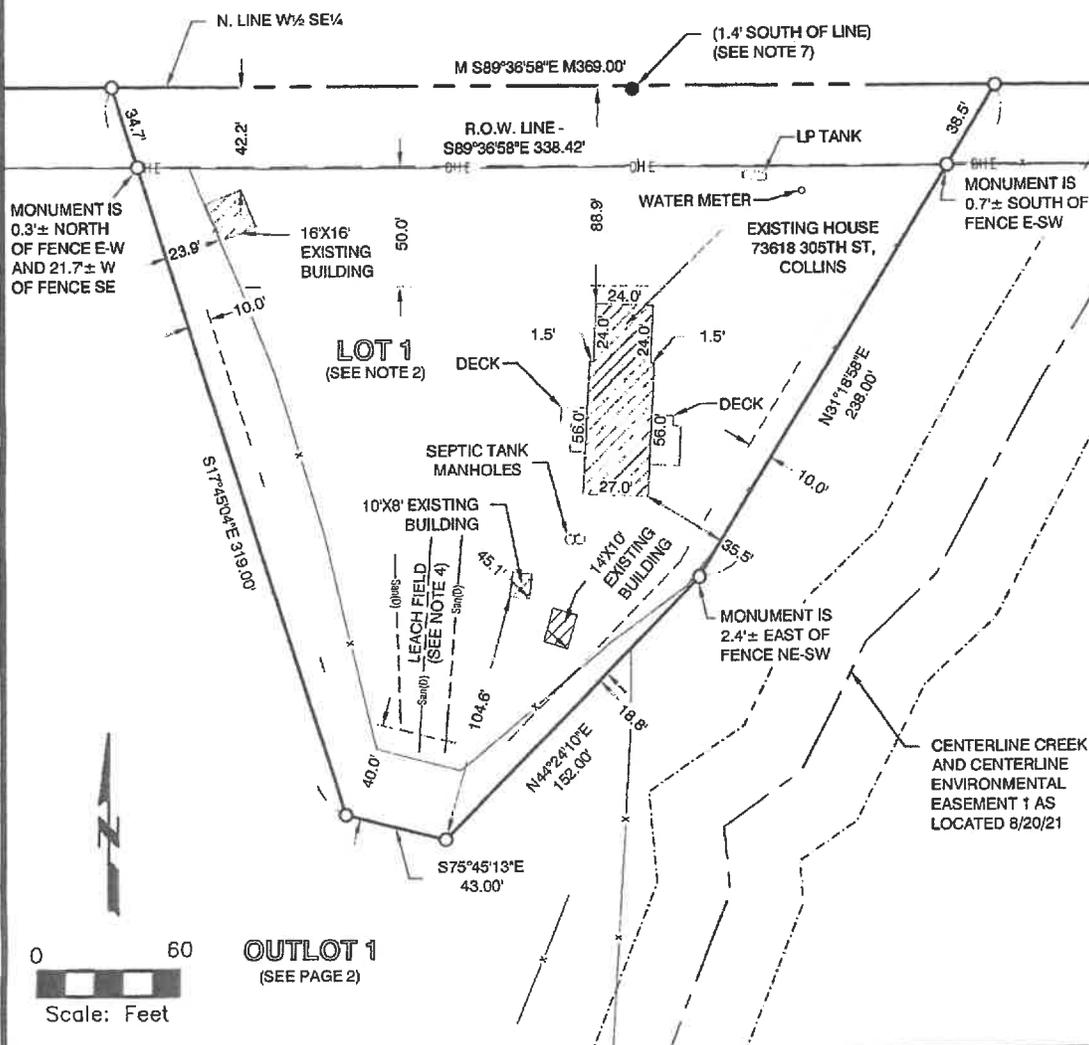
REQUESTED BY: CHARLES STRUTHERS

SURVEYOR: JOSEPH A. SNETHEN, PLS #23133

PREPARED BY CLAPSADDLE-GARBER ASSOCIATES, INC.
& RETURN TO: 511 BANK ST., WEBSTER CITY, IA. 50595
PH: 515-832-1876 FAX: 515-832-1932
WWW.CGACONSULTANTS.COM

SHEET INDEX:

PAGE 1: DETAIL OF LOT 1 & MONUMENT LEGEND
PAGE 2: SUBDIVISION PLAT
PAGE 3: LEGAL DESCRIPTIONS, NOTES, & DISTRICTS
PAGE 4: FLOOD MAP INFORMATION & LINE TYPE LEGEND



OUTLOT 1
(SEE PAGE 2)

Scale: Feet

I hereby certify that this land surveying document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Joseph A. Snethen
JOSEPH A. SNETHEN, PLS
Date: Oct 13, '22 License number: 23133
My license renewal date is December 31, 2022
Pages or sheets covered by this seal: 1-4

Monument Symbols are Orientated to the North

- Found**
- ▲ PLSS Corner (As noted)
 - Iron Rail Road Spike (Shown for informational purposes only)
- Set**
- ▲ PLSS Corner 3/4" x 4.0' Aluminum Capped Iron Rerod (#23133) or as noted
 - 3/4" x 2.0' Light Blue Plastic Capped Iron Rerod (#23133)

J:\79279\dwgs\2_Survey\79279 - PLAT.dwg

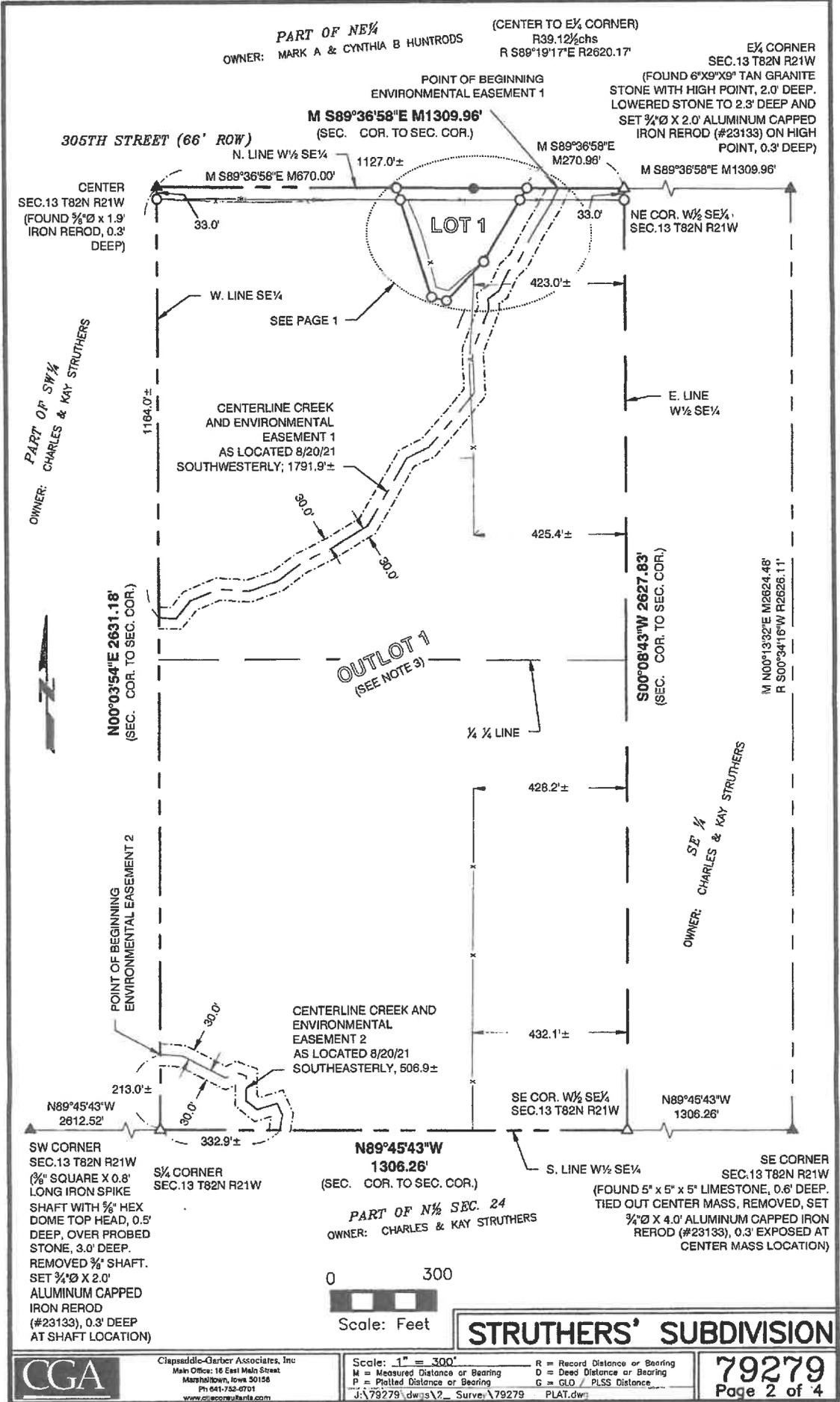
CGA

Clapsaddle-Garber Associates, Inc.
Main Office: 16 East Main Street
Marshalltown, Iowa 50158
Ph 641-762-6701
www.cgaconsultants.com

Date of Survey: Aug. 20, 2021
Scale: 1" = 60'
Field Crew: CS, DP, CR

M = Measured Distance or Bearing
P = Plotted Distance or Bearing
R = Record Distance or Bearing
D = Deed Distance or Bearing
C = C.L.D. / PLSS Distance

79279
Page 1 of 4



LEGAL DESCRIPTIONS OF STRUTHERS' SUBDIVISION

A tract of land being part of the West One-half of the Southeast Quarter ($W\frac{1}{2} SE\frac{1}{4}$) of Section Thirteen (13), Township Eighty-two (82) North, Range Twenty-one (21) West of the 5th P.M., Story County, Iowa, more particularly described as follows:

Said West One-half of said Southeast Quarter, except the West Fifty-five (55) acres thereof.

AND

COUNTY RECORDER'S INSTRUMENT #: 2017-10043

West Fifty-five (W 55) Acres of the Southeast Quarter ($SE\frac{1}{4}$) of Section Thirteen (13), Township Eighty-two (82) North, Range Twenty-one (21) West of the 5th PM, Story County, Iowa.

LEGAL DESCRIPTIONS OF ENVIRONMENTAL EASEMENTS:

ENVIRONMENTAL EASEMENT 1

A Sixty (60.0) feet wide easement located in the West One-half of the Southeast Quarter ($W\frac{1}{2} SE\frac{1}{4}$) of Section Thirteen (13), Township Eighty-two (82) North, Range Twenty-one (21) West of the 5th P.M., Story County, Iowa, the centerline of which is more particularly described as follows:

Commencing at the Center of said Section 13; thence South $89^{\circ}36'58''$ East, 1127.0 feet more or less along the north line of said West One-half of said Southeast Quarter to the centerline of an existing creek (said point also being the point of beginning); thence Southwesterly, 1791.9 feet more or less along said centerline of said existing creek to a point on the west line of the Southeast Quarter ($SE\frac{1}{4}$), with the boundaries of said easement being extended and/or trimmed as necessary to meet each other and said north and said west lines.

For the purposes of this easement, said north line of said West One-half of said Southeast Quarter was determined to bear South $89^{\circ}36'58''$ East using to GPS.

ENVIRONMENTAL EASEMENT 2

A Sixty (60.0) feet wide easement located in the West One-half of the Southeast Quarter ($W\frac{1}{2} SE\frac{1}{4}$) of Section Thirteen (13), Township Eighty-two (82) North, Range Twenty-one (21) West of the 5th P.M., Story County, Iowa, the centerline of which is more particularly described as follows:

Commencing at the South Quarter Corner of said Section 13; thence North $00^{\circ}03'54''$ East, 213.0 feet more or less along the west line of the Southeast Quarter ($SE\frac{1}{4}$) to the centerline of an existing creek (said point also being the point of beginning); thence Southeasterly, 506.9 feet more or less along said centerline of said existing creek to a point on the south line of said West One-half of said Southeast Quarter, with the boundaries of said easement being extended and/or trimmed as necessary to meet each other and said west and said south lines.

For the purposes of this easement, said west line of said Southeast Quarter was determined to bear North $00^{\circ}03'54''$ East using to GPS.

DISTRICTS:

AMBULANCE DISTRICT: STORY COUNTY AMBULANCE
FIRE DISTRICT: COLLINS FIRE
SCHOOL DISTRICT: COLLINS-MAXWELL COMMUNITY SCHOOL DISTRICT
ZONING DISTRICT: BOTH PARCELS ARE ZONED A-1, AGRICULTURAL DISTRICT
WATERSHED: HEADWATERS CLEAR CREEK
WATER DISTRICT: IOWA REGIONAL UTILITIES ASSOCIATION
ELECTRIC DISTRICT: CONSUMERS ENERGY

NOTES:

1. FOR THE PURPOSES OF THIS SURVEY, PARTS OF THE FOLLOWING WERE RETRACED:
COUNTY RECORDER'S BOOK 217 PAGE 301
COUNTY RECORDER'S INSTRUMENT 2009-00010272 AND 2014-00004457
COUNTY RECORDER'S SURVEY RECORD BOOK A PAGE 237
COUNTY RECORDER'S SURVEY RECORD BOOK B SEC 13-82-21 AND SEC 24-82-21

(ITEMS LISTED BELOW ARE FROM PRIVATE INTERNAL CGA RECORDS. THESE RECORDS MAY OR MAY NOT BE DUPLICATES OF THOSE AVAILABLE IN PUBLIC RECORDS)

UNRECORDED NISSAN PLAT DATED 8/31/78 AND UNRECORDED RICHARD & WITT PLATS DATED JULY 1975

2. LOT 1 CONTAINS 1.55 ACRES TOTAL INCLUDING 0.27 ACRES OF EXISTING RIGHT OF WAY. SUBJECT TO EASEMENTS
3. OUTLOT 1 CONTAINS 77.41 ACRES TOTAL INCLUDING 0.72 ACRES OF EXISTING RIGHT OF WAY WITH 37.97 ACRES IN THE $NW\frac{1}{4} SE\frac{1}{4}$ AND 39.44 ACRES IN THE $SW\frac{1}{4} SE\frac{1}{4}$. SUBJECT TO EASEMENTS. OUTLOT IS NOT BUILDABLE. NO ZONING PERMIT CAN BE ISSUED ON AN OUTLOT.
4. PROPRIETOR IDENTIFIED THREE STRIPS OF GRASS THAT HAD A DARKER TINT COLORATION TO BE A LEACH FIELD LINES ON 8/20/2021.
5. ALL NEW LOTS SHALL REQUIRE A 911 ADDRESS FOR INHABITED STRUCTURES, INCLUDING RESIDENCES AND BUSINESSES, TELECOMMUNICATIONS TOWER AND FACILITIES, AND FOR ANY PUBLIC ASSEMBLY AREA INCLUDING OPEN-AIR, OUTDOOR ACTIVITIES. 911 ADDRESSES SHALL BE ASSIGNED BY STORY COUNTY AT THE REQUEST OF PROPRIETOR.
6. FOR THE PURPOSES OF THIS PLAT OF RESIDENTIAL PARCEL SUBDIVISION, THE NORTH LINE OF THE WEST ONE-HALF OF THE SOUTHEAST QUARTER WAS DETERMINED TO BEAR SOUTH $89^{\circ}36'58''$ EAST USING GPS.
7. FOUND IRON RAILROAD SPIKE FROM UNRECORDED SURVEYS, 421.9^{\pm} WEST OF THE NE CORNER $W\frac{1}{2} SE\frac{1}{4}$. MONUMENT APPEARS TO HAVE BEEN DISTURBED AND MOVED FROM ORIGINAL LOCATION. SHOWN FOR INFORMATIONAL PURPOSES ONLY



Clapsaddle-Garber Associates, Inc.
Main Office: 16 East Main Street
Marshalltown, Iowa 50155
Ph 641-752-4701
www.cgaonline.com

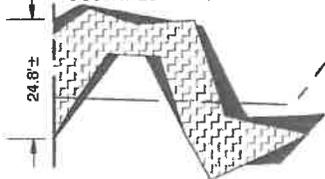
Scale: N/A
M = Measured Distance or Bearing
P = Plotted Distance or Bearing
J:\79279\dwg\2_Survey\79279 - PLAT.dwg

R = Record Distance or Bearing
D = Deed Distance or Bearing
G = GLO / PLS Distance

79279
Page 3 of 4

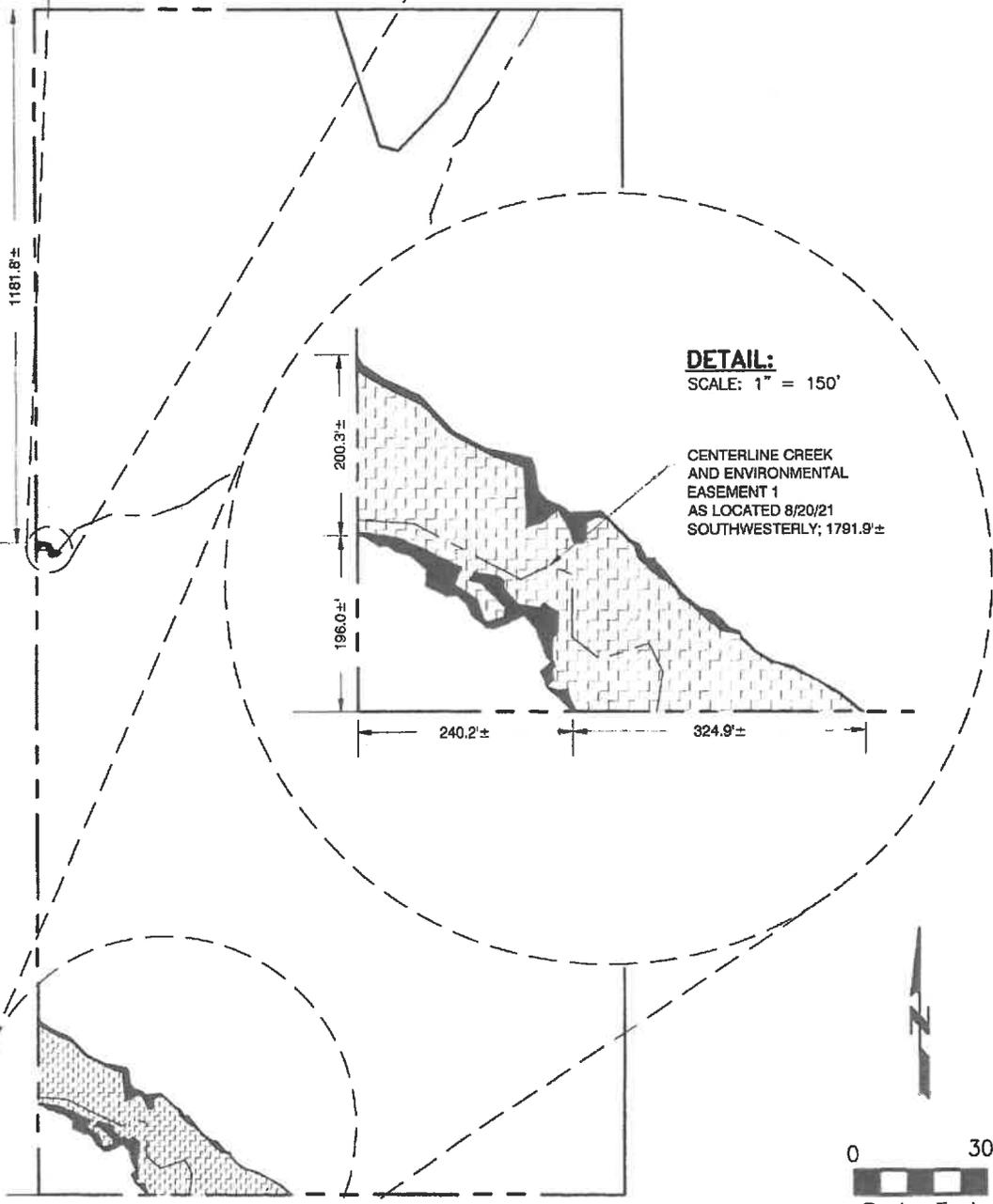
DETAIL:

SCALE: 1" = 30'
 CENTERLINE CREEK
 AND ENVIRONMENTAL
 EASEMENT 1
 AS LOCATED 8/20/21
 SOUTHWESTERLY; 1791.9'±



LEGEND

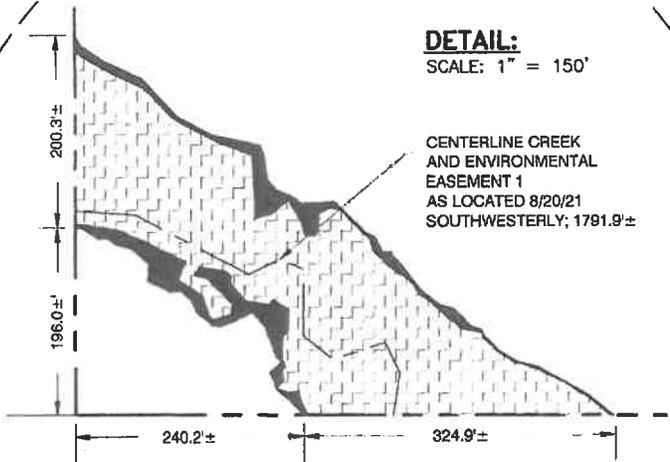
-  FLOOD ZONE A - AS DESIGNATED IN FEMA FLOOD MAP STORY COUNTY 190907 0365 F
-  FLOOD ZONE X - AS DESIGNATED IN FEMA FLOOD MAP STORY COUNTY 190907 0365 F
-  EDGE OF ENVIRONMENTAL EASEMENT
-  FENCELINE
-  SETBACK LINE
-  San(D) LEACH FIELD
-  O H E OVERHEAD ELECTRIC



DETAIL:

SCALE: 1" = 150'

CENTERLINE CREEK
 AND ENVIRONMENTAL
 EASEMENT 1
 AS LOCATED 8/20/21
 SOUTHWESTERLY; 1791.9'±



1181.8'±



Clapsaddle-Garber Associates, Inc
 Main Office: 18 East Main Street
 Marshalltown, Iowa 50158
 Ph 641-752-8701
 www.cgaconsultants.com

Scale: 1"=300'; 1"=150'; 1"=30'
 R = Record Distance or Bearing
 M = Measured Distance or Bearing
 D = Deed Distance or Bearing
 P = Platted Distance or Bearing
 G = GLD / PLSS Distance
 J:\79279\dwg\2_Surv\79279 PLAT.dwg

Staff Report

Board of Supervisors

Date of Meeting:
December 6, 2022

Case Number SUB22-000006
Residential Parcel Subdivision
Struthers' Subdivision
Resolution No. 23-40

APPLICANT:

Kayla A. Struthers
73618 305th St
Collins, IA 50055

STAFF PROJECT MANAGER:

Marcus Amman, Planner

SUMMARY:

A residential parcel subdivision request for Parcels #16-13-400-120 and #16-13-400-130 to reconfigure the parcel into two lots: proposed Lot 1, 1.28-net acres, containing the existing dwelling, and proposed Outlot 1, 76.69-net acres, containing land in row crop production. Proposed Lot 1 will contain the homesite and Outlot 1 will stay in agricultural production. There is a stream on Outlot 1 and a 60 foot easement has been granted. Lot 1 has an existing accesses located on 305th Street, a gravel county road. Planning and Development staff recommend approval of the proposed Residential Parcel Subdivision Plat.





Property Owner

Struthers, Charles W & Kay A
Struthers, Kyla A

Parcel Identification Number(s)

16-13-400-120
16-13-400-130

Size of Area

77.97 net acres

Location of Subdivision

Collins Township (Section 13, Township 82, Range 21) SW SE

Districts

A-1 Agricultural District
Collins Fire
Collins-Maxwell School District
Iowa Regional Utilities
Consumers Energy
Story County Ambulance
Headwaters Clear Creek -- Watershed

Current and Future Land Use

Both proposed Lot 1 and Outlot 1 are currently zoned for A-1 Agricultural. The C2C Plan Future Land Use map shows Lot 1 and Outlot 1 as Agricultural Conservation Area. Principles for Agricultural Conservation Area designation include to encourage high-value agriculture lands to remain in production, direct non-agricultural development to other C2C Plan Designations, and limit conflicts between agricultural uses, residences, and other uses.

A residential parcel subdivision is limited to yielding two lots and once approved, no further residential parcel subdivisions can take place to create additional buildable lots. These requirements for a residential parcel subdivision help preserve agricultural land. The applicant confirmed that only one buildable parcel was to be created.

There is floodplain located in the northern half of Outlot 1 that crosses the outlot. There is a floodplain located in the south western portion of the proposed Outlot 1. An easement of 60 feet has been granted across these areas. There is natural resource area on Outlot 1 around the floodplain area. There are no current plans to develop Outlot 1 and development would be limited to only agricultural uses as outlots are not considered buildable.



Applicant's Property and Current Surrounding Land Use

The property is located in Indian Creek Township. It is not located within 2 miles of any corporate limits.

Adjacent properties include:

North

A 34.96 net-acre parcel and a 4.04 in the A-1 Agricultural zoning district under common ownership of Huntrods, Mark A & Cynthia B. These parcel are in row crop production and contain a dwelling.

East

A 39.00 net-acre parcel and a 40 acre parcel in the A-1 Agricultural zoning district under common ownership with the subject property. This parcel is in row crop production or undisturbed land.

South

A 20.68 net-acre parcel and a 6.33 acre parcel in the A-1 Agricultural zoning district under common ownership with the subject property. This parcel is natural area

West

There is a 73.45 net-acre parcel in the A-1 Agricultural zoning district under common ownership with the subject property. This parcel is natural area or undisturbed land.

There are forty tree (43) parcels located within a half mile of the property. Of those parcels, nine (9) contain a single-family dwelling. Twenty five (25) parcels within the half mile of the property meet or exceed the minimum 35-acre requirement to construct a single-family dwelling in the A-1 Agricultural Zoning District.

Applicable Regulations – Story County Land Development Regulations

87.07 RESIDENTIAL SUBDIVISION PLAT

1. A subdivision may be submitted for review and approval as a residential parcel subdivision plat when all of the following are true:
 - a. The development lots created by the subdivision are intended to be used for residential purposes;
 - b. Only two development lots may be created;
 - c. The Assessment Property Record Card for the property shall show a single-family dwelling and/or farmstead as defined in Section 85.08, in existence;
 - d. The subdivision includes no land set apart for new streets, alleys, parks, dedicated open space, school property or public use;



- e. The subdivision lies wholly within the A-1. For parcels located within the boundaries of the *Ames Urban Fringe Plan*, the subdivision must be both zoned A-1 Agricultural and lie wholly within the Rural Service and Agricultural Conservation Area designation;
- f. Both development lots (created by the residential Parcel Subdivision Plat) shall contain a minimum of one acre (net) each. All side and rear yard setback requirements must be met
- g. All resulting development lots shall have access to an adjoining public roadway by actual road frontage or easement
- h. No variances from subdivision or zoning standards shall be granted in order to accomplish the Residential Parcel Subdivision Plat.
- i. The existing parcel shall not have been created through a previously approved Residential Parcel Subdivision Plat.

Commentary

The following comments are part of the official record of the proposed Residential Subdivision Plat – **Struthers' Subdivision, Case No. SUB22-000006**. If necessary, conditions of approval may be formulated based on these comments.

Comments from the Interagency Review Team

The application materials were forwarded to the members of the Interagency Review Team on August 31, 2022, and the following applicable comments were received.

Story County Engineer

No Comments

Story County Environmental Health

Existing septic system is all contained on the divided lot so EH has no concerns - However, it should be noted that when the time comes to replace that system spacing may be an issue and easements may need to be acquired

Story County Assessor

No Comments.

Story County Conservation

No comments.

Story County Auditor



Charles W. and Kay A. Struthers are listed as proprietors however, they own only the east 25 acres of the land being subdivided. The west 55 acres is owned by Kyla A. Struthers and she must be added to the plat as a proprietor.

There are two environmental easements shown on the plat and their centerlines are described by metes and bounds. The bearings and dimensions of those centerlines must also appear on the face of the plat, not just in the legal description.

Story County Planning & Development Department

1. The Stream and Environmental Easement has various typos in the legal description. The third line of the easement references the south line and should reference the north line. A 9 is used instead of parenthesis before "said line." Several spaces between words are missing. Boundaries is misspelled.
2. The Stream and Environmental Easement does not contain the legal description for both easements. Only the first easement is written out. The second easement needs to be added to the legal description.
3. Note 3 on the plat needs to state that the Outlot is not buildable. No zoning permit can be issued on an outlot.
4. Are there any proposed restrictive covenants? Is there a mortgage on the property?
5. The request says "split to build" under the submitted subdivision plat a new buildable lot would not be created. Is the purpose of the subdivision to create a new buildable lot or to separate the existing dwelling from the rest of the property? If the purpose is to create a new buildable lot beyond the existing dwelling the plat will need to be updated. If a new buildable lot is created that contains floodplain, a request to the Iowa DNR will be required to determine the base flood elevation.
6. The consent and dedication excepts the west 55 acres and should not.
7. The 16" x 16" shed does not meet setbacks. What is this structure used for? A zoning permit is required and it will be required to be moved to meet the 50-foot front setback requirement.
8. The front setback line should be 50 feet from the ROW line. Currently, it is depicted as 50 feet from the N. Line W 1/2 SE1/4 .
9. Please add the address of the house to the plat--73618 305TH ST, Collins.
10. A subdivision plat, described as part of the United States public land survey system and not entirely within an official plat, lies within more than one forty-acre aliquot part of a section, the acreage shall be shown only for assessment and taxation purposes for the portion of the subdivision that lies within each forty-acre aliquot part of the section.

Comments from the General Public

Notification letters were mailed to surrounding property owners within a ¼ mile of the subject property regarding the public meeting on the subdivision request on November 21, 2022.

No comments were received as of the writing of this report.

Comments from Cities within Two Miles

There are no cities within two miles of the subject property.



Analysis

Points to consider in evaluating the applicant's request to divide their property through the Residential Subdivision Plat process to create one (1) lot for residential use and an outlet.

1. The property owner proposes to reconfigure their parcels totaling 77.97 net acres to separate the dwelling from the rest of the farm land.
2. The applicant understands no development can take place on the outlet.
3. An access exists for Lot 1.
4. All requirements for a Residential Subdivision Plat in Section 87.07 of the Story County Land Development Regulations are met.
5. There are a total of 43 parcels located within a quarter mile of the subject property. Of the 43 properties, 9 contain single-family dwellings.
6. Additional divisions of the lots created with Residential Parcel Subdivisions are not permitted in the zoning district.

Alternatives

Story County Planning & Development Staff recommend the approval of the Struthers' Subdivision, as proposed (alternative #1).

1. **The Story County Board of Supervisors approves Resolution #23-40, the Residential Parcel Subdivision Plat – Struthers' Subdivision as submitted.**
2. The Story County Board of Supervisors approves Resolution #23-40, the Residential Parcel Subdivision Plat – Struthers' Subdivision as submitted, with conditions.
3. The Story County Board of Supervisors denies Resolution #23-40, the Residential Parcel Subdivision Plat – Struthers' Subdivision as submitted.
4. The Story County Board of Supervisors tables the decision on Resolution #23-40, the Residential Parcel Subdivision Plat – Struthers' Subdivision and directs the applicant to address specific areas for additional information, review and/or modifications, and to work with staff to place the subdivision plat back on the Board of Supervisor's agenda.
- 5.

CAHILL LAW OFFICES

DONALD L. NELSON (1922-1984)
THOMAS J. CAHILL
JOSEPH R. CAHILL

1015 5TH STREET
POST OFFICE BOX 88
NEVADA, IOWA 50201

TELEPHONE (515) 382-6571
FAX (515) 382-4338

June 22, 2021

Kyla A. and Charles and Kay A. Struthers
29885 730th St
Collins IA 50055

RE: Title Opinion

Greetings:

At your request we have examined the Abstract of Title, prepared by Abstract & Title Services consisting of 83 entries showing the title from Root of Title down to and including the 30th day of June 2022, to the following described real estate located in Story County, Iowa, to-wit:

The West Half (W ½) of the Southeast Quarter (SE ¼) of Section Thirteen (13) Township Eighty-two (82) North Range Twenty-one (21) West of the 5th P.M.

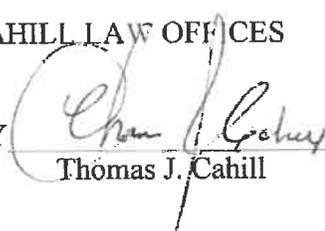
I am of the opinion that the Abstract shows on the date of continuation thereof good and merchantable title to the above-described real estate in fee simple in the Charles W. Struthers and Kay A. Struthers and Kyla A. Struthers.

We find no tax liens or other encumbrances against the above-described real estate.

Yours truly,

CAHILL LAW OFFICES

BY


Thomas J. Cahill

TJC:

Prepared by and Return to Cahill Law Offices, 1015 5th St., Nevada, IA 50201; Tele: (515) 382-6571
CERTIFICATE OF COUNTY TREASURER

I, TED RASMUSSEN, do hereby CERTIFY that I am the Treasurer of Story County, Iowa. I further CERTIFY that the real estate described as follows, to-wit:

The West Half (W ½) of the Southeast Quarter (SE ¼) of Section Thirteen (13) Township Eighty-two (82) North Range Twenty-one (21) West of the 5th P.M.

Parcel Numbers 16-13-400-120, and 16-13-400-130 are free from taxes at the time of this Certification.

DATED at Nevada, Story County, Iowa, this 20th day of October 2022.



Ted Rasmussen
Treasurer of Story County, Iowa

By Walter A. Baldwin, Deputy



Prepared by and Return to Cahill Law Offices, 1015 Fifth St., Nevada, IA 50201; Tele: (515)382-6571

ACKNOWLEDGMENT OF CONSENT AND DEDICATION
OF FINAL PLAT OF
STRUTHERS' SUBDIVISION

KNOW ALL MEN BY THESE PRESENTS:

That CHARLES W. STRUTHERS and KAY A. STRUTHERS and KYLA A. STRUTHERS, Iowa hereby COVENANTS that he is lawfully seized of the premises described as follows:

The West Half (W ½) of the Southeast Quarter (SE ¼) of Section Thirteen (13) Township Eighty-two (82) North Range Twenty-one (21) West of the 5th P.M.

AND CHARLES W. STRUTHERS and KAY A. STRUTHERS and KYLA A. STRUTHERS, do hereby certify that the accompanying Plat of the above-described real estate to be known as Struthers' Subdivision to Story County, Iowa, is with their free consent in accordance with their desire.

DATED this 20th day of October 2022.

BY Charles W. Struthers
CHARLES W. STRUTHERS

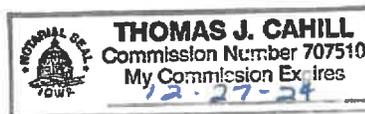
BY Kay A. Struthers
KAY A. STRUTHERS

BY Kyla A. Struthers
KYLA A. STRUTHERS

STATE OF IOWA :
:SS
STORY COUNTY :

Subscribed and sworn to before me Charles W. Struthers, Kay A. Struthers and Kyla A. Struthers, this 20th day of October 2022.

Thomas J. Cahill
NOTARY PUBLIC in and for the State of Iowa



STREAM AND ENVIRONMENTAL EASEMENT

KNOW ALL PERSONS BY THIS INSTRUMENT:

That the undersigned Charles W. Struthers, Kay A. Struthers and Kyla A. Struthers, ("Grantor"), for good and valuable consideration does hereby grant unto Story County, Iowa ("Grantee"), and its successors and assigns, a stream and environmental easement upon, , over or across the following described real estate:

DESCRIPTION

A 60.00' WIDE STREAM EASEMENT LOCATED IN THE WEST ONE-HALF (W ½) OF THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 82 NORTH, RANGE 21 WEST OF THE 5TH P.M., STORY COUNTY, IOWA.

MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTER OF SECTION 13, THEN SOUTH 89 DEGREES 36'58" EAST, 1127.0 FEET MORE OR LESS ALONG THE NORTH LINE OF THE SAID WEST ONE-HALF OF SAID SOUTHEAST QUARTER TO THE CENTERLINE OF THE EXISTING CREEK SAID POINT ALSO BEING THE POINT OF BEGINNING THEN SOUTHEASTERLY 1791.9 FEET MORE OR LESS ALONG SAID CENTERLINE OF SAID EXISTING CREEK TO A POINT ON THE WEST LINE OF THE SOUTHEAST QUARTER WITH THE BOUNDARIES OF SAID EASEMENT BEING EXTENDED AND/OR TRIMMED TO MEET EACH OTHER AND SAID NORTH AND SAID WEST LINES.

A 60.00' WIDE STREAM EASEMENT LOCATED IN THE WEST ONE-HALF (W ½) OF THE SOUTHEAST 1/4 OF SECTION 13, TOWNSHIP 82 NORTH, RANGE 21 WEST OF THE 5TH P.M., STORY COUNTY, IOWA.

MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 13; THEN NORTH 00 DEGREES 03 MINUTES EAST 54 SECONDS, 213.0 FEET MORE OR LESS ALONG THE EAST LINE OF THE SOUTHEAST QUARTER TO THE CENTERLINE OF AN EXISTING CREEK (SAID POINT ALSO BEING THE POINT OF BEGINNING); THEN SOUTHEASTERLY, 506.9 FEET MORE OR LESS ALONG SAID

CETERLINE OF SAID EXISTING CREEK, TO A POINT ON THE SOUTH LINE OF SAID WEST ONE-HALF OF SAID SOUTHEAST QUARTER, WITH THE BOUNDARIES OF SAID EASEMENT BEING EXTENDED AND/OR TRIMMED AS NECESSARY TO MEET EACH OTHER AND SID WEST AND SOUTH LINES.

FOR THE PURPOSE OF THIS EASEMENT SAID WESTLINE OF SAID SOUTHEAST QUARTER WAS DETERMINED TO BEAR NORTH 00 DEGREES 03 MINUTES 54 SECONDS EAST USING TO GPS.

1. Purpose of Easement Grant. The Easement herein granted shall be for the purpose of widening, improving or protecting streams located within the Easement Area, as necessary.
2. Obstructions Prohibited. Grantor and its grantees, successors, heirs, and assigns shall not erect any fence or other structure under, over, on, through, across or within the Easement Area without obtaining prior written consent of the Grantee, nor shall Grantor cause or permit any obstruction, planting or material to be placed under, over, on, through, across or within the Easement Area without obtaining prior written consent of the County.
3. Change of Grade Prohibited. Grantor and its grantees, successors, heirs, and assigns shall not change the grade, elevation or contour of any part of the Easement Area without obtaining the prior written consent of Grantee. Grantee shall have the right to restore unapproved changes without prior consent of Grantor.
4. Grantee's Rights of Access. Grantee shall have the right of access to the Easement Area and shall have all rights of ingress and egress to the Easement Area reasonably necessary to effectuate the purposes of this Easement.
5. Restoration of Property. Grantee shall restore the Easement Area after exercising any of its rights granted herein, provided, however, Grantee's duty of restoration shall be limited to grading and replacement of grass, sod, turf, natural landscaping, and any other ground cover. Grantee shall not be responsible for any construction, reconstruction, replacement, repair or maintenance of any other improvements located within the Easement Area.
6. Easement for Benefit of Grantee. This Easement shall be for the benefit

DO NOT WRITE IN THE SPACE ABOVE, RESERVED FOR RECORDER

Prepared By: Marcus Amman, Story County Planning and Development, 900 6th Street, Nevada, IA 50201 (515) 382-7245
Please Return to the Story County Planning & Development Department

**STORY COUNTY IOWA
RESOLUTION OF THE BOARD OF SUPERVISORS
RESOLUTION NUMBER 23-41**

WHEREAS, there has been submitted to the Board of Supervisors of Story County, Iowa, an application to subdivide real estate from Thomas A. Heinen And Sheila Y. Heinen, 32411 560th Ave, Huxley, IA 50124, involving the real estate located at 32411 560th Ave, Huxley, in the northeast quarter of Section 25 of Palestine Township identified as Parcel #13-25-200-445 hereinafter described on Attachment A and shown on Attachment B, and

WHEREAS, Thomas A. Heinen And Sheila Y. Heinen is the legal titleholder of said real estate and;

WHEREAS, it appears that all conditions and requirements prescribed by Chapter 354 and Chapter 355, *Code of Iowa*, and as prescribed by the *Story County C2C Plan* and the *Code of Ordinances, of Story County, Iowa*, have been complied with and met,

AND WHEREAS, it is the opinion of the Board of Supervisors of Story County, Iowa, that it is advisable and in the best interests of Story County, Iowa, and all persons concerned, that said Plat be approved, and accepted.

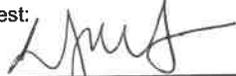
NOW, THEREFORE, BE IT RESOLVED that the Residential Parcel Subdivision Plat of the STH Subdivision involving real estate hereinafter described on Attachment A and shown on Attachment B being the same, is hereby approved and accepted and all acts and deeds of the said owners and grantors in the premises are hereby confirmed and approved and the real estate hereinafter described on Attachment A and shown on Attachment B shall hereinafter be known as the STH Subdivision.

IT IS FURTHER RESOLVED that the Chair of the Board of Supervisors and the County Auditor are authorized and they are hereby directed to certify a copy of this Resolution 23-41 to be affixed to said Final Plat upon its approval by the Board of Supervisors.

Dated this 6th day of December 2022.


Chairperson, Board of Supervisors

Attest:


County Auditor

ROLL CALL Latifah Faisal Yea Nay Absent
FOR ALLOWANCE Lisa Heddens Yea Nay Absent
 Linda Murken Yea Nay Absent

ALLOWED BY VOTE


CHAIRPERSON

Yea 3 Nay 0 Absent 0

Above tabulation made by 

ATTACHMENT A

Survey Description:

Parcel "A" (Recorded Book 11, Page 229) described as follows: Commencing at the E1/4 corner of Section 25, Township 82 North, Range 24 West of the 5th P.M., Story County, Iowa; thence N00°09'03"W, 363.11 feet (Recorded as North 363.00 feet) along the East line of said Section 25 to the Point of Beginning; thence continuing along said East line N00°09'03"W, 586.45 feet (Recorded as North 585.80 feet); thence S89°52'49"W, 646.30 feet (Recorded as West 646.70 feet); thence S00°46'50"W, 582.23 feet (Recorded as S00°56'00"W, 581.78 feet); thence S89°44'41"E, 655.77 feet (Recorded as S89°38'30"E, 656.19 feet) to the Point of Beginning and containing 8.73 acres, including 0.44 acres road easement, 8.29 net acres remaining; subject to and together with any other easements of record.

Staff Report

Board of Supervisors

Date of Meeting:
December 6, 2022

Case Number SUB22-000007
Residential Parcel Subdivision
STH Plat 1
Resolution No. 23-41

APPLICANT:
Jenna Pilcher
PO Box 336
Huxley, IA 50124

STAFF PROJECT MANAGER:
Marcus Amman, Planner

SUMMARY:
A residential parcel subdivision request for Parcel #13-25-200-445 to reconfigure the parcel into two lots: proposed Lot 1, 5.21-net acres, containing the existing dwelling, and proposed Lot 2, 3.08-net acres, containing two ag buildings. Proposed Lot 1 will contain the homesite and Lot 2 will have a dwelling constructed in the future. There is a stream on Lot 1 and a 100-foot easement has been granted. Both lots will share an existing access located on 560th Street, a paved road. An access easement with a minimum width of 50 feet has been granted. Planning and Development staff recommend approval of the proposed Residential Parcel Subdivision Plat.





Property Owner

HEINEN, THOMAS A & SHEILA Y

Parcel Identification Number(s)

13-25-200-445

Size of Area

8.29 net acres

Location of Subdivision

Palestine Township (Section 25, Township 82, Range 24) SE NE PARCEL"A"CFN 11-229

Districts

A-1 Agricultural District
Huxley Fire
Ballard Community Schools
Xenia Water
Consumers Energy
Huxley Ambulance
Ballard Creek -- Watershed

Current and Future Land Use

Both proposed Lot 1 and 2 are currently zoned for A-1 Agricultural. The C2C Plan Future Land Use map shows Lot 1 and Lot 2 as Urban Expansion Area for the City of Huxley. Principles for the Urban Expansion Area designation include to allow development in accordance with the applicable city's future land use plans and goals, coordinate a cooperative review/ approval between Story County and the city, encourage proposed development to take access off existing paved roads, and encourage clustering of residential sites to limit the short and long term costs associated with infrastructure improvements.

A residential parcel subdivision is limited to yielding two lots and once approved, no further residential parcel subdivisions can take place to create additional buildable lots. These requirements for a residential parcel subdivision help preserve agricultural land.

There is floodplain located in the southern portion of the proposed Lot 1. An easement of 100 feet has been granted across the drainage area. There is natural resource area in the easement area. There are plans to develop Lot 2 for uses permitted in the A-1 Agricultural District (e.g. one single-family dwelling).

Applicant's Property and Current Surrounding Land Use



The property is located in Palestine Township. It is located within 2 miles of Huxley city limits.

Adjacent properties include:

North & West

A 27.01 net-acre parcel in the A-1 Agricultural zoning district under owned by LARSON, LEONARD REV TRUST 1/6 (Deed), LARSON, JACQUELINE SE REV TRUST 1/6 (Deed), BATES, JAMES A TRUST 1/3 (Deed), LARSON, LEONARD (Mail To), LARSON AGRIPRODUCTS LTD 1/3 (Deed). This parcel is in row crop production.

East

A 4.93 net-acre parcel in the A-1 Agricultural zoning district owned by BOWERS, CHARLES A (Deed). This parcel has a dwelling on it.

A 8.77 net-acre parcel in the city limits of Huxley owned by INTERSTATE LAND PROPERTIES LLC (Deed). This is an outlot with no development on it.

South

A 1.00 net-acre parcel in the A-1 Agricultural zoning district. This parcel is owned by WILSON, ERIC D and has a dwelling on it.

A 8.15 net-acre parcel in the A-1 Agricultural zoning district. This parcel is owned by STALL, NELSON E & JEANNE E and has a dwelling and agricultural activities on it.

There are seventy-five (75) parcels located within a half mile of the property. Of those parcels, thirty-nine (39) contain a single-family dwelling. Twelve (12) parcels within the half mile of the property meet or exceed the minimum 35-acre requirement to construct a single-family dwelling in the A-1 Agricultural Zoning District.

Applicable Regulations – Story County Land Development Regulations

87.07 RESIDENTIAL SUBDIVISION PLAT

1. A subdivision may be submitted for review and approval as a residential parcel subdivision plat when all of the following are true:
 - a. The development lots created by the subdivision are intended to be used for residential purposes;
 - b. Only two development lots may be created;
 - c. The Assessment Property Record Card for the property shall show a single-family dwelling and/or farmstead as defined in Section 85.08, in existence;
 - d. The subdivision includes no land set apart for new streets, alleys, parks, dedicated open space, school property or public use;



- e. The subdivision lies wholly within the A-1. For parcels located within the boundaries of the *Ames Urban Fringe Plan*, the subdivision must be both zoned A-1 Agricultural and lie wholly within the Rural Service and Agricultural Conservation Area designation;
- f. Both development lots (created by the residential Parcel Subdivision Plat) shall contain a minimum of one acre (net) each. All side and rear yard setback requirements must be met
- g. All resulting development lots shall have access to an adjoining public roadway by actual road frontage or easement
- h. No variances from subdivision or zoning standards shall be granted in order to accomplish the Residential Parcel Subdivision Plat.
- i. The existing parcel shall not have been created through a previously approved Residential Parcel Subdivision Plat.

Commentary

The following comments are part of the official record of the proposed Residential Subdivision Plat – **STH Plat 1, Case No. SUB22-000007**. If necessary, conditions of approval may be formulated based on these comments.

Comments from the Interagency Review Team

The application materials were forwarded to the members of the Interagency Review Team on September 26, 2022, and the following applicable comments were received.

Story County Engineer

No Comments

Story County Environmental Health

All wells and septic systems are on lot 1 - no concerns noted

Story County Assessor

No Comments.

Story County Conservation

No comments.

Story County Auditor

No Comments.

Story County Planning & Development Department



1. The stream easement needs to be drawn to follow the centerline of the stream so that there is an easement of 30 ft on either side of the waterway. The proposed easement does not provide 30 ft on either side of the waterway. A written easement document is also required. An example easement can be provided if requested.
2. Per Chapter 88.03 of the Story County Land Development Regulations, lot depth cannot exceed three times lot width. Lot 2 does not meet this requirement. Additional width is needed.
3. A written access easement with maintenance provisions is strongly recommended.
4. The property owner/subdivision to the east is not listed/shown on the plat. Please list on the plat.
5. There are several easements that are required to be shown on the plat including for Xenia Rural Water, the City of Huxley, and Northern Natural Gas. If these easements do not contain a legal description, please add a note that they apply but are not described sufficiently to be shown on the plat.
6. All legal documents will need to be submitted as originals with signatures. A signed original plat will also be required.
7. Is there a mortgage on the property? If so, a mortgagee's consent is required.
8. Are there any restrictive covenants proposed? If so please provide them.
9. The submittal has been routed to the City of Huxley and the City of Cambridge for their review and action.
10. Are there plans for near-term construction on Lot 2? Will Lot 2 be sold?
11. A zoning permit, septic, and 911 application are required for all new dwellings. Per Ch.88.05.4 of The Story County Code of Ordinances (Sedimentation and Erosion Control), there will need to be a plan submitted for sedimentation and erosion control around the site during construction.
12. Dwellings within 200 feet of city sewer are required to connect.
13. Once all the items have been addressed and the cities have acted, this request will be placed on a regular Board of Supervisors Tuesday meeting. The Board of Supervisors takes action on subdivisions.
14. Notices for the meeting will be sent to all property owners within a quarter mile of the proposed division, a sign will also be placed on the property.

Comments from the General Public

Notification letters were mailed to surrounding property owners within a ¼ mile of the subject property regarding the public meeting on the subdivision request on November 21, 2022.

No comments were received as of the writing of this report.

Comments from Cities within Two Miles

City of Huxley:

City of Cambridge:

Staff will not record the subdivision until staff has received resolutions from both cities showing they acted on the proposed residential parcel subdivision.



Analysis

Points to consider in evaluating the applicant's request to divide their property through the Residential Subdivision Plat process to create two (2) lots for residential use.

1. The property owner proposes to reconfigure their parcel totaling 8.29 net acres to create another buildable parcel.
2. A dwelling will be constructed on Lot 2 in the future.
3. A shared access exists for both Lot 1 and Lot 2 with a 50 foot easement being granted.
4. All requirements for a Residential Subdivision Plat in Section 87.07 of the Story County Land Development Regulations are met.
5. There are a total of 75 parcels located within a quarter mile of the subject property. Of the 75 properties, 39 contain single-family dwellings.
6. Additional divisions of the lots created with Residential Parcel Subdivisions are not permitted in the zoning district.

Alternatives

Story County Planning & Development Staff recommend the approval of the STH Subdivision, as proposed (alternative #1).

1. **The Story County Board of Supervisors approves Resolution #23-41, the Residential Parcel Subdivision Plat – STH Subdivision as submitted.**
2. The Story County Board of Supervisors approves Resolution #23-41, the Residential Parcel Subdivision Plat – STH Subdivision, with conditions.
3. The Story County Board of Supervisors denies Resolution #23-41, the Residential Parcel Subdivision Plat – STH Subdivision as submitted.
4. The Story County Board of Supervisors tables the decision on Resolution #23-41, the Residential Parcel Subdivision Plat – STH Subdivision and directs the applicant to address specific areas for additional information, review and/or modifications, and to work with staff to place the subdivision plat back on the Board of Supervisor's agenda.

ACKNOWLEDGEMENT:

The undersigned is/are the owner(s) of the described property on this application, located in the incorporated area of Huxley, Iowa, assuring that the information provided herein is true and correct. I hereby give my consent for the City of Huxley and/or its representatives to conduct a site visit and photograph the subject property.

This development is subject to and shall be required, as a condition of final development approval, to comply with all Interim Development Ordinance policies, requirements and standards that are in effect at the time of final development approval.

Owner: Sheila Heinen Applicant: _____

Date: 08 / 15 / 2022 Date: _____

Application, Fees and Site Plan (if required) must be submitted jointly.

Fees:
\$100 Application fee
\$50 per re-submission
Legal and Engineering fees reimbursed to the City of Huxley

Proposed Name of Plat:
STH Plat 1

Proposed Use:
Residential

| | |
|------------------|---|
| Number of Lots: | For Office Use Only: Associated Zoning case(s): Associated Plat: |
| Number Of Acres: | |

PRELIMINARY PLAT PERTINENT INFORMATION REQUIREMENTS

The preliminary plat shall be clearly marked "preliminary plat" and shall show, or have attached thereto the following:

1. Title, scale, north point and date.
2. Proposed name of the subdivision, which shall not duplicate or resemble existing subdivision names in the County.
3. The name and address of the owner and the name, address and profession of the person preparing the plat.
4. A key map showing the general location of the proposed subdivision in relation to surrounding development.
5. The names and locations of adjacent subdivisions and the names of record owners and location of adjoining parcels of unplatted lands. A list of all owners of record of property located within 200 feet of the subdivision boundaries shall be attached.
6. The location of property lines, streets and alleys, easements, buildings, utilities, watercourses, tree masses and other existing features affecting the plat.
7. Existing and proposed zoning of the proposed subdivision and adjoining property.
8. Contours at vertical intervals of not more than two feet if the general slope of the site is less than ten percent and at vertical intervals of not more than five feet if the general slope is ten percent or greater.
9. The legal description of the area being platted.
10. The boundary of the area being platted, shown as a dark line, with the approximate length of boundary lines and the approximate location of the property in reference to known section lines.
11. The layout, lot numbers and scaled dimensions of proposed lots.
12. The location, width and dimensions of all streets and alleys proposed to be dedicated for public use.
13. The proposed names for all streets in the area being platted.
14. Present and proposed utility systems, including sanitary and storm sewers, other drainage facilities, water lines, gas mains, electric utilities and other facilities.
15. Proposed easements, showing locations, widths, purposes and limitations.
16. Parcels of land proposed to be dedicated or reserved for schools, parks, playgrounds or other public, semi-public or community purposes, or shown for such purpose in the comprehensive plan or other adopted plans.
17. A general summary description of any protective covenants or private restrictions to be incorporated in the final plat.
18. Identification of all adjoin properties, and when the adjoin properties are a part of the recorded subdivision, the name of that subdivision.
19. The existing zoning of the proposed subdivision and of all adjoin properties within 500' of the proposed plat.
20. Any other pertinent information as necessary.
21. The fee, as required by this chapter, shall be submitted with the plat submission.

All infrastructure and development improvements will be in accordance with SUDAS

PRELIMINARY PLAT PERTINENT INFORMATION REQUIREMENTS

Any other pertinent information, which may include a site plan, deemed necessary by the Zoning Administrator, to ensure a complete review of the proposed preliminary plat.

Landscaping plan, if applicable, as outlined in Chapter 168 of the City of Huxley Municipal Code.

Stormwater Pollution Prevention Plan (SWPPP)

ACKNOWLEDGEMENT AND CONSENT TO PLAT

THIS DEDICATION, made on the date hereinafter set forth by Thomas and Sheila Heinen, declarants, owners, and mortgagees of 32411 560th Avenue, Huxley, Story County, Iowa and, in support of this dedication, state and provide as follows:

WE, the undersigned, as mortgagees under a certain mortgage dated July 16, 2002, recorded as instrument number 02-10370 and as deed-holders under a certain warranty deed dated July 17, 2002 recorded as instrument number 02-10370, in Story County, Iowa covering the following described real property located in said county, to-wit:

Parcel "A" in the Northeast Quarter of Section 25, Township 82 North, Range 24 West of the 5th P.M., Story County, Iowa, as established in the Plat of Survey recorded in Story County on September 22, 1993, in Book 11, Page 229.

do hereby consent to the platting of said lands, or so much thereof as is contained in the proposed plat, and hereby join in the dedication of such lands as such subdivision and release from lien of such mortgage all streets, and all other areas shown by said plat to be dedicated to public use, and agree that in the event of foreclosure of this mortgage all easements shall survive and be enforceable.

Dated this 18th day of August 2021

Thomas A. Heinen

Thomas Heinen

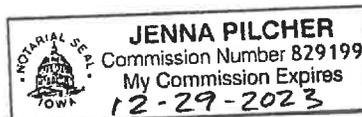
Sheila Heinen

Sheila Heinen

STATE OF IOWA
COUNTY OF STORY

This instrument was acknowledged before me on August 18, 2021 by Thomas and Sheila Heinen, owners, mortgagees, and declarants.

Jenna Pilcher
Notary Public, Iowa



P.O. Box 336
501 East 4th Street
Huxley, IA 50124
(515) 597-3401
(515) 597-3402 fax

Facebook.com/PPPLawHuxley

The Law Offices of
**PARMENTER, PILCHER,
& PILCHER**
A Professional Corporation

Nikolas "Niko" Pilcher
niko@huxleyattorneys.com

Jenna Pilcher
jenna@huxleyattorneys.com

www.Huxley-Attorneys.com

COUNTY TREASURER'S CERTIFICATE

I, the undersigned representative of the Story County Treasurer, do hereby certify that I either am the Treasurer or I am duly authorized by said Treasurer to sign this Certificate on behalf of the Story County Treasurer; and that the real estate taxes and special assessments are paid in full at the time of this certification for the property described as follows:

Parcel "A" in the Northeast Quarter of Section 25, Township 82 North, Range 24 West of the 5th P.M., Story County, Iowa, as established in the Plat of Survey recorded in Story County on September 22, 1993, in Book 11, Page 229.

Parcel Numbers: 13-25-200-445

This Certificate is prepared and intended to be filed in connection with the platting procedure for this subdivision and is prepared pursuant to Iowa Code Section 354.11(f) (2019).

Executed at Nevada, Iowa, on August 16, 2022.


[Signature]

Ted Rasmussen, Treasurer
[name, title]
Story County Treasurer

ABBOTT OSBORN JACOBS PLC
ATTORNEYS AT LAW

Partners

bosborn@midwestlawgroup.com

KEVIN V. ABBOTT †
BRETT T. OSBORN †★
TIMOTHY J. JACOBS †*

974 - 73rd Street Ste. 16
West Des Moines, Iowa 50265
Phone: (515) 223-6000
Fax: (515) 223-6011
www.midwestlawgroup.com

★ Licensed in Texas
† Licensed in Iowa
‡ Licensed in Missouri
* Licensed in Nebraska

PATRICK BUTLER ‡
KATIE J. HARTUNG †
EMILY X. DOUGLAS †
CODY J. REIMER †

August 12, 2021

South Story Bank & Trust
Attn: Kelli Brendeland
905 N US Hwy 69, PO Box 8
Huxley, IA 50124

Property Address: 32411 560th Avenue, Huxley, Iowa

Dear Ms. Brendeland:

The undersigned hereby certifies that I have examined title to the property described as:

Parcel "A" a part of the Northeast Quarter (NE 1/4) of Section
Twenty-five (25), Township Eighty-two (82) North, Range
Twenty-four (24) West of the 5th P.M., Story County, Iowa, as
shown on the Plat of Survey recorded on September 22, 1993, in
Bok 11, Page 229,

as disclosed by a continuation of abstracts, prepared pursuant to Section 614.29 through 614.38 of the Code of Iowa, last certified by Abstract & Title Services Story County, extending from October 20, 2013 at 8:00 a.m. to August 6, 2021 at 8:00 a.m.

TITLE

I find marketable title of record in fee simple and free from material objections, except as are hereinafter mentioned, to be in:

THOMAS A. HEINEN and SHEILA Y. HEINEN, husband and wife,
as joint tenants with full rights of survivorship and not as tenants in common,

Grantee named under Warranty Deed dated July 16, 2002 and filed July 17, 2002 as Instrument No. 02-10369 of the Story County Recorder's Office as shown at Entry No. 55 to the Abstract.

EXCEPTIONS

1. Entry No. 33 to the Abstracts shows a Pipeline Easement in favor of Northern Natural Gas Company, its successors and assigns filed November 10, 1966 in Book 103, Page 507 of the Story County Recorder's Office. This Easement remains in force and effect and should be taken notice of prior to closing. Entry No. 51 to the Abstract shows a Conveyance, Assignment and Bill of Sale from Enron Corp. formerly known as Northern Natural Gas

Company to Northern Natural Gas Company which was filed January 11, 1991 in Book 272, Page 159 of the Story County Recorder's Office. This Assignment conveys this easement however the name of the Company appears to be the same or is an alter ego or successor entity to the original entity involved in the easement.

2. Entry No. 41 to the Abstract shows a Plat of Survey filed September 22, 1993 in Book 11, Page 229 of the Story County Recorder's Office. This plat of survey is of parcel A being the property under examination. It depicts what appears to be a 33-foot roadway right of way along the East line of the property and depicts the boundaries and the fence line along the West boundary of the property, all as depicted thereon. You should take notice of all matters shown on the plat map prior to closing. A copy of the plat map contained within the abstract has been attached hereto for your convenience. You should consult the official plat map on file with the Story County Recorder's Office prior to closing.

3. Entry No. 56 to the Abstract shows a Real Estate Mortgage instrument dated July 16, 2002 executed by Thomas A. Heinen and Sheila Y. Heinen, husband and wife, to First State Bank, Huxley, IA for \$124,000.00 and filed July 17, 2002 as Instrument No. 02-10370 of the Story County Recorder's Office. This Mortgage has a due on sale clause and remains a first and paramount lien against the parcel under examination. This Mortgage was assigned by First State Bank to Merchants Bank, National Association, its successors and/or assigns on July 16, 2002 by filing July 17, 2002 as Instrument No. 02-10371 of the Story County Recorder's Office. I require a Release of Mortgage executed by duly authorized representatives of Merchants Bank, National Association, its successors and/or assigns.

4. Entry No. 60 to the Abstract shows a Limited Easement in favor of Xenia Rural Water District filed November 26, 2002 as Instrument No. 02-19129 of the Story County Recorder's Office. This easement is 30-feet in width centered on the water pipeline and/or its appurtenances and remains in force and effect and should be taken notice of prior to closing.

5. Entry No. 62 to the Abstract shows a Permanent Drainage Easement filed November 16, 2006 as Instrument No. 06-14032 of the Story County Recorder's Office. This easement remains in force and effect and should be taken notice of prior to closing. There is a site plan diagram pertaining to the location of the easement. The easement and the site plan diagram have been attached hereto for your convenience. This appears to affect the Eastern boundary of the parcel.

6. Entry No. 70 to the Abstract shows a Plat filed December 22, 1875 in Book 1, Page 508 of the Story County Recorder's Office. That plat map has been attached hereto for your convenience.

7. Entry No. 71 to the Abstract shows a Plat of Survey filed January 30, 1986 in Book 7, Page 172 of the Story County Recorder's Office. That plat of survey depicts the parcel just to the South of the parcel under examination and other adjoining properties in close proximity to the property under examination. You should take notice of the matters depicted thereon prior to closing. A copy of the plat of survey has been attached hereto for your convenience.

South Story Bank & Trust
August 13, 2021
Page

8. Entry No. 73 to the Abstract shows a Temporary Construction Easement filed April 29, 2020 as Instrument No. 20-04110 of the Story County Recorder's Office. The Temporary Construction Easement may remain in force and effect and may affect the use and enjoyment of the parcel under examination. You should take notice of all terms and conditions thereof and the location of the temporary construction easement prior to closing. A copy of this instrument and the site plan diagram is attached hereto for your convenience.

9. Entry No. 76 to the Abstract shows real estate taxes for the property under examination as follows:

2019/2020 fiscal year taxes: paid.
District # / Parcel #13-25-200-445

It is noted that the 2020/2021 fiscal year taxes have not yet been certified by the Assessor/Treasurer. You should contact the Story County Treasurer's Office to determine the exact tax liability of the parcel under examination prior to closing.

10. The abstract indicates that appropriate lien searches have been conducted against Thomas A. Heinen and Sheila Y. Heinen, with no judgments or liens shown except as noted above. I note no searches have been conducted against a purchaser.

11. Depending upon the nature of the transaction contemplated herein, if this is a conveyance then the marital status of the grantors and grantees should be indicated on the Deed of conveyance and be accompanied by a proper notary provision.

12. There are new requirements for sale transactions of real property that includes a building served by a private sewage disposal system. Before a deed dated on or after July 1, 2009 can be recorded, it must be accompanied by Certified Inspectors Report documenting the condition of the septic system. For further details, please refer to "time of transfer" requirements of 2008 Iowa Acts Chapter 1033 (as amended by 2009 Senate File 467).

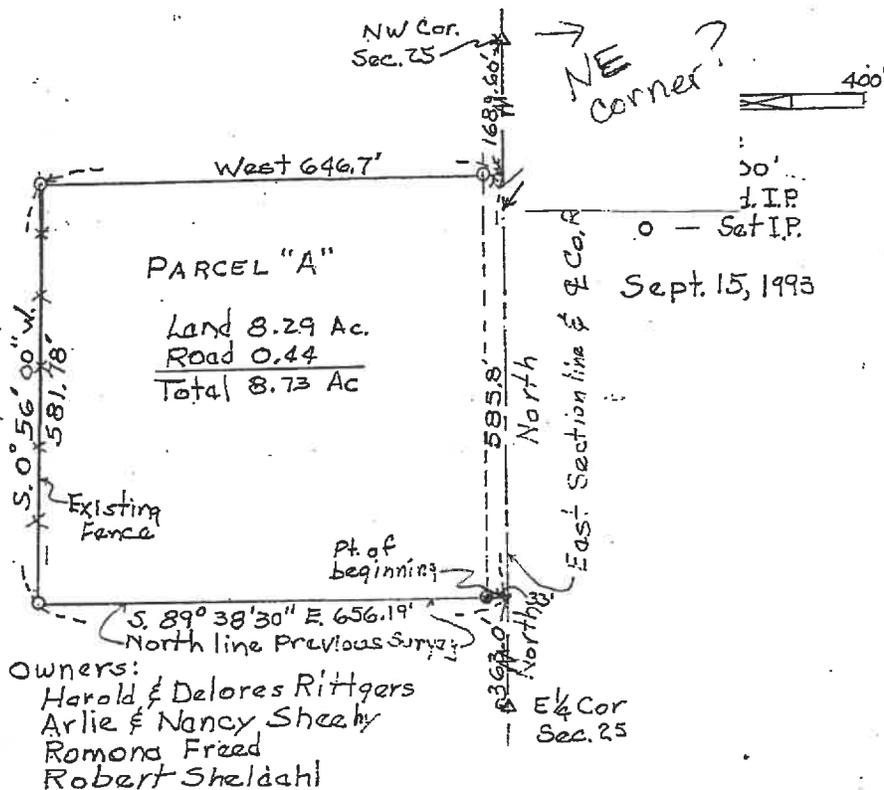
13. This title opinion is subject to my standard exceptions attached hereto and by this reference incorporated herein. You should take note of these exceptions.

Respectfully submitted,

BRETT T. OSBORN
Iowa Title Guaranty Examiner No. 3628

BTO/jdk
Abstract Enclosed

PLAT OF SURVEY
NE 1/4 Sec 25-82-24



PLAT OF SURVEY: PARCEL "A"

I hereby certify that this plat is in accord with the land survey made under my direction on September 3 & 8, 1993 of the following described real estate.

Commencing at the E 1/4 corner of Section 25, Township 82 North, Range 24 West of the 5th P.M. Story County, Iowa, thence North 363.00 feet along East line of said Section 25 to the point of beginning, thence North along said East line 585.80 feet, thence West 646.70 feet, thence S. 0° 56' 00" W. 581.78 feet, thence S. 89° 38' 30" E. along the North line of a previous survey (BK 259, P. 348) 656.19 feet to the point of beginning, containing 8.73 Acres including 0.44 Acres of road right-of-way.

I further certify that I am a duly Registered Land Surveyor under the Laws of the State of Iowa.

John Conis
John Conis, Reg. L.S. #3417

CONTINUATION OF ABSTRACT OF TITLE

TO

Parcel "A" a part of the Northeast Quarter (NE¼) of Section Twenty-five (25), Township Eighty-two (82) North, Range Twenty-four (24) West of the 5th P.M., Story County, Iowa, as shown on the "Plat of Survey" filed in the office of the Recorder of Story County, Iowa, on September 22, 1993, in Book 11, Page 229,

CONTINUED

from July 17, 2002 at 3:27 P.M. to October 20, 2015 at 8:00 A.M.

Entry #59

NOTE: The Mortgage recorded as Inst. No. 02-10370, Shown at Entry #56 and assigned at Entry #57, remains unreleased of record.

Entry #60

Thomas A. Heinen and Sheila Y. Heinen
(No Status Shown)
To
Xenia Rural Water District (the "District"),
its successors and assigns

LIMITED EASEMENT
Dated November 18, 2002
Filed November 26, 2002
Inst. No. 02-19129
Consideration: \$1.00 & og &
vc

RE: Commencing at the E¼ corner of Sec. 25-T82N-R24W of the 5th P.M., Story County, Iowa, thence North 363.00 feet along East line of Said Sec. 25 to the point of beginning, thence North along said East line 585.80 feet, thence West 646.70 feet, thence S0°56'00"W 581.78 feet, thence S89°38'30"W Along the North line of a previous Survey (Bk 259, Pg 348) 656.19 feet to the point of beginning. Containing 8.73 acres including 0.44 acres of road right-of-way.

Grants: An affirmative and perpetual easement in, to, and running with the real estate described above, together with a general and perpetual right of ingress and egress upon such real estate, LIMITED AS FOLLOWS:

1. This easement is solely for the general purposes of construction and laying and thereafter using, operating, inspecting, maintaining, repairing, replacing or removing water pipeline and any necessary appurtenances thereto over, across and through the real estate described above; and,
2. Once such water pipeline and any necessary appurtenances thereto are installed and operating, then this easement (except the general rights of ingress and egress) shall be automatically reduced in scope to a width of thirty feet, the centerline of which shall be the water pipeline and any necessary appurtenances thereto.

The District, its successors and assigns, hereby promise to maintain such water pipeline and any necessary appurtenances in good repair so that damage to adjacent real estate of Owner(s), if any damage there be, will be kept to a minimum. Said pipeline shall be placed within 30 feet from and adjacent to existing road right-of-way; provided, however, that grantee may deviate from said course to avoid natural and/or manmade barriers or obstructions.

The District further agrees:

1. To repair, or pay to repair, any tile lines and fences injured or destroyed during construction and in the course of maintenance thereafter.
2. To pay for any crops damaged or destroyed in the course of maintenance beginning one year from the date of initial construction.
3. As long as there is adequate water available, the Owner or successor Owners of the above described property may, by paying the current membership fee and other associated costs at that time, avail themselves to any number of water service hook-ups.

Abstract No. 1510223004

from July 17, 2002 at 3:27 P.M. to October 20, 2015 at 8:00 A.M.

Entry #61

Nancy Tierney,
Affiant
To
The Public

**AFFIDAVIT REGARDING
SCRIVENER'S ERROR**
Sworn May 1, 2003
Filed May 15, 2003
Inst. No. 03-09643

Affiant, being first duly sworn states:

1. I am an employee of Xenia Rural Water District ("Xenia").
2. Xenia is the grantee under that certain easement dated November 18, 2002, from Thomas A. Heinen and Sheila Y. Heinen, and recorded as Instrument No. 02-19129 in the Office of the Recorder of Story County, Iowa (the "Easement").
3. As a Xenia employee, I prepared and typed the Easement and in the process of doing so, made a typographical or "scrivener's error" in regard to the legal description.
4. The correct legal description on the Easement should read as follows:
Commencing at the E $\frac{1}{4}$ corner of Sec. 25-T82N-R24W of the 5th P.M., Story County, Iowa, thence North 363.00 feet along East line of Said Sec. 25 to the point of beginning, thence North along said East line 585.80 feet, thence West 646.70 feet, thence S0°56'00"W 581.78 feet, thence S89°38'30"E along the North line of a previous Survey (Bk 259, Pg 348) 656.19 feet to the point of beginning. Containing 8.73 acres including 0.44 acres of road right-of-way.

Entry #62

Thomas A. Heinen and Sheila Y. Heinen
(No Status Shown) ("Grantor")
To
City of Huxley, Iowa, a municipal corporation
("City")

**PERMANENT DRAINAGE
EASEMENT**
Dated October 11, 2006
Filed November 16, 2006
Inst. No. 06-14032
Consideration: \$10.00 & ovc

Conveys, upon final approval and acceptance of this easement; A perpetual easement for Drainage and Storm Sewer under, over, through and across the following described real estate:

See attached Exhibit "A"
(hereinafter called "Easement Area") for the purpose of the City constructing, reconstructing, repairing, enlarging and maintaining a Storm Sewer and drainage ditch, together with necessary appurtenances thereto, under, over, through and across said Easement Area for the following described public improvement:

SE Infrastructure Expansion Project—Phase II

This easement shall be subject to the following terms and conditions:

1. **Erection of Structures Prohibited.** Grantor shall not erect any landscaping or structure over or within the easement area without obtaining the prior written approval of the City Engineer.
2. **Change of Grade Prohibited.** Grantor shall not change the grade, elevation or contour of any part of the easement area without obtaining the prior written consent of the City Engineer.
3. **Right of Access.** The City shall have the right of access to the easement area and have all rights of ingress and egress reasonably necessary for the use and enjoyment of the easement area as herein described, including but not limited to, the right to remove any unauthorized obstructions or structures placed or erected on the easement area.
4. **Easement Runs With Land.** This easement shall be deemed to run with the land and shall be binding on Grantor and on Grantor's successors and assigns.
5. **Approval By the City.** This easement shall not be binding until it has received the final approval and acceptance by the City.

ABSTRACT & TITLE SERVICES

Grantor does HEREBY COVENANT with the City that Grantor holds said real estate described in this easement by title in fee simple; that grantor has good and lawful authority to convey the same; and said Grantor covenant to WARRANT AND DEFEND the said premises against the lawful claims of all persons whomsoever.

Each of the undersigned hereby relinquishes all rights of dower, homestead and distributive share, if any, in and to the interests conveyed by this easement.

Abstractor's Note: Thomas A. Heinen signs this instrument Tom Heinen.
EXHIBITS (attached) shown following.

EASEMENT PLAT

DRAINAGE EASEMENT DESCRIPTION

THAT PART OF PARCEL "A" AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 11, PAGE 229 AND BEING IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 82 NORTH, RANGE 24 WEST OF THE 5TH P.M., STORY COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 25; THENCE NORTH 0°00'01" EAST ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 OF THE NORTHEAST 1/4, A DISTANCE OF 363.11 FEET; THENCE NORTH 89°43'14" WEST 33.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF 560TH AVENUE AND TO THE POINT OF BEGINNING; THENCE NORTH 26°38'42" WEST, 112.35 FEET; THENCE NORTH 0°00'01" EAST, 45.39 FEET; THENCE NORTH 23°00'31" EAST, 128.76 FEET TO A POINT ON SAID WEST RIGHT-OF-WAY LINE; THENCE SOUTH 0°00'01" WEST ALONG SAID WEST RIGHT-OF-WAY LINE, 264.36 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.18 ACRES (7,795 S.F.).

Revised 7-19-2006 by JCC

LICENSED LAND SURVEYOR

Dave L. Joens

11579

IOWA

I hereby certify that this land surveying document was prepared and the related surveying work was performed by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.

Dave L. Joens 7/19/2006 Date

Dave L. Joens, PLS Date

License Number 11579

My License Renewal Date is December 31, 2005

Pages or sheets covered by this seal:

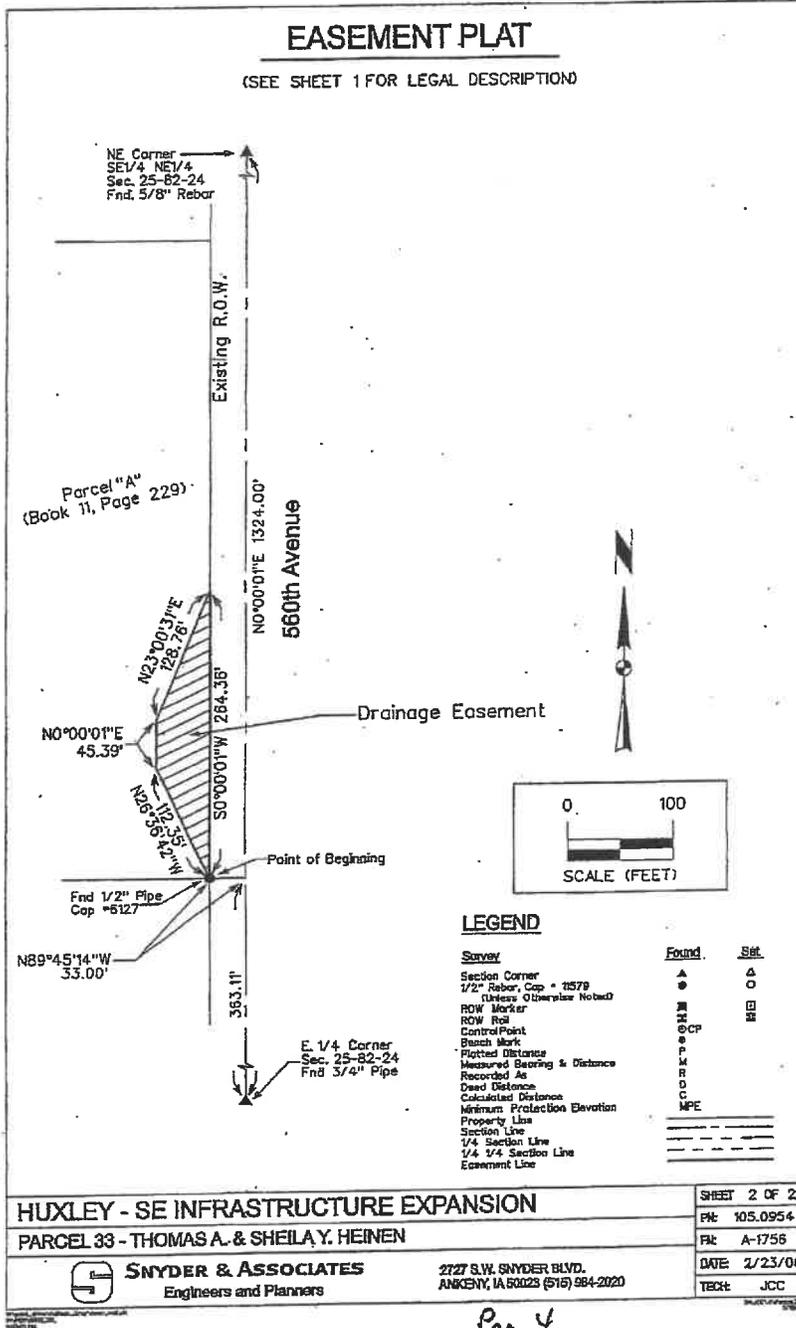
Sheets 1 and 2

| | | |
|--|---|---------------|
| HUXLEY - SE INFRASTRUCTURE EXPANSION | | SHEET 1 OF 2 |
| PARCEL 33 - THOMAS A. & SHEILA Y. HEINEN | | P/N: 105.0954 |
| SNYDER & ASSOCIATES Engineers and Planners | 2727 S.W. SNYDER BLVD. ANKENY, IA 50023 (515) 964-2020 | P/N: A-1756 |
| | | DATE: 2/23/06 |
| | | TECH: JCC |

Page 3

EASEMENT PLAT

(SEE SHEET 1 FOR LEGAL DESCRIPTION)



HUXLEY - SE INFRASTRUCTURE EXPANSION

PARCEL 33 - THOMAS A. & SHEILA Y. HEINEN

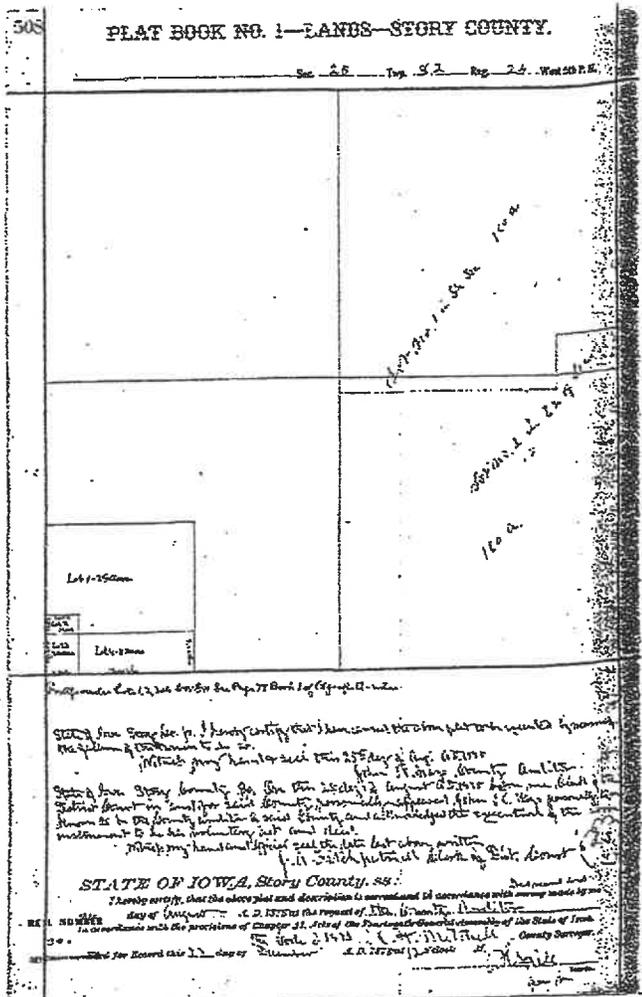


SNYDER & ASSOCIATES
Engineers and Planners

2127 S.W. SNYDER BLVD.
ANKENY, IA 50023 (515) 984-2020

| | |
|-------|----------|
| SHEET | 2 OF 2 |
| PL# | 105.0954 |
| PK# | A-1758 |
| DATE | 2/23/06 |
| TBO# | JCC |

Page 4



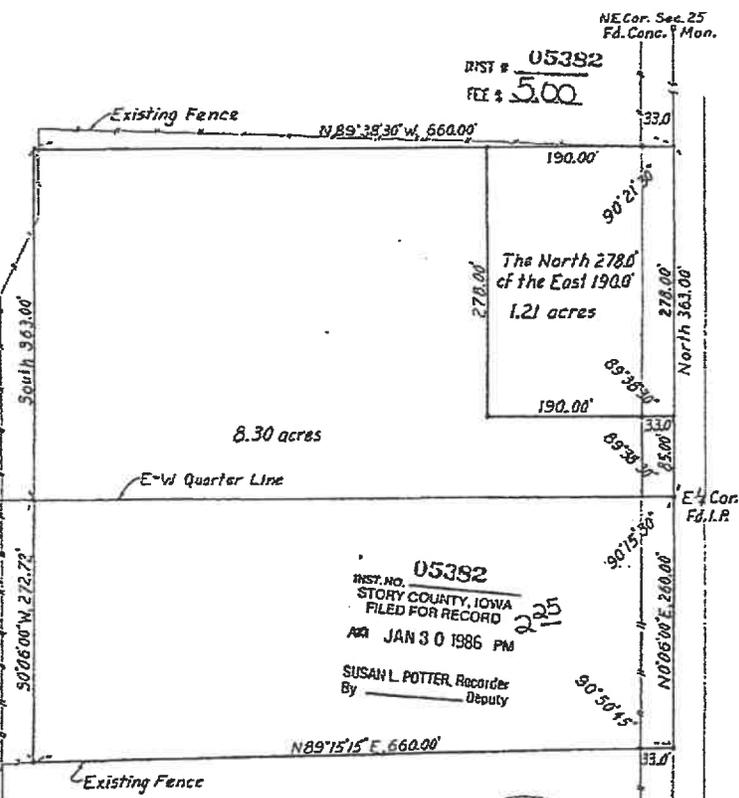
Entry #71

Richard E. Montag,
Iowa Registered Prof. Engr.
& Land Surveyor
To
The Public

PLAT OF SURVEY
Dated October 26 & November
2, 1985
Filed January 30, 1986
Book 7, Page 172

See Plat shown following.

ABSTRACT & TITLE SERVICES



05392
STORY COUNTY, IOWA
FILED FOR RECORD
JAN 30 1986 PM
SUSAN L. POTTER, Recorder
By Deputy



SURVEY PLAT
Scale: 1" = 100'

Surveyor's Certification:

I hereby certify that the above plat is in accord with a survey made by me for Harriet Sheldahl on October 26 and November 2, 1985 of the following described real estate:

Commencing at the NE Cor., Sec. 25, T82N, R26 W of the 5th P.M., Story County, Iowa: thence North 363.00 ft. along the East line of the SE 1/4 of said Sec. 25; thence N89°38'30"W, 660.00 ft.; thence South 363.00 ft.; thence S0°06'00"W, 272.72 ft.; thence N89°15'15"E, 660.00 ft. to the East line of the SE 1/4 of said Sec. 25; thence E0°06'00"E, 272.00 ft. along the East line of said SE 1/4 to the point of beginning, except the North 278.0 ft. of the East 190.0 ft. thereof, containing 8.30 acres.

Iron pins at all corners marked *.

Richard E. Montag
Richard E. Montag
Registered Land Surveyor
and Professional Engineer

BOOK 7 PAGE 172

Entry #72
(For Informational Purposes)

Harriet A. Sheldahl, a/k/a Harriet Sheldahl,
a Single Person
To
Steven Alan Flickinger and Camille Sue Flickinger,
Husband and Wife, as Joint Tenants with Full Rights
of Survivorship and Not as Tenants in Common

**WARRANTY DEED –
JOINT TENANCY**
Dated August 7, 1989
Filed August 22, 1989
Book 259, Page 348
Consideration: \$1.00 & ovc

Conveys:

The North Two Hundred Seventy-eight (278) Feet of the South Three
Hundred Sixty-three (363) Feet of the East One Hundred Ninety (190)
Feet of the Northeast Quarter (NE $\frac{1}{4}$) Section Twenty-five (25),
Township Eighty-two (82) North, Range Twenty-four (24) West of the
5th P.M., Story County, Iowa, containing 1.21 Acres subject to
public road.

Also described as:

Commencing at the East 1/4 Corner of Section 25, Township 82 North,
Range 24 West of the 5th PM, Story County, Iowa, thence North 363.0
feet along the East line of the NE 1/4 of said Section 25; thence North
89°38'30" West 190.0 feet; thence South 278.0 feet; thence South
89°38'30" East 190.0 feet to the East line of the NE 1/4 of said Section 25;
thence South along the East line of said Section to the point of beginning.

Abstractor's Note: This instrument is referenced in the Parcel "A" plat
description shown at Entry #41. No plat shown attached.

Entry #73

Thomas A. Heinen and Sheila Y. Heinen,
Husband and Wife
To
City of Huxley, Iowa

**TEMPORARY
CONSTRUCTION
EASEMENT**
Dated March 20, 2020
Filed April 29, 2020
Inst. No. 20-04110
Consideration: \$500.00

States:

That we, the undersigned, Thomas A. Heinen and Sheila Y. Heinen (husband and wife),
of the County of Story, State of Iowa, in consideration of \$ 500.00 in hand paid by
the CITY OF HUXLEY, IOWA, the receipt of which is hereby acknowledged do hereby sell,
grant and convey unto the City of Huxley, Iowa, a municipal corporation, in the County of
Story, State of Iowa, an easement under, through and across the following described real
estate:

Parcel "A" the Northeast Quarter of Section 25, Township 82 North, Range 24 West of the
5th P.M., in the City of Huxley, Story County, Iowa, as established in the Plat of Survey
recorded in Story County on September 22, 1993, in Book 11, Page 229.

Temporary Construction Easement (see attached Exhibit EAS-6)
Said temporary easement being more particularly described in two (2) segments as follows:

Segment 1
Beginning at the Northeast corner of said Parcel "A"; thence South 00°00'12" West along
the East line of said Parcel "A", 173.00 feet; thence North 89°59'48" West, 40.00 feet;
thence North 00°00'12" East, 173.00 feet to the North line of said Parcel "A"; thence
South 89°59'48" East along said North line, 40.00 feet to the point of beginning,
EXCEPTING THEREFROM the East 33.00 feet thereof.

Containing 1,211 square feet, more or less.

Segment 2

Commencing at the Southeast corner of said Parcel "A"; thence North 00°00'12" East along the East line of said Parcel "A", 113.00 feet to the point of beginning; thence North 89°59'48" West, 33.00 feet; thence North 12°40'37" West, 102.50 feet; thence North 12°41'02" East, 102.50 feet; thence South 89°59'48" East, 33.00 feet to said East line; thence South 00°00'12" West along said East line, 200.00 feet to the point of beginning, EXCEPTING THEREFROM the East 33.00 feet thereof.

Containing 2,250 square feet, more or less. Total area containing 3,461 square feet, more or less.

That said easements are granted unto the City of Huxley, Iowa, for the purpose of the construction, installation and maintenance of the following described public improvement:

560TH Avenue Paving

In connection herewith it is specifically agreed that by this easement, the City of Huxley shall have the right to enter upon said premises as shall be necessary to construct, reconstruct, inspect, repair, operate and maintain and service any and all of said improvements and all appurtenances thereto, together with the right to use and operate said improvements as it deems necessary.

The temporary construction easement shall be for a 12-month period at which time it will cease and terminate.

The said municipal corporation shall restore said described land to a satisfactory condition after construction and/or maintenance in substantially the same condition as prior to entry.

It is further agreed that no permanent improvement shall be built or placed upon the above described easement, and that if such improvements are built or constructed, in violation of this easement, the City of Huxley shall in no way be responsible for any damages thereto resulting from the construction, reconstruction, maintenance or repair of the aforesaid improvements.

That the grantors do hereby covenant with the said grantee, and successors in interest, that said grantors hold said real estate by title and fee simple; that they have good and lawful authority to sell and convey the same; that said premises are free and clear of all liens and encumbrances whatsoever except as may be hereinabove stated; that said grantors covenant to warrant and defend the said premises against the lawful claims of all persons whomsoever, except as may be above stated.

EXHIBIT EAS-6 (attached) shown following.

EASEMENT DRAWING

FOR TEMPORARY CONSTRUCTION BEING CONVEYED TO THE CITY OF HUXLEY, IOWA

PROPERTY OWNER:
 THOMAS A. HEINEN & SHELBY, HEINEN
 32411 580TH AVE
 HUXLEY, IOWA 50124
 INSTRUMENT# 02-19288

| LINE | BEARING | LENGTH |
|------|-------------|---------|
| L1 | S00°00'12"W | 173.00' |
| L2 | N89°59'48"W | 40.00' |
| L3 | N00°00'12"E | 173.00' |
| L4 | S89°59'48"E | 40.00' |
| L5 | N89°59'48"W | 33.00' |
| L6 | N12°40'37"W | 102.50' |
| L7 | N12°41'02"E | 102.50' |
| L8 | S89°59'48"E | 33.00' |
| L9 | S00°00'12"W | 200.00' |



LEGEND

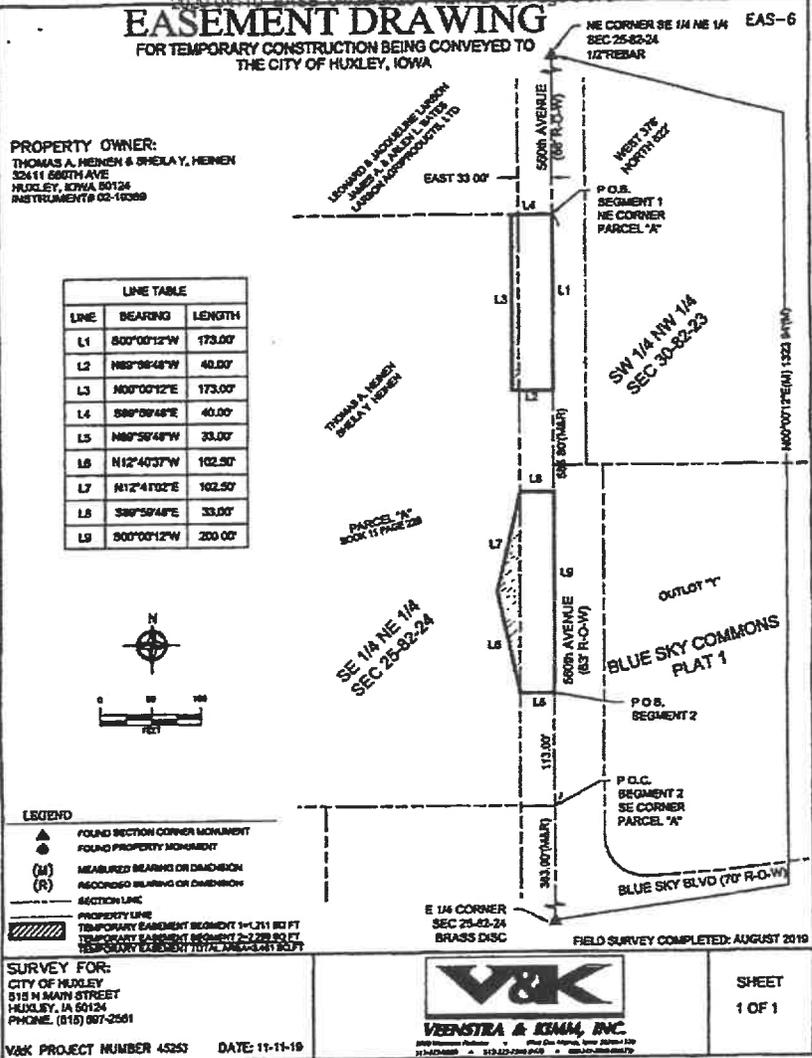
- ▲ FOUND SECTION CORNER MONUMENT
- FOUND PROPERTY MONUMENT
- (M) MEASURED BEARING OR DIMENSION
- (R) RECORDED BEARING OR DIMENSION
- SECTION LINE
- PROPERTY LINE
- TEMPORARY EASEMENT SEGMENT 1 - 1251.80 FT
- TEMPORARY EASEMENT SEGMENT 2 - 2789.80 FT
- TEMPORARY EASEMENT TOTAL - 4041.60 FT

SURVEY FOR:
 CITY OF HUXLEY
 818 W MAIN STREET
 HUXLEY, IA 50124
 PHONE: (515) 987-2561

V&K PROJECT NUMBER 45253 DATE: 11-11-19



SHEET
1 OF 1



OFFER TO DONATE (attached) shown following.

ABSTRACT & TITLE SERVICES

**CITY OF HUXLEY
560TH AVENUE PAVING – BLUE SKY BLVD TO E 1ST ST
TEMPORARY CONSTRUCTION EASEMENT
OFFER TO DONATE**

Date: December 12, 2019 Name: Thomas A. Heinen and Sheila Y. Heinen
Project: 560th Avenue Paving – Blue Sky Blvd to E 1st St Address: 32411 560th Ave
Huxley, Iowa 50124-8001
Parcel Number: 13-25-200-445 Identified Just Compensation: \$174.00
450000

As owner(s) of real estate needed for the above referenced project and parcel, I/We acknowledge the fact that I/We am/are entitled to just compensation based upon the City of Huxley approved compensation estimate of the subject real estate; nevertheless, I/We desire to donate the temporary construction easement on the property of interest. I/We agree to sign the conveyance documents necessary to provide a temporary construction easement on said property of interest. Furthermore, this donation to the City of Huxley is made without any coercive action of any nature.

Tom Heinen / 3/20/20
Owner Date

This section to be completed by easement acquisition agent

On _____, I offered Thomas A. Heinen and Sheila Y. Heinen, owner(s) of the above-mentioned real estate, an opportunity to donate this temporary construction easement by:

____ personal contact ____ telephone x letter
This offer to donate was: ____ accepted ____ declined

Presented by:
[Signature] Dec 12, 2019
Jeremy B. Enano, Veenstra & Kimm, Inc. Date
Acting as Easement Acquisition
Agent on Behalf of the City of Huxley

— Entry #74 —

Terry Coady,
Iowa Licensed Professional Land Surveyor
To
The Public

CORNER CERTIFICATE
Dated August 4, 2021
Filed August 4, 2021
Inst. No. 21-10052

See Plat shown following.

DO NOT WRITE IN THE SPACE ABOVE, RESERVED FOR RECORDER

Prepared By: Amelia Schoeneman, Story County Planning and Development, 900 6th Street, Nevada, IA 50201 (515) 382-7245
Please Return to the Story County Planning & Development Department

**STORY COUNTY IOWA
RESOLUTION OF THE BOARD OF SUPERVISORS
RESOLUTION 23-47**

EXTENDING THE AMES URBAN FRINGE PLAN 28E AGREEMENT TO APRIL 30, 2023

WHEREAS, the current Ames Urban Fringe Plan (AUFPP) was initially prepared July 2006 for Story County, Boone County, the City of Ames, and the City of Gilbert; and

WHEREAS, the provisions of the Code of Iowa, Chapter 28E were adopted to facilitate such inter-jurisdictional cooperative efforts; and

WHEREAS, a 28E Agreement, the Ames Urban Fringe Joint and Cooperative Agreement, was adopted on July 11, 2011, and recorded on July 15, 2011, as Instrument Number 2011-00006589 between Story County, the City of Ames and City of Gilbert; and

WHEREAS, the 28E Agreement was effective for five years after the date of adoption with automatic renewal for an additional five years; and

WHEREAS, the expiration of the 28E Agreement was extended by Story County, the City of Ames, and City of Gilbert to July 11, 2022; and

WHEREAS, the expiration of the 28E Agreement was again extended by Story County, the City of Ames, and City of Gilbert to November 7, 2022, and the 28E was filed as expiring on November 11, 2022, with the Iowa Secretary of State; and

WHEREAS, the expiration of the 28E Agreement was again extended by Story County, the City of Ames, and the City of Gilbert to January 1, 2023; and

WHEREAS, under the 28E Agreement Sections 9 and 7, the parties may extend the current agreement, which allows the jurisdictions to continue to work together to amend the agreement; and

WHEREAS, the Story County Board of Supervisors support an extension of the current AUFPP 28E Agreement to April 30, 2023, to allow adequate time for all jurisdictions to work together on goals and policy amendments to the future AUFPP.

NOW, THEREFORE, BE IT RESOLVED that the Board of Supervisors directs Story County Planning and Development Staff to send resolution number 23-47 to the other jurisdictions.

Dated this 6th day of December 2023



Chairperson, Board of Supervisors

Attest:

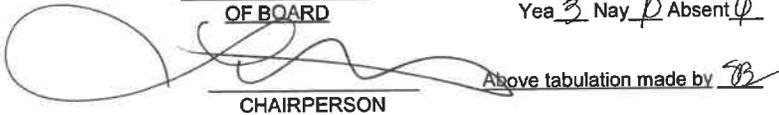


County Auditor

| | | | | |
|----------------------|-----------------------|---|------------------------------|---------------------------------|
| ROLL CALL | <u>Latifah Faisal</u> | Yea <input checked="" type="checkbox"/> | Nay <input type="checkbox"/> | Absent <input type="checkbox"/> |
| FOR ALLOWANCE | <u>Lisa Heddens</u> | Yea <input checked="" type="checkbox"/> | Nay <input type="checkbox"/> | Absent <input type="checkbox"/> |
| | <u>Linda Murken</u> | Yea <input checked="" type="checkbox"/> | Nay <input type="checkbox"/> | Absent <input type="checkbox"/> |

**ALLOWED BY VOTE
OF BOARD**

Yea 3 Nay 0 Absent 0



CHAIRPERSON

Above tabulation made by JB



Story County Planning and Development
 Administration Building
 900 6th Street, Nevada, Iowa 50201
 Ph. 515-382-7245 www.storycountyiaowa.gov

~~APPROVED~~ ~~DENIED~~
 Board Member Initials:
 Meeting Date: 12.6.22
 Follow-up action: Direction to make changes as discussed and return for review

Memorandum

DATE: December 6, 2022
TO: Story County Board of Supervisors
FROM: Amelia Schoeneman, Story County Planning and Development Director
RE: Draft Ames Urban Fringe Plan Update-Ames Response to Board of Supervisors' Letter Requesting Changes to the Plan Based on Public Input and Final Extension of the Current Ames Urban Fringe Plan

Summary

This memo discusses the City of Ames' response to the Board of Supervisors' requested changes to the draft Ames Urban Fringe Plan. While the City and County are in agreement on the majority of the requested changes, the Board will need to determine if the City's proposed compromises on the issues of removing limitations on conditional uses in the Urban Reserve Overlay and Urban Growth areas and not permitting annexation of areas in the Urban Reserve Overlay are acceptable. The City also did not accept the Board's request to change the designation of the Champlin property, but did agree to designate Meadow Glen as Rural Residential – Existing.

The Board has three main alternatives:

- Accept the City of Ames' changes and direct County staff to work with Ames and Gilbert city staff to create a final plan, 28E agreement, and schedule public hearings for the first quarter of 2023.
- Request additional changes. Staff could return with a letter outlining any additional changes for action at a future meeting.
- Discontinue the update process and let the Fringe Plan dissolve.

County staff recommends the first alternative, to accept the changes. This would also entail directing staff to further work to refine several policies and mapping during the process of finalizing the Plan.

Based on the Ames City Council's discussion at their October 25 and November 22, 2022, meetings, staff has concerns that if the Board does not accept the City's proposed changes, the Council will either request to remove all policies but those for subdivision review from the Plan or dissolve the Plan. The Council did not express interest in further negotiations beyond what the City of Ames staff provided to the Board for their consideration.

Staff believes that there are significant benefits to the County in having a Fringe Plan. Having no Plan, or a Plan limited to review of subdivisions, would result in the loss of these benefits. Benefits include:

- Having a Plan that shows Urban Growth and Urban Reserve Areas:
 - Provides transparency to land owners about future city growth.

- Assists the County in making appropriate land use decisions, including for conditional uses and rezonings.
- Without a Plan, or with a Plan limited to subdivision review, there are no policies on when annexation is allowed or appropriate. A city may annex land with very limited or no input from the County.
- The Plan provides clear policies for where and when new rural residential development (e.g. subdivisions over two lots for dwellings) is permitted. This allows for some limited rural residential subdivisions while not impeding efficient city growth.
- The Plan allows for incremental, efficient city growth. Infill development cannot account for all housing growth. An overly restrictive plan could lead to a large mismatch in supply and demand for housing.
- The Plan provides clear policies and flexibility to allow the division of land in the unincorporated area. For example, without the Plan, the City of Ames and Gilbert would review all divisions within two miles of city boundaries. This includes divisions to reduce lot sizes and adjust parcel boundaries. There would be no set allowance for these types of divisions and a city may require full infrastructure and subdivision standards to be met or deny the divisions. A city would also review all divisions to create new development lots. In the case of Ames, the City would not have policies to support these types of divisions.
- Finally, without clear review processes and roles for each cooperator agreed to in a plan, staff is concerned that the development review process would be costly and cumbersome. There would not be clear policies and standards for the type of development each cooperator may entertain.

If the Board acts to either accept the changes or request additional changes, they may also request to extend the current Ames Urban Fringe Plan. The current Plan was extended until January of 2023. Staff would recommend an expiration date of April 30, 2023, to allow adequate time for edits to be made and for all three cooperators to have public hearings.

Background

The Board of Supervisors took action to send the City of Ames and Gilbert a letter requesting changes to the draft Ames Urban Fringe Plan, based on public input, at its September 20, 2022, meeting.

The Ames City Council took action on October 25, 2022, to direct staff on how to respond to the Board's request. Options presented to the Council included:

- Option 1: Update Plan with only subdivision policies for all areas within the Fringe
- Option 2: Update Plan with City specific edits to the draft for City Council approval
- Option 3: Discontinue the update process and let the Fringe Plan dissolve
- Option 4: Hold a Joint Meeting with the Story County Board of Supervisors and City of Gilbert

There was discussion among the Council that, based on the Board's requests, the City and County may not be able to come to an agreement on a final Fringe Plan. The option to limit the Plan to only policies on the review of subdivisions (no policies on land use, annexation, etc.) was also discussed as an option to ensure agreement between the City and County. A fifth option to reject the Board's requests and to have the Board of Supervisors send a new letter with requests that may be more amenable to the City was also discussed. However, a majority of the Council determined that they wanted to pursue Option 2,

directing City staff to draft changes to the Plan that responded to the Board's concerns while not compromising on the City's priorities.

At their November 22, 2022, meeting, the Ames City Council took action to send the other cooperators (Gilbert and Story County) a new draft of the Ames Urban Fringe Plan that accounts for the majority of the Board's requests. Appendix A includes a summary of each of the Board's requests and the City's response. The Council did again discuss the discontinuation of the update process or the option to refocus on a Plan that is limited only to subdivision review policies if the Board is not open to the City's proposed changes. Several council members expressed a lack of interest in continuing to dedicate staff time to further negotiations.

There were several larger requests made by the Board that the City did not fully agree to, including removing limitations on conditional uses in the Urban Reserve Overlay and Urban Growth areas, changing the designation of the Champlin property, and not permitting annexation of areas in the Urban Reserve Overlay. The City did propose several compromises related to these issues. Staff has provided further analysis of these items and recommendations on how to proceed below (please note they are numbered based on the numbering of summary of the Board's requests in Appendix A).

Staff Analysis and Recommendations

1. **Board Request:** Remove the strategy to limit certain conditional uses through an amendment to the County's Land Development Regulations.

City action: The City of Ames supported narrowing the list of conditional uses not permitted in the Urban Reserve Overlay and Urban Growth areas. They proposed removing bed and breakfasts (which would include event venues), indoor recreational facilities, and lodges and fraternal organizations from the list.

Staff analysis: Maintaining a list of some prohibited conditional uses is essential to Ames' participation in the Plan. City staff and the Council did express that the County's agreement to limit conditional uses was the greatest benefit to the City in the Ames Urban Fringe Plan. From an October 25, 2022, [staff report](#) on the Board's requests "Staff believed if such limitation were approved by the County, it would be the most beneficial aspect of Fringe Plan for the City."

The conditional uses removed from the list were "indoor uses". Removing bed and breakfasts, indoor recreational facilities, and lodges and fraternal organizations was discussed by the County's Planning and Zoning Commission during their review of public input as an alternative to removing all limits on conditional uses in the Plan. County staff indicated they supported removing these uses at that time.

The remaining uses are those that present the most obvious conflicts to future city growth, both in terms of nuisance issues, their integration with future city neighborhoods, and simply due to the area of land they may occupy, which can preclude the efficient provision of utilities and affect uniform city growth patterns. The remaining uses on the list of conditional uses not permitted in the Urban Reserve Overlay and Urban Growth areas include:

- Adult Uses
- Agricultural Lime Storage and Processing Operations

- Campground/RV Park
- Commercial Wind Energy Conversion Systems
- Drag Strips and Other Similar Courses or Tracks
- Landfills
- Power Plants and Substations
- Salvage Yards
- Shooting Ranges
- Solar Energy Conversion Systems
- Surface Mineral Extraction and Processing
- Yard Waste Composting

The creation of nonconforming uses by no longer permitting certain conditional uses was a common theme of comments. If there is an existing use that can no longer seek a conditional use permit, it would be considered nonconforming. This status imposes restrictions on expanding and rebuilding. Based on the Ames City Council's discussion, and confirmation from City staff, it is not the City's goal to eliminate existing conditional uses. Their primary goal is to not see the establishment of new incompatible uses. City staff indicated that it was their intent to work with the County to reasonably accommodate existing conditional uses that may be on the list of non-permitted uses in the Urban Reserve Overlay and Urban Growth Areas. City staff did include a note on page 18 of the edited Plan to "exclude or address policies for existing operations."

A future amendment to the County's code to limit these uses in the Urban Reserve Overlay and Urban Growth areas could include a new conditional use to allow the expansion of nonconforming uses. This was proposed by County staff to the Planning and Zoning Commission during their review of public input and the commission was supportive of this solution. They requested it be included on the department's 2023 work program. This is similar to a process that the City of Ames has in place for certain nonconforming uses.

Staff Recommendation: Staff recommends the Board accept the City of Ames' changes to incorporate in a final draft.

Staff believes the limited list is reasonable. There are methods to address any nonconformities created through such an amendment to the County's code and the City is interested in working with County staff to address this potential issue. Further, staff believes that there are also benefits to the County in limiting these uses as the County shares the goal for efficient city growth driving this policy.

2. **Board Request:** Supplant the Urban Reserve Overlay's annexation policies with a policy that annexation of areas in the Urban Reserve Overlay is not permitted during the life of the Ames Urban Fringe Plan. Further discuss reducing the area mapped with the Urban Reserve Overlay.

City action: The City of Ames did not support the request to not permit annexation of the Urban Reserve areas. However, the following areas were proposed to be removed from the Urban Reserve Overlay by the City of Ames: south of Worle Creek; north of 190th, west of the railroad tracks; and west of George Washington Carver (including the area south of 190th). Figure 1,

prepared by City staff, shows these areas. They would be mapped as Agriculture and Farm Service, which is not allowed to be annexed.

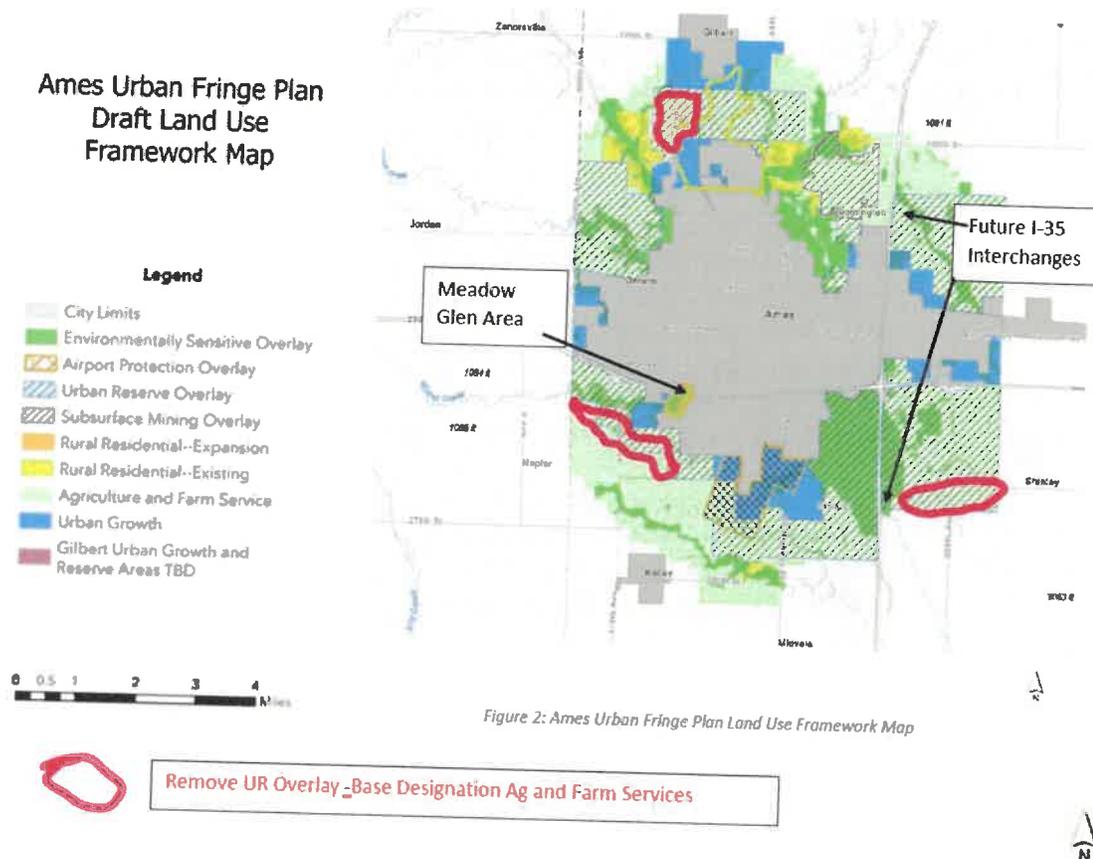


Figure 2: Ames Urban Fringe Plan Land Use Framework Map

Figure 1 Ames Urban Fringe Plan Draft Land Use Framework Map with Areas of the Urban Reserve Overlay Proposed to be Removed by the City of Ames, prepared by City of Ames staff

Staff analysis: If there was no Ames Urban Fringe Plan, the City of Ames (or Gilbert) may annex these areas. A city does not have an incentive to limit itself in regarding annexation through the Fringe Plan. However, likely due to other benefits of having a cooperative agreement (e.g. limitations on conditional uses), the City of Ames did propose several changes related to the Board's request.

The Board of Supervisors' letter indicated that the policy changes were requested so that annexation was not permitted specifically in the area between Ames and Gilbert and southwest

of Ames. In response, the following areas were proposed to be removed from the Urban Reserve Overlay by the City of Ames: south of Worle Creek; north of 190th, west of the railroad tracks; and west of George Washington Carver. These areas are portions of the larger areas the Board had specifically requested to be amended. By leaving the remainders of these areas as Urban Reserve and as annexable, the City is rejecting the Board's full request.

The City of Gilbert sent Story County and the City of Ames a letter on November 29, 2022, requesting that neither city annex between 180th and 190th. City of Ames staff will present the letter and request to their City Council at their next meeting in December. County staff appreciates Gilbert's request and involvement in the planning process. However, as the County has already effectively made this request to Ames, staff does not feel the County needs to re-request not allowing annexation in this area. Staff does not believe there is any more room for negotiation on this issue. Again, in response to the County's request, the City did remove some of the Urban Reserve Overlay. They also agreed to several policy changes in the Urban Reserve Overlay:

- Ames did agree to a policy that annexation of the Urban Reserve Overlay requires concurrence with city infrastructure. This means that the annexation of the remaining areas designated as Urban Reserve will be very long-term, beyond the planning horizon of the Ames Urban Fringe Plan.
- And, Ames did propose a 28E to establish an agreed-upon annexation limit for both the City of Ames and Gilbert at 180th. They also proposed a policy to prohibit involuntary annexations of properties in the designation.

Based on the Ames City Council's discussion and response, County staff has concerns about continuing to request the entirety of the area between 180th and 190th be removed from the Urban Reserve Overlay and/or not annexed. This could result in the City of Ames pursuing a Plan with no policies on annexation or dissolving the Plan.

Staff Recommendation: Staff recommends the Board accept the City of Ames' changes to incorporate in a final draft.

Staff would note that by removing the Urban Reserve Overlay south of 190th and west of George Washington Carver, it will likely facilitate amendments to the Rural Residential – Expansion designation in the area and the area north of 190th and west of George Washington Carver. The Board could direct staff to work with city staff (Ames and Gilbert) to further refine the mapping in this area if this is a concern.

6. **Board Request:** Consider mapping the Champlin Farms property as Agriculture and Farm Service with the Urban Reserve Overlay, but not as annexable, and the areas to the east along State Avenue and Meadow Glen Road as Rural Residential – Existing.

City action: The City of Ames did not support changing the designation of the Champlin Farms property. Discussion included that due to the availability of utilities, they felt it was appropriately designated as Urban Growth.

The City did support changing the Meadow Glen area to Rural Residential – Existing. This would allow additional divisions of the parcels and give the County subdivision review authority.

However, the City did add a policy that voluntary annexations of properties in the Rural Residential – Existing designation is permitted (including annexations where 80% of the land area includes consenting property owners and 20% includes nonconsenting property owners).

This policy was added because if the Champlin property were to be annexed, the area along State Avenue, Meadow Glen Road, and Dartmoor Road between the Champlin property and the City could be considered an island of unincorporated land if it weren't also annexed. The creation of islands is prohibited by state code (§ 368.7) as they present issues for the provision of services and for the maintenance of roads and other infrastructure. City staff did note to the Council that more land area than the Champlin property would be needed in order to voluntarily annex the Meadow Glen area if there were nonconsenting properties. They described the likelihood of the annexation at the November 22, 2022, meeting as long-term and only if necessary.

The City Council also added a policy that involuntary annexations (where no property owner is consenting) are prohibited in the Urban Reserve Overlay, Rural Residential - Existing, and Rural Residential - Expansion areas. This would apply to the Meadow Glen area.

Staff Analysis: Staff believes the mapping of the Meadow Glen area as Rural Residential – Existing and allowing for voluntary annexation is an appropriate solution if the surrounding areas remain as annexable.

Regarding the Champlin property, this property is similar to the Urban Reserve Overlay in that the Board of Supervisors specifically asked for the property's designation to be changed to not allow its annexation. The City of Ames determined that the change did not match their interests and rejected the request. If there was no Ames Urban Fringe Plan, the City of Ames may annex the property. The City of Ames does not have an incentive to limit itself in this regard through the Fringe Plan. Staff does not believe there is any more room for negotiation on this issue.

A common theme from public comments was concern about the impact of city development on Worle Creek. Ames has policies that require inventories or further identification of environmentally sensitive areas when a development is proposed. Protections or certain design standards may be required based on the results of the inventory. They also have stormwater management requirements, including buffers from waterways and limits on runoff from development so that it is not greater than when the property was a prairie or meadow prior to modern agriculture. The areas around Worle Creek have steep slopes and may preclude development near the riparian area. Areas in row crop production on the property are likely more conducive to development.

Staff Recommendation: Staff recommends the Board accept the City of Ames' changes to incorporate in a final draft.

8. **Board Request: Simplify the policy for reducing lot sizes for dwellings in the Agriculture and Farm Service designation so that parcels under 35 acres in size that are otherwise buildable may also be further reduced in size.**

AND

- 14. Board Request:** Consider allowing the reconfiguration or division of land in the Agriculture and Farm Service Designation and Urban Reserve Overlay for commercial or conditional uses, similar to the allowance to reduce the lot size for single-family dwellings. No new development lots could be created for additional commercial or conditional uses. The County may consider a policy to route these plats to the other cooperators for comment related to their subdivision standards.

City action: There was some confusion on these requests and the Council did not directly address them. The Council did accept a related request to allow the reduction of parcels 35-acres in size in the Urban Reserve and Agriculture and Farm Service designations to facilitate the construction of one single-family dwelling.

Staff Analysis: Initially, these policies were proposed to provide more flexibility to reduce the size of an otherwise buildable lot, under 35 acres in size. This may facilitate residential development. Similarly, there were goals to provide additional flexibility for commercial development to reduce or reconfigure lot sizes.

Staff has further considered these policies and has several concerns.

- Parcels under 35 acres in size are usually smaller because they are the products of a previous division of land. It is likely that the other parcel of land that resulted from the division already contains a dwelling. The policy may be counter to the County's goals for rural density and development patterns in the Agriculture and Farm Service Area/Urban Reserve Overlay.
- Because the Urban Reserve Overlay has replaced the previous Urban Residential designation in the Fringe Plan mainly in the areas southwest and west of Ames, along Onion Creek and Worle Creek, parcels that did not previously meet an exception to the 35 acre lot size due to their designation now may. The draft Fringe Plan will already be facilitating the development of these undersized parcels.

Staff now questions if further facilitation of residential development of these undersized parcels is needed. Again, the policy is not causing or allowing a parcel to be "buildable" for a dwelling, just allowing a parcel to be further reduced in size if it is buildable.

Staff has similar concerns about facilitating commercial development in otherwise agricultural areas with the policy to allow reduced lot sizes for commercial development.

Staff Recommendation: Staff recommends the Board direct County staff to provide city staff (Ames and Gilbert) with more information on these policies and work through them as part of the process to finalize the Plan. Staff will report back to the Board.

Board of Supervisors Alternatives

1. **Accept the City of Ames' changes and direct County staff to work with Ames and Gilbert city staff to create a final plan, 28E agreement, and schedule public hearings for the first quarter of 2023.**
2. Request additional changes. Staff could return with a letter outlining any additional changes for action at a future meeting.

3. Discontinue the update process and let the Fringe Plan dissolve.

Staff recommends the first alternative, to accept the changes proposed by the City of Ames. This would also entail directing staff to refine the policies that allow the reduction of lot sizes for commercial development and residential development in the Agricultural and Farm Service Designation for parcels under 35 acres in size. The Board may also direct staff to further refine the mapping of the Urban Reserve Overlay west of George Washington Carver if there are concerns about facilitating rural residential development in the area.

If the Board acts to either accept the changes or request additional changes, they may also request to extend the current Ames Urban Fringe Plan. The current Plan was extended until January of 2023. Staff would recommend an expiration date of April 30, 2023, to allow adequate time for edits to be made and for all three cooperators to have public hearings.

Appendix A—Summary of the Board of Supervisors’ requests and City of Ames Responses

1. Remove the strategy to limit certain conditional uses through an amendment to the County’s Land Development Regulations.

The City supported narrowing the list of conditional uses they are requesting the County not permit in the Urban Reserve and Urban Growth areas. They removed bed and breakfasts (which would include event venues), indoor recreational facilities, and lodges and fraternal organizations.

2. Supplant the Urban Reserve Overlay’s annexation policies with a policy that annexation of areas in the Urban Reserve Overlay is not permitted during the life of the Ames Urban Fringe Plan. Further discuss reducing the area mapped with the Urban Reserve Overlay.

The City did not support the request to not allow annexation of any Urban Reserve Overlay area.

The City did recommend removing the Urban Reserve Overlay south of Worle Creek and west of George Washington Carver (north of 190th).

3. Consider adding a policy that the County is not agreeing to support the annexation of Urban Growth or Urban Reserve Overlay areas through the adoption of the Plan and shall review all annexation requests at the time of a request.

The City did agree to incorporate such a policy in a final draft.

4. The County’s review of annexations shall also include recommendations on protections for environmentally sensitive areas.

The City did agree to incorporate such a policy in a final draft.

5. Consider adding a policy that the annexation of properties in the Urban Reserve Overlay (if permitted) should be weighed against the Urban Growth areas’ development, planned infrastructure investments in the areas, and their viability.

The City did agree to incorporate such a policy in a final draft.

6. Consider mapping the Champlin Farms property as Agriculture and Farm Service with the Urban Reserve Overlay, but not as annexable, and the areas to the east along State Avenue and Meadow Glen Road as Rural Residential – Existing.

The City did not support changing the designation of the Champlin Farms property.

7. Extend the Urban Growth area adjacent to Gilbert one-half mile north of 170th to match their Comprehensive Plan.

The City did not express opposition to this request.

8. Simplify the policy for reducing lot sizes for dwellings in the Agriculture and Farm Service designation so that parcels under 35 acres in size that are otherwise buildable may also be further reduced in size.

There was some confusion on this request and the Council did not directly address it.

9. Adopt the same policy in the Urban Reserve Overlay allowing the reduction of lot sizes for dwellings as in the Agriculture and Farm Service designation.

The City did agree to incorporate such a policy in a final draft.

10. Add an implementation strategy for the County to consider allowing Accessory Dwelling Units, or second dwellings.

The Council did not address this request. County staff does not feel it is necessary to be in the Plan. The Planning and Zoning Commission is considering the ordinance to allow Accessory Dwelling Units at their December 7 meeting.

11. Remove the limitation on the amount of land (40 acres) that can be requested to be amended to Rural Residential – Expansion through an individual Land Use Framework Map Amendment request.

The City did agree to remove this policy.

12. Remove the restriction on the number of times per year the cooperators hear Land Use Framework Map amendment requests and clarify the process to request an amendment to the Rural Residential—Expansion designation for properties in the Urban Reserve Overlay.

The City did agree to remove this policy.

13. Remove parcels inadvertently included in the planning area that are outside of Ames' two-mile review area.

The City did agree to remove this policy.

14. Consider allowing the reconfiguration or division of land in the Agriculture and Farm Service Designation and Urban Reserve Overlay for commercial or conditional uses, similar to the allowance to reduce the lot size for single-family dwellings. No new development lots could be created for additional commercial or conditional uses. The County may consider a policy to route these plats to the other cooperators for comment related to their subdivision standards.

There was some confusion on this request and the Council did not directly address it.

The city also proposed several additional changes:

- Establish 180th Street as an agreed-upon annexation limit for both the City of Ames and Gilbert within the 28E agreement.

County staff notes that this could be accomplished through a separate 28E agreement and would involve only Ames and Gilbert. The City of Ames and Nevada have a similar agreement for 590th Avenue.

- Add a new policy that involuntary annexations (where no property owner is consenting) are prohibited in the Urban Reserve Overlay, Rural Residential - Existing, and Rural Residential - Expansion areas.



**STORY COUNTY
BOARD OF SUPERVISORS
LISA K. HEDDENS
LINDA MURKEN
LATIFAH FAISAL**

Story County Administration
900 Sixth Street
Nevada Iowa 50201
515-382-7200
515-382-7206 (fax)

September 20, 2022

Mayor John Haila and Members of the Ames City Council
City of Ames
515 Clark Avenue
Ames, IA 50010

Mayor Jon Popp and Members of the Gilbert City Council
City of Gilbert
105 SE 2nd Street
Gilbert, IA 50105

RE: Changes to the Draft Ames Urban Fringe Plan Based on Public Input

Dear Mayor Haila, Mayor Popp, and City Council Members,

As you are aware, a draft of the Ames Urban Fringe Plan was made available for public review and comment on May 17, 2022. The public comment period occurred through June 14, 2022. A general comment form, as well as an interactive map where comments could be made, were available on the Story County Planning and Development Department's website. Three public meetings were also held. A public presentation of the Plan was given on May 23, 2022, at the Ames Public Library and comments were received in a public hearing format at that meeting. Two open house meetings were also held where staff were available to answer questions. The open house meetings were held at Gilbert City Hall and Oakwood Church on May 26, 2022, and June 7, 2022, respectively. Over 150 participants attended the meetings. Almost 100 map comments and 25 form submissions during the month-long comment period were received along with phone calls and emails. All comments and a transcript of the May 23, 2022, meeting have been provided to city staff.

Story County greatly appreciates everyone who provided comments and has been engaged in this process. The Plan covers many complex issues that residents of the planning area passionately care about. The County has considered all comments received and looks forward to the cooperators doing the same. We also ask for your consideration of several changes to key areas of the Plan in response to public input. By taking these comments into account, the County believes the Ames Urban Fringe Plan will be mutually beneficial to the City of Gilbert, City of Ames, Story County, and the residents we serve.

The main issue areas identified by the County in review of the comments received include:

- Opposition to the annexation of existing rural residential developments and their inclusion in the Urban Growth designation. Most comments were specific to the Meadow Glen area, a residential development along Meadow Glen Road (east of State Avenue), south of Ames.
- Opposition to the annexation of certain Environmentally Sensitive Areas and their inclusion in Urban Growth areas. Specifically, a property commonly known as the Champlin Farms property, an approximately 137-acre property to the southwest of Meadow Glen along Dartmoor and Zumwalt Station Road, which contains a portion of Worle Creek and a tributary.
- Opposition to the Urban Reserve Overlay. Most comments identified that too large of an area was identified as Urban Reserve. They also identified that it is an area in which Ames does not have plans to grow during the life of the Plan but places additional land use restrictions on property owners. Specifically, concerns were raised about the Urban Reserve Overlay applied to the area between Ames and Gilbert and southwest of Ames, including Iowa State University-owned land. Comments identified that these areas should be preserved and were not areas where city growth should occur.
- Opposition to proposed limitations on conditional uses in the Urban Reserve Overlay and Urban Growth areas.
- Opposition to the limitations on the division of land to create new, buildable lots for dwellings in the Urban Reserve Overlay and Agriculture and Farm Service designation.
- Opposition to restrictions on new rural residential development.

Based on these issues, the County proposes the following changes:

- Remove the strategy to limit certain conditional uses through an amendment to the County's Land Development Regulations.
- Supplant the Urban Reserve Overlay's annexation policies with a policy that annexation of areas in the Urban Reserve Overlay is not permitted during the life of the Ames Urban Fringe Plan. Additionally, further discuss reducing the area mapped with the Urban Reserve Overlay.

This policy change is requested in response to the comments regarding the area between Ames and Gilbert and southwest of Ames, including Iowa State University-owned land. However, generally regarding the Urban Reserve Overlay, the County has concerns that growth in these areas during the life of the Plan may detract from the viability of infill opportunities or the cooperators' Urban Growth areas. The County appreciates Ames Plan 2040's attention to infill development and focus on priority growth areas. We also appreciate Ames' work on its Climate Action Plan and efforts to reduce greenhouse gas emissions. Towards sustainability goals, we want to ensure that growth occurs in areas that are near city boundaries to reduce vehicle miles traveled and increase access to alternative transportation. We also want to ensure growth occurs in areas that have planned land use scenarios with a mix of uses and densities, such as the Urban Growth areas.

- Consider adding a policy that the County is not agreeing to support the annexation of Urban Growth or Urban Reserve Overlay areas through the adoption of the Plan and shall review all annexation requests at the time of a request to determine whether to support, or not support, an annexation. The County's review may also include recommendations on protections for environmentally sensitive areas.

While annexation in accordance with the Plan and the Land Use Framework Map is required, by adopting the Plan and its policies that annexation is compatible with a given land use designation, the County is not agreeing to support any specific annexation request in these areas. The other cooperators may also wish to clarify that they are not committing to approve all annexation requests conforming to the Plan by adopting the Plan and its policies. This policy would also create a clear review procedure for annexation requests.

- Consider adding a policy that the annexation of properties in the Urban Reserve Overlay (if permitted) should be weighed against the Urban Growth areas' development, planned infrastructure investments in the areas, and their viability. This would be in addition to the policy that "annexation is coordinated with the timely and efficient provision of adequate public facilities and services. Annexation shall be permitted when city infrastructure is available or planned to be available to serve the development. Infrastructure includes for streets, wastewater treatment, and potable water distribution of sufficient size to support emergency services. Infrastructure extensions should be logical and beneficial to overall goals for the growth of an area and not just for the convenience of one development project."
- Consider mapping the Champlin Farms property as Agriculture and Farm Service with the Urban Reserve Overlay, but not as annexable, and the areas to the east along State Avenue and Meadow Glen Road as Rural Residential – Existing.

The County is requesting the area's designation be changed from Urban Growth to reduce its priority for annexation. This is in response to public input and to ensure the area does not detract from Urban Growth areas that are the city's priority for growth. Annexation during the life of the Plan may be premature given the city's lower priority for growth to the southwest versus other areas designated as Urban Growth.

- Extend the Urban Growth area adjacent to Gilbert one-half mile north of 170th to match their Comprehensive Plan.

This would create uniform policies to follow when reviewing development requests in Gilbert's growth area.

- Simplify the policy for reducing lot sizes for dwellings in the Agriculture and Farm Service designation and adopting the same policy in the Urban Reserve Overlay as follows:

Divisions for the creation of new development lots are not permitted. Parcels with existing dwellings or parcels on which a dwelling may be constructed ~~35 net acres or greater in size~~ may be divided once for the purpose of reducing their size ~~constructing a dwelling on a parcel between~~ to a minimum of one and a maximum five net acres, if permitted by County zoning requirements (e.g., through farmstead, LESA, or residential parcel subdivision exceptions). The remaining land shall not be considered buildable for a dwelling and be preserved as an outlot, through a deed, or by other restriction.

- Add an implementation strategy for the County to consider allowing Accessory Dwelling Units, or second dwellings.

The County will be considering this change to its code in the next year and wanted to make the other cooperators aware. This strategy may also address the public comments concerned with the restriction on the creation of new lots for single-family dwellings in the Agriculture and Farm Service and Urban Reserve Overlay designations.

- Remove the limitation on the amount of land (40 acres) that can be requested to be amended to Rural Residential – Expansion through an individual Land Use Framework Map Amendment request.

With the target of no more than 60 new rural subdivision lots, allowing a larger area to be requested to be amended could result in better site design and more open space preserved while not resulting in an oversupply of rural subdivision lots.

- Removing the restriction on the number of times per year the cooperators hear Land Use Framework Map amendment requests and clarify the process to request an amendment to the Rural Residential—Expansion designation for properties in the Urban Reserve Overlay.

This restriction may make it prohibitive for a buyer to enter into an agreement to purchase land on the condition that it is first amended to a designation that allows a certain development prior to purchase. Additionally, the draft Plan does not make an amendment request to the Rural Residential—Expansion designation for properties in the Urban Reserve Overlay possible without first amending the text of the Plan. This process should be clarified in the Plan.

- Remove parcels inadvertently included in the planning area that are outside of Ames’ two-mile review area.
- Consider allowing the reconfiguration or division of land in the Agriculture and Farm Service Designation and Urban Reserve Overlay for commercial or conditional uses, similar to the allowance to reduce the lot size for single-family dwellings. No new development lots could be created for additional commercial or conditional uses. The County may consider a policy to route these plats to the other cooperators for comment related to their subdivision standards.

The County would request the cooperators consider these issues and others raised by the public comments. County Planning and Development staff is available to work through these issue areas and changes with the cooperators and their staff. However, if an agreement between the cooperators cannot be reached on these issues, the County would propose a work session to seek mutually agreed upon solutions. The County understands that while the cooperators may have different goals, having a plan and policies for the fringe area is necessary to facilitate orderly, efficient growth in the interest of all those involved. Thank you and we look forward to continuing to work with you on this Plan.

Sincerely,



Latifah Faisal, Chair
Story County Board of Supervisors



GRATITUDE IN LOOKING BACK,
EXCELLENCE REACHING TOMORROW

105 SE 2ND ST; BOX 29; GILBERT, IOWA 50105
PH. (515) 233-2670 FAX. (515) 233-8020

Ames-Gilbert-Story County Fringe Agreement

Proposal dated 23 November 2022
Jon Popp, Mayor of Gilbert

The Fringe Agreement is due to expire at the end of 2022. It is a valuable tool to reduce confusion and help landowners and developers plan for how the land between Ames and Gilbert can be used in the future.

I propose the following be used in the new agreement among these three entities for the space bounded by:

- US Hwy 69 to the East
- George Washington Carver Ave. to the West
- 190th street to the South
- 180th street to the North

Target areas of agreement:

- Gilbert will not plan to annex any land South of 180th street
- Ames will not plan to annex any land North of 190th street
- Story Co will oversee any developments in this area to be sure it fits with the type of developments already in this area
- Water service is already provided in this area by Zenia Rural Water District
- If water service is needed for fire protection, Gilbert will allow connection to their water system (new facility build in 2021)
- Fire service is already provided in this area by Gilbert Franklin fire district
- Gilbert will confirm it will provide sewer service if a connect is needed (capacity increased in 2020)
- The landowners will be responsible for storm water release at a rate the current drainage districts handle water
- Story County will be responsible for leading efforts to improve safe traffic flows in this area

The following Key benefits of this plan will be:

- This will preserve the funding of the Gilbert Franklin Fire district
- The landowners will be responsible for their land's future use
- The landowners will have a choice in how their land is used
- Gilbert will remain a rural community not contiguous with any other community – this is critical in preserving access to future grants (*Iowa Rural Enrichment Grant* as example)
- Prime farmland will be preserved into the future

Sincerely,

A handwritten signature in blue ink that reads "Jonathan C. Popp". The signature is written in a cursive, flowing style.

Jonathan C. Popp, Mayor
City of Gilbert, Iowa

Letter approved during Gilbert City Council meeting; November 28, 2022.

Cc: Kelly Diekmann, Ames Planning and Housing Director
Amelia Schoeneman, Director Planning and Development, Story County



November 23, 2022

Story County Board of Supervisors
900 Sixth Street
Nevada Iowa 50201

Mayor Jon Popp and Gilbert City Council
104 SE 2nd Street
Gilbert, IA 50105

Re: Draft Ames Urban Fringe Plan Update-Ames Response

Ames City Council reviewed the Draft Ames Urban Fringe Plan Update public comments and Story County Board of Supervisors recommendations at its October 25th meeting. At that time, they voted to extend the 28-E until January 1, 2023, and to have city staff provide a response to the suggested changes to the Draft Plan no later than November 22nd. City Council would then decide whether to recommend changes to the Draft Plan to the other cooperators.

City Council reviewed proposed changes on November 22nd, listened to comments from three members of the public, and directed staff to make proposed changes and forward them to the Story County and Gilbert. The Staff Report from November 22nd can be found at this link for City Council agenda at www.cityofames.org/ccmeetings.

Attached to this letter are proposed text changes to the draft Plan that are to be taken along with changes described herein to finalize the Plan and a 28-E agreement.

Summary of Primary Changes:

- Establish 180th Street as an agreed upon annexation limit for both the City of Ames and Gilbert within the 28-E agreement.
- Remove Urban Reserve Overlay for various properties (See map in Plan):
 - a. West of GW Carver and land north of 190th west of Railroad tracks
 - b. Properties south of Worle Creek
 - c. Properties south of 265th Street southeast of Ames (outside of two miles)
- Insert language prohibiting involuntary annexation for land use designations; however, allow for voluntary annexation with 80/20 consistent with Code of Iowa standards.
- Include additional language for context of Urban Reserve Overlay and annexation related to planning for long term growth and its relationship to Growth Areas as described in the Other Areas section (pg. 69) of Ames Plan 2040.
- Change the map designation of Meadow Glen to Rural Residential Existing with Urban Reserve Overlay.
- Allow for land divisions within the Urban Reserve Overlay consistent with underlying designation. Address changes to property boundaries for conditional uses as well. *Note that suggested changes to minimum lot size in Ag and Farm services needs additional review and context before acceptance by Ames.*
- Conditional Uses- Remove indoor uses of Bed and Breakfast, Lodges & Fraternal Organizations, and Sports facility from prohibited uses. Maintain list of primarily outdoor uses that would be considered incompatible. Additionally,
 - Would apply to Growth and Urban Reserve areas.
 - Would require subsequent action by Story County to amend ordinances.
 - Staff notes review of language is needed related to existing conditional uses.
- Include language in the 28-E agreement regarding the independent authority of each cooperator related to support for individual annexation recommendations. Additionally, include that Story County will provide to a city

- available natural resource inventories at the time of notification of a pending annexation to allow for a city to consider implications for future development.
- Change to Residential Expansion Area to remove limit of 40-acre size, reiterate that no application for such a change can occur within a Growth Area or Urban Reserve Overlay.
 - Remove limitation on the number of amendments to be considered in a year.

The Ames City Council requests that each cooperator consider these changes at an upcoming meeting in December. With a determination by either or both cooperators to move forward with the Fringe Plan Update, including the proposed changes, the City of Ames staff would work with Story County staff to finalize a Plan and companion 28-E agreement in January 2023. This would allow for the formal amendment process to begin in February with a goal of concluding the process in March 2023.

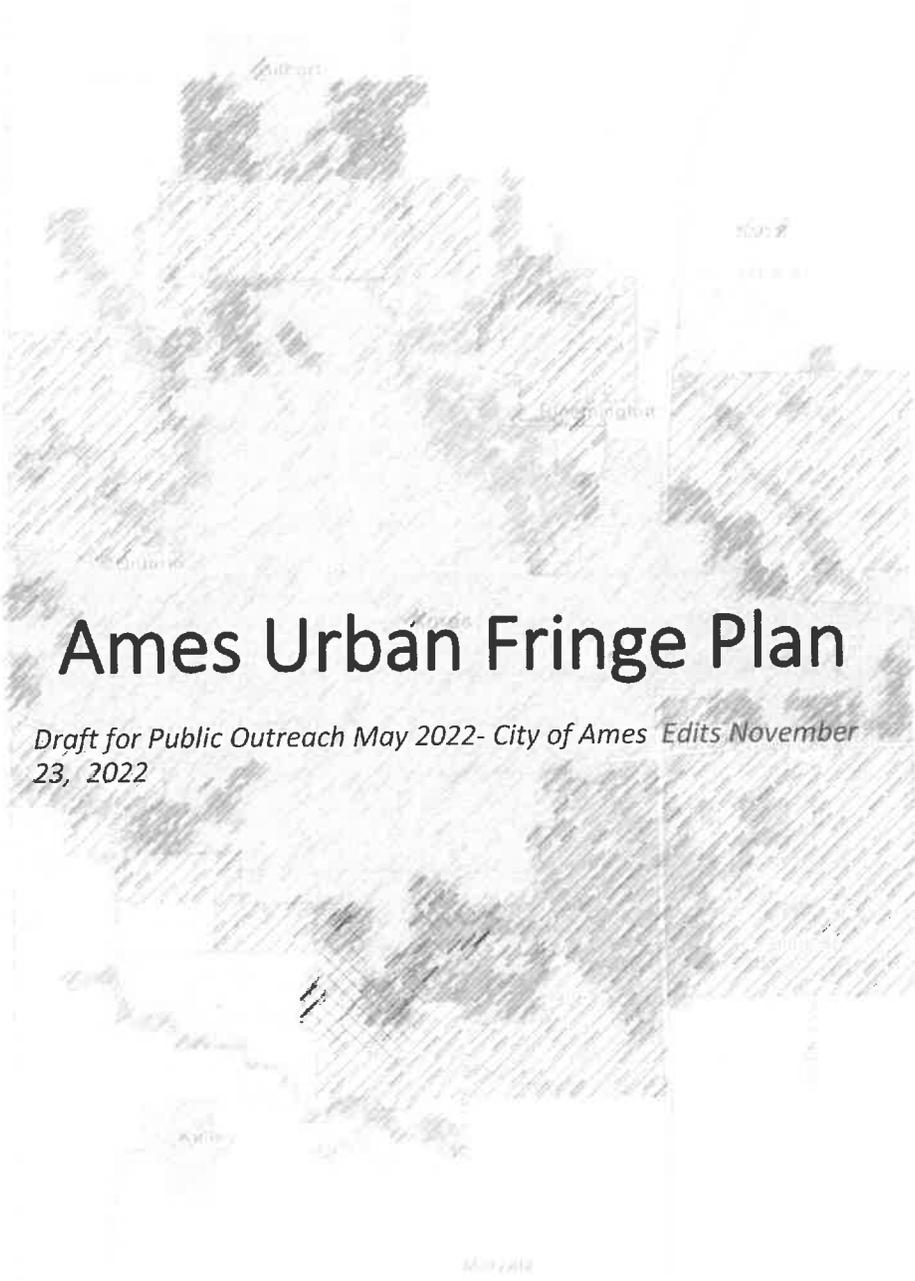
Please contact Kelly Diekmann, Planning and Housing Director, (kelly.diekmann@cityofames.org) with any questions and any decisions made by the respective Council or Board.

Sincerely,



Kelly Diekmann, Planning and Housing Director

Cc: Steve Schainker, City Manager, City of Ames
Amelia Schoeneman, Director Planning and Development, Story County
Sonia Arellano Sundberg, City Clerk, Gilbert



Ames Urban Fringe Plan

Draft for Public Outreach May 2022- City of Ames Edits November 23, 2022



CITY OF
Ames[™]



Table of Contents

| | |
|---|----|
| List of Figures | 2 |
| Glossary..... | 3 |
| Introduction | 4 |
| Plan Issues..... | 4 |
| Plan Goals..... | 4 |
| How to Use the Plan | 5 |
| A Note on County Zoning..... | 6 |
| Land Use Designations and Land Use Framework Map..... | 7 |
| Base Land Use Designations—Defined | 7 |
| Overlay Land Use Designations—Defined | 8 |
| Land Use Designation Policies..... | 10 |
| Base Land Use Designations | 10 |
| Agriculture and Farm Service..... | 10 |
| Rural Residential—Existing | 11 |
| Rural Residential—Expansion | 12 |
| Urban Growth | 14 |
| Overlay Land Use Designations..... | 16 |
| Urban Reserve Overlay | 16 |
| Environmentally Sensitive Overlay | 18 |
| Subsurface Mining Overlay | 19 |
| Airport Protection Overlay..... | 20 |
| General Policies and Procedures | 21 |
| Official Zoning Map Amendments (Rezoning)..... | 22 |
| Annexations | 23 |
| Land Use Framework Map Amendments | 24 |
| Plan Review | 25 |
| Parcel Line Adjustments..... | 26 |
| Implementation Strategies | 27 |

List of Figures

| | |
|--|----|
| Figure 1: Ames and Gilbert Two-Mile Jurisdictional Boundary | 5 |
| Figure 2: Ames Urban Fringe Plan Land Use Framework Map | 9 |
| Figure 3: Zoning and AUFPL Land Use Designation Compatibility Matrix..... | 22 |
| Figure 4: Annexation and AUFPL Land Use Designation Compatibility Matrix | 23 |
| Figure 5: Flow Chart of Land Use Framework Map Amendment Process | 25 |

Glossary

Development means land divisions, rezonings, or other activities that trigger the application of Ames Urban Fringe Plan policies. Development does not mean construction of a dwelling, accessory building, or other activities that are allowed in the applicable zoning district.

Development lot(s) means lots created for new development such as a dwelling, conditional use, or commercial development. This includes lots created through a subdivision, plat of survey, residential parcel subdivision, or other means. The Plan includes policies related to creation of new development lots for all land use designations.

Division means any method of dividing one parcel of land into two or more parcels. This can include through a deed, plat of survey, or subdivision, as allowed by the jurisdiction with review authority. Changing the lot lines between two parcels is also considered a division—see the parcel line adjustment in the General Policies and Procedures section.

Intergovernmental or 28E Agreement means an agreement allowed under Iowa Code § 28E that allows state and local governments to share the provision of services or other granted authorities, including the review authority over the division of land.

Planning Area means the area of land to which a plan applies. In the case of the Ames Urban Fringe Plan, the planning area is the area lying within two miles of the corporate boundary of the City of Ames and City of Gilbert.

Planning Horizon means the timeframe to which a plan applies. In the case of the Ames Urban Fringe Plan, the planning horizon is intended to be for 10 years or until ~~2032~~2033.

Introduction

Iowa law delegates authority to county governments to regulate land uses and the division of land outside city boundaries. It also grants cities review authority over the division of land outside, but within two miles, of their boundaries. Because of these overlapping jurisdictions, a county and city may enter into an intergovernmental (28E) agreement that includes review standards for land divisions and other conditions necessary to facilitate the agreement. Clear and consistent standards and plans are needed to efficiently manage growth and development in the overlapping review area.

While the two-mile area around a city is the area under state code where it has review authority over land divisions, it is also the area where land-use decisions have direct impacts on the ability of a city to grow efficiently. And, it is the area where rural development can accelerate the loss of farmland, environmentally sensitive areas, and the area's rural character.

The planning area (Figure 1) defined in the Ames Urban Fringe Plan (AUFPP or the Plan) is the area lying within two miles of the corporate boundary of the City of Ames and City of Gilbert, as they existed in January of 2022. This area is referred to as the "fringe" or "urban fringe."

The planning horizon for the Plan is the period of time extending to the year 2032.

While Ames and Gilbert's two-mile jurisdictional boundary will expand as the cities annex land during the planning horizon, the Plan uses a defined boundary rather than a constantly changing boundary whenever an annexation occurs. The planning area will not change with annexations. However, the County will only review land divisions as allowed in the A-1 Agricultural Zoning District in an area within two miles of a city that is not in the planning area.

Plan Issues

Planning issues identified in the previous AUFPP Plan and its Background Report are still relevant today and to this Plan. These include environmental and growth issues, including the impact of development on rural and environmentally sensitive areas. They also include issues related to adequate community facilities—from parks to transportation, water, and wastewater infrastructure. Finally, there are regulatory issues related to the cooperators' overlapping, and sometimes inconsistent, regulations. These issues inform the plan's goals.

Plan Goals

The Plan's main goal, or vision, is for Story County, the City of Ames, and the City of Gilbert to achieve intergovernmental coordination, to cooperatively address their mutual interests, and to seek to balance their competing interests.

The cooperators will work together to:

1. Prevent premature development and preserve farmland.
2. Protect and preserve sensitive environmental areas, including floodplains, woodland areas, and wetlands.
3. Reinforce planning for rural areas and urban growth areas. Plan for housing development in urban growth areas, and limited housing development in certain appropriate rural areas. Plan for economic development opportunities in cities, except those agricultural producers depend on.
4. Coordinate development decisions with the efficient provision of public facilities and services.

5. Develop a system of public and private open spaces that serves as a visual and recreational amenity.
6. Establish joint rules and procedures to review development proposals in the planning area.
7. Provide guidance on future land use issues in the planning area.

How to Use the Plan

The AUFPP is a shared land use plan cooperatively developed by Story County, the City of Ames, and the City of Gilbert. It is a component of the jurisdictions' comprehensive plans.

The Plan consists of written principles and policy statements, along with a Land Use Framework Map, which, together, establish guidelines and locations for areas of growth, agricultural land preservation, and environmentally sensitive area protections. While some policies and processes contained in the Plan apply generally to the procedures the cooperators follow in making land use decisions, others are specific to the review of land divisions and other types of development in a given land use designation.

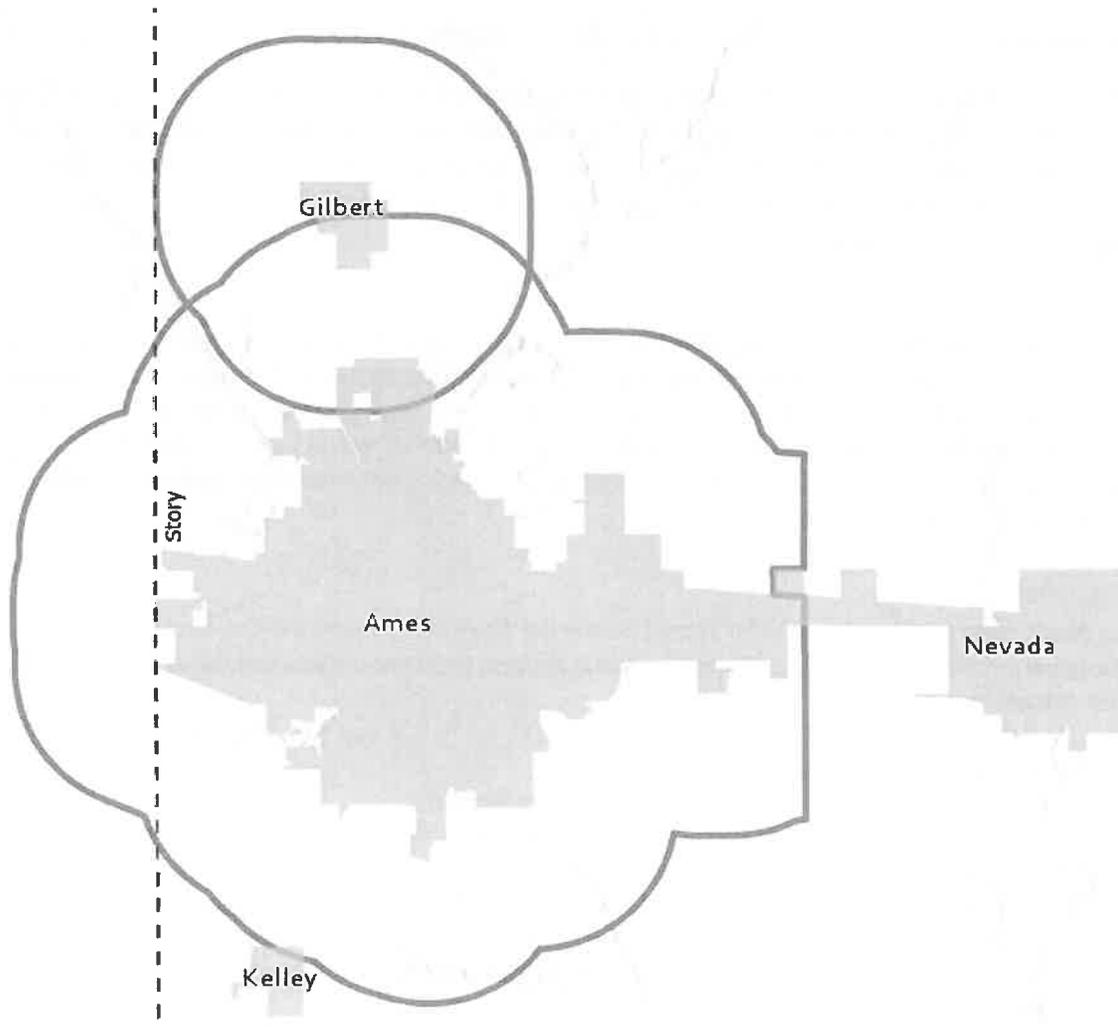


Figure 1: Ames and Gilbert Two-Mile Jurisdictional Boundary and Planning Area.

Throughout the Plan, strategies related to a policy are indicated in a text box with a ► icon. The strategies are also compiled in the Implementation Strategies section. Additional clarification of a policy or concept or answers to frequently asked questions may also be provided in a text box indicated by a ☀ icon. Some terms used in the Plan are further defined in a text box indicated by a 📖 icon and are included in the Glossary.

A Note on County Zoning

The Plan does not limit the County's zoning authority or its legislative authority or discretion in applying, adopting, or amending its land use regulations. However, the County agrees through the 28E process to act in a manner consistent with the Plan.

Additionally, upon adoption it will be part of the County's C2C Comprehensive Plan and relevant to consideration of rezoning requests. If a rezoning is proposed that also includes an AUPF amendment, the cooperators must first take action on the amendment before the County takes action on the rezoning.

If a property is already zoned to allow a use, and no land division or special permit is needed, that use may still be permitted. The County may choose to separately limit its zoning authority through an amendment to its code to ensure development is compatible with the Plan.

Land Use Designations and Land Use Framework Map

The [AUFPP Land Use Framework Map](#) facilitates the application of the Plan. Figure 2 includes the map as was adopted with the Plan.

There are four base land use designations shown on the Land Use Framework Map: Agriculture and Farm Service, Rural Residential—Existing, Rural Residential—Expansion, and Urban Growth.

There are also four overlay land use designations that may apply to a base designation: the Urban Reserve Overlay, Environmentally Sensitive Overlay, Subsurface Mining Overlay, and Airport Protection Overlay.

Each land use designation shown on the Land Use Framework Map includes corresponding policies. The policies are included in the Land Use Designation Policies section of the Plan. The policies guide land use decisions including the review of land use, zoning, annexation, land division, and other regulations and procedures. Some policies may include strategies for implementation, such as amendments to a cooperator's code, to achieve the goals of the Plan.

Each land use designation's policies indicate if land division review requests fall under the jurisdiction of a city, the County, or both for review. In some land use designations, annexation is required prior to development. In others, development is intentionally limited to protect the County's rural character while allowing for orderly and efficient city growth. The overlay designations may apply further restrictions or standards to the base designations.

The designations are defined below. The definitions also provide guidance for the type of development anticipated in the designations, and the cooperators agree to use these designations as they would designations in their respective comprehensive plans.

► Strategy for plan implementation: The cooperators will adopt the Plan as an amendment to their respective comprehensive plans.

Base Land Use Designations—Defined

Agriculture and Farm Service

These areas primarily encompass large areas of highly valuable farmland, with farming and agricultural production as the primary activity. They may also include other large, undeveloped tracts of land. Existing dwellings on previously created parcels under 35-acres in size may be included in this designation. Dwellings in this designation are limited to existing homes, new dwellings built on legally established lots of record, or to areas where a maximum density of one unit per 35 net acres can be achieved.

Rural Residential—Existing

These areas may include existing rural subdivisions or clusters of dwellings with lots between one-half and five acres in size, which are zoned in County residential districts. They are typically located on privately maintained roads or access easements.

Rural Residential—Expansion

These areas may permit new rural residential subdivisions, generally with

💡 Why aren't any Rural Residential—Expansion areas mapped? The areas were intentionally left unmapped with the adoption of the Plan as a Land Use Framework Map Amendment is required to apply the designation.

a maximum density of one acre per dwelling. An amendment to the Land Use Framework Map is required designate an area as Rural Residential—Expansion. This designation is to be applied only when standards for an amendment are met. These standards include where and when the expansion of rural residential development is appropriate in conjunction with applicable Comprehensive Plan policies.

Urban Growth

These are areas identified by cities as where urban growth can be supported and is desirable in the short-term. City infrastructure, street, and trail connections are available, or achievable with low-cost, incremental extensions. They are contiguous to existing urban development. These areas may also include individual properties that are immediately serviceable to meet the needs of a growing city.

Overlay Land Use Designations—Defined

Urban Reserve Overlay

These are areas within a city’s urban service area, where municipal services, most notably sanitary sewer, can be feasibly extended in the long-term. They may be portions of larger urban growth areas or other areas where city growth may occur long-term, past the planning horizon of the Ames Urban Fringe Plan. To ensure orderly, efficient city growth, the Urban Reserve Overlay prevents premature development of rural residential subdivisions, rural commercial development, or other uses that may impede urban growth due to lot sizes, rural infrastructure, or the nature of a use. ~~If infrastructure becomes available during the life of the plan, these areas may be annexed.~~ (deleted for consistency with other designation descriptions and it will default to specifics below)

Environmentally Sensitive Overlay

These areas include floodplains, steep slopes, wetlands, stream and river corridors, other waterbodies, and other environmentally sensitive areas including prairies, savannas, and wildlife corridors. The mapped designation reflects features or areas that were identified through use of GIS data sets and visual inspection of aerial photography. They may include existing development within the sensitive areas. New development areas are not planned within this overlay.

 **Why isn't an** Are all environmentally sensitive areas mapped? Not all environmentally sensitive areas are mapped by existing inventories and individual developments will need to consider site-specific characteristics of any sensitive areas, regardless of whether the Overlay applies to the site.

Subsurface Mining Overlay

This overlay includes areas where underground mining operations, including ancillary surface operations, are occurring.

Airport Protection Overlay

This land use designation is intended to reduce risk, increase safety and promote land use compatibility between the airport and adjacent land uses. It includes the airport clear zone and planned airport expansion areas that may present compatibility issues with certain land uses or potential impacts to operations of the airport.

Land Use Designation Policies

Base Land Use Designations

Strategies, Glossary, and FAQs for the Agriculture and Farm Service Designation



What is a division of land? A division includes any method of dividing one parcel of land into two or more parcels. This can include through a deed, plat of survey, or subdivision, as allowed by the jurisdiction with review authority. Changing the lot lines between two parcels is also considered a division—see the parcel line adjustment policy in the general policies and procedures section.



What is a development lot? Lots created for new development such as a dwelling, conditional use, or commercial development.



Strategy for compatible agribusiness uses: To ensure rezoning requests to the A-2 Agribusiness Districts are compatible with the Plan, the County should consider amending the County code to restrict the type of agribusiness uses allowed in the Agriculture and Farm Service designation.

Agriculture and Farm Service

Annexations

Cities shall not initiate or not review annexation requests in this area until such time that the AUPF has been amended to designate the area to be annexed as an Urban Growth Area or with an Urban Reserve Overlay.

Land Divisions

In these areas, cities agree to waive the exercise of their extra-territorial subdivision authority based upon the land division policies of the Plan. The County retains review authority.

Divisions for the creation of new development lots are not permitted. Parcels 35 net acres or greater in size may be divided once for the purpose of constructing a dwelling on a parcel between one and five net acres if permitted by County zoning requirements (e.g., through farmstead, LESA, or residential parcel subdivision exceptions). The remaining land shall not be considered buildable for a dwelling and preserved as an outlot, through a deed, or by other restriction.

Divisions reconfiguring agricultural lands or other undeveloped tracts of land for natural resource preservation are permitted, however, may not be considered buildable for a dwelling.

Compatible Zoning Districts

The A-1 Agricultural and A-2 Agribusiness Districts may be considered compatible with the agriculture and farm service designation.

However, agribusiness (A-2 related zoning) uses shall be strategically located in order to:

- utilize existing adequate access and road capacity and otherwise assure the existence of adequate public facilities;
- protect productive soils and environmentally sensitive areas;
- support the continued use of adjacent areas for farming and agricultural production.

Further, the County shall limit the intensity of the storage, retail, wholesale marketing, or processing of agricultural productions into value-added agricultural products through conditional rezoning

agreements as these uses may be more appropriate to be located in commercial or industrial areas inside city boundaries with other similar manufacturing uses.

Strategies, Glossary, and
FAQs for the Rural
Residential—Existing
Designation



What are County road standards? Subdivisions in the County are required to have publicly dedicated roads. The County limits the length of these roads and requires appropriate turnarounds for emergency vehicles. Some subdivisions may provide access via easement. These are not publicly dedicated and generally do not meet road standards. The County limits the number of dwellings that may use an access easement and has minimum easement width requirements.

Rural Residential — Existing

Annexations

Cities shall not review annexation requests in this area until such time that the AUFPP has been amended to designate the area to be annexed as an Urban Growth Area or with an Urban Reserve Overlay.

Involuntary annexation as defined by Iowa Code is prohibited; however, this policy shall not inhibit the ability of a city to use the 80/20 provision for a voluntary annexation as permitted by Iowa Code.

Land Divisions

In these areas, cities agree to waive the exercise of their extra-territorial subdivision authority. The County retains review authority.

In the case that County zoning and subdivision requirements, including standards for roads and dwellings off access easements, can be met, a division for the creation of one additional development (buildable) lot may be permitted. For lots already platted as part of a subdivision, this shall only be allowed if not otherwise prohibited by conditions on the platting.

Compatible Zoning Districts

These areas may include parcels in the A-R Agricultural Residential, R-1 Transitional Residential, R-2 Urban Residential, and RMH Residential Manufactured Housing Zoning Districts.

Other Policies

A dwelling may be built on an undeveloped lot in an area designated as Rural Residential if County zoning standards and standards for roads or dwellings off access easements are met.

Individual wastewater systems and wells are permitted.

Strategies, Glossary, and FAQs for the Rural Residential—Expansion Designation

 **What is the process for a Land Use Framework Map amendment?** When the Land Use Framework Map is proposed to be amended to map an area in a different designation, the first step is a pre-application meeting with staff of the impacted cooperators. Each cooperator must take action to determine if it would like to consider the proposed amendment and allow an official request to be made. The majority of the cooperators must agree to further consider the request. If the request is to be further considered, each cooperator is to follow its comprehensive plan amendment procedure. All cooperators must approve an AUPF amendment. See the Land Use Framework Map amendment procedure in the General Policies and Procedures section for more information.

 **Who can request an amendment?** Anyone (with property owner permission) or a cooperator may initiate an amendment.

Rural Residential—Expansion

These areas may permit new rural residential subdivisions; however, they are to be located on a case-by-case basis through an Ames Urban Fringe Plan amendment process. While it is recognized that there is demand for rural housing market choices, the amount of land in this designation shall be purposefully limited in order to focus housing growth in Story County within existing municipal boundaries or in newly annexed areas. It is estimated that approximately 60 new dwellings are needed in this designation over the next 20 years.

Standards for Amendment

The following standards shall be met in order for an Ames Urban Fringe Plan amendment application to be accepted for further consideration. Satisfaction of the following standards does not guarantee approval of the request.

- No application may be submitted for property within Urban Growth or Urban Reserve Overlay.
 - The area is adjacent to a rural residential area or rural residential expansion area developed after the adoption of the Ames Urban Fringe Plan.
 - ~~The area is currently designated Agriculture and Farm Service and not located in an Urban Growth Area or Urban Reserve Overlay.~~
 - ~~No more than 40 acres of land in agricultural production may be requested to be amended to this designation as part of an amendment request.~~
 - The area is located on a paved road(s). If an area is within a quarter-mile of a paved road, it may be considered; however, the developer may be required to pave to the development's access at their expense.
 - The amount of previously approved Rural Residential Expansion area shall be considered when granting an amendment, as well as the primacy of a proposed location versus the existence of other areas that exceed the above standards.

Annexations

Any change of land use designation to create an Expansion Area can include a condition for consent to future annexation as a covenant, if required by a city.

Involuntary annexation is prohibited; however, this policy shall not inhibit the ability of a city to use the 80/20 provision for a voluntary annexation as permitted by Iowa Code.

~~Cities shall not review annexation requests in this area until such time that the AUFP has been amended to designate the area to be annexed as an Urban Growth Area or with an Urban Reserve Overlay.~~

►► Strategy for conservation design subdivisions: Story County should consider if an amendment to its conservation design subdivisions standards is necessary to permit the density bonuses allowed in the Rural Residential—Expansion area and require the design standards to be met.

Land Divisions

In these areas, cities generally agree to waive the exercise of their extra-territorial subdivision authority. The County retains review authority. However, in certain critical areas, urban services and standards may be applied as determined to be necessary as part of the amendment process.

Compatible Zoning Districts

The A-R Agricultural Residential District may be considered compatible with the Rural Residential Expansion Area designation.

Other Policies

This designation allows for dwellings at a maximum density of one unit per acre. A density bonus may be awarded for the preservation of agricultural lands in outlots, through easements or other restrictions.

The preserved agricultural land shall also remain in the Agriculture and Farm Service designation or be amended to the Agricultural and Farm Service designation as part of the subdivision platting process. The preserved area shall provide a buffer to adjacent agricultural areas. The density bonus shall be awarded following the Story County Land Development Regulations conservation design subdivision standards.

All environmentally sensitive areas should be preserved as part of the subdivision platting process.

The number of lots in a proposed development may be limited.

Developers may be required to install required public road improvements or other infrastructure at their own expense.

Following Iowa Department of Natural Resources requirements, minimum separation distances for dwellings and wells from open feedlots and confined animal feeding operations shall be maintained from existing operations. Appropriate buffers from other agricultural uses shall also be maintained.

Urban infrastructure and subdivision standards, including for streets, wastewater treatment, and potable water distribution of sufficient size to support emergency services, may be required.

Common wastewater treatment systems meeting Iowa Department of Natural Resources standards are required, unless a development is required to meet urban infrastructure standards at the time of development.

During the amendment process, a city may require annexation agreements and other tools may be utilized to ensure that new development is prepared for potential annexation in the future. Agreements

Strategies, Glossary, and FAQs for the Urban Growth Designation



Am I required to connect to city sewer if my property is annexed? If your property is already developed (e.g. contains a dwelling), you are required to connect to city sewer if it's available within 200 feet and your septic system fails. This is true even if you are outside of the city and sewer is available.



How is development defined? Generally, throughout the plan, development triggering the application of AUFPP policies may include divisions of land and rezonings. However, in the Urban Growth and Urban Reserve Overlay designations, policies for commercial development that does not require a division, special permit, or rezoning are proposed in the case that an existing commercially or industrially zoned property were to develop. These ensure compatibility with future city growth while allowing the property to develop as permitted under the County's zoning code.

may address that when the property is annexed to a city, the land developer and/or landowner shall be responsible for the full cost of abandoning the rural well and wastewater systems and connecting to urban infrastructure may be required.

Urban Growth

Urban Growth applies to areas intended for the near-term expansion of a city. Policies for this designation support and encourage annexation to the City to realize urbanized development goals of a city's comprehensive plan.

Annexations

Annexation of these areas is required before land is developed. Divisions to support conservation efforts or future annexation plans may be considered for approval by the adjacent city with jurisdiction. or further divided.

The annexation of individual properties not part of identified growth areas in a city's comprehensive plan, and exceeding 40 acres in size, shall be weighed against the growth areas shown in the comprehensive plan, planned infrastructure investments in the areas, and their viability. Annexation may be justified due to readily available infrastructure, a large master-planned community approach with a development partner, or a lack of investment or development in identified growth areas and need for additional land development options.

Land Divisions

In these areas, the County agrees to waive the exercise of its review authority for divisions for new development lots. Cities have review authority for all divisions.

Compatible Zoning Districts

Specific land uses planned for this area can be found in the applicable city comprehensive plan. Annexation is required prior to development. Rezoning of land would only occur upon future annexation. The County will not rezone properties in this designation.

Other Policies

Development that does not require a division, but is in the Urban Growth Area, may be required to provide infrastructure consistent with road, water, and sanitary sewer improvements required of development within the applicable city. This includes development with fire

protection with water suppression systems and access requirements. It may also be required to meet city design standards, including for landscaping and street connectivity.

Where a base zoning district allows for a conditional use, Story County will consider the long-term appropriateness of the use, recognizing the area is planned for urban densities and uses. Most conditional uses that are permissible in the County, due to their distance and isolation from other uses, will be presumed to not be compatible with planned urban development within a growth area. For example, shooting ranges, campgrounds, wind energy systems, etc.

Where conditional uses may be compatible with future urban land uses due to the particular nature of the use or its location in the growth area, additional site development considerations shall be made, including a use's location on a site, lighting, buffering, landscaping, and setbacks. Conditions related to these considerations shall be applied to address future compatibility of the use with planned urban development. In some situations, it may be appropriate to have a limited duration of approval.

The following conditional uses are not considered compatible with the Urban Growth Area:

- Shooting ranges
- Campgrounds and RV parks, except as part of a County park
- ~~Lodges and fraternal organizations~~
- Power plants and substations
- Drag strips and other similar courses or tracks
- Salvage yards
- Yard waste composting
- Agricultural lime storage and processing operations
- ~~Bed and breakfasts~~
- Landfills
- Commercial Wind Energy Conversion Systems or Solar Energy Conversion Systems
- Adult uses
- Surface mineral extraction and processing
- ~~Indoor recreational facilities~~

►► **Strategy for compatible conditional uses and other development:** The Plan itself does not supersede County zoning. However, upon adoption it will be part of the County's C2C Comprehensive Plan and relevant to consideration of conditional use permit and rezoning requests. To ensure conditional and other commercial uses are compatible with the Plan, the County should consider amending the County code to restrict the type of conditional uses allowed in the Urban Growth designation and require certain standards to be met for other commercial uses that do not require a rezoning or division.

Strategies, Glossary, and
FAQs for the Urban Reserve
Overlay Designation



How is development defined? Generally, throughout the plan, development triggering the application of AUPP policies may include divisions of land and rezonings. However, in the Urban Growth and Urban Reserve Overlay designations, policies for commercial development that does not require a division, special permit, or rezoning are proposed in the case that an existing commercially or industrially zoned property were to develop. These ensure compatibility with future city growth while allowing the property to develop as permitted under the County's zoning code.

Overlay Land Use Designations

Urban Reserve Overlay

Urban Reserve designates areas that can support future growth of a city. Related policies support compatible rural use until such time as voluntary annexation is appropriate.

Annexations

Involuntary annexation is prohibited; however, this policy shall not inhibit the ability of a city to use the 80/20 provision for a voluntary annexation as permitted by Iowa Code.

~~Require annexation by the city before land is developed or further subdivided.~~

Ensure that annexation is coordinated with the timely and efficient provision of adequate public facilities and services. Annexation shall be permitted when city infrastructure is available or planned to be available to serve the development. Infrastructure includes for streets, wastewater treatment, and potable water distribution of sufficient size to support emergency services. Infrastructure extensions should be logical and beneficial to overall goals for the growth of an area and not just for the convenience of one development project.

Land Divisions

Divisions for the creation of new development lots are not permitted.

Divisions will be governed by policies of the base designation. In these areas, cities generally agree to waive the exercise of their extra-territorial subdivision authority. The allowance for divisions of 35 net-acre parcels in the Agriculture and Farm Service designation does not apply. Dwellings in this designation are limited to existing homes, new dwellings built on legally established lots of record or parcels 35 net acres or greater in size.

Compatible Zoning Districts

The A-2 Agribusiness District is not considered compatible with the Urban Reserve Overlay designation. Other zoning districts compatible with Agriculture and Farm Services designation are considered compatible.

Other Policies

Development in the Urban Reserve Overlay may be required to include provision of infrastructure consistent with road, water, and sanitary sewer improvements required of development within the applicable city. This includes development with fire protection with water suppression systems and access requirements. It may also be required to meet city design standards, including for landscaping and street connectivity.

When the applicable city does not require urban standards, then the development may be required to include temporary common wastewater collection systems that meet Iowa Department of Natural Resources and city specifications, and temporary common water distribution systems, such as wells or rural water services. An agreement shall also be required that if and when the property is annexed to a

► **Strategy for compatible conditional, agribusiness and other commercial uses:** The Plan itself does not supersede County zoning. However, upon adoption it will be part of the County's C2C Comprehensive Plan and relevant to consideration of conditional use permit and rezoning requests. To ensure conditional, agribusiness, and other commercial uses are compatible with the Plan, the County should consider amending the County code to restrict the type of uses allowed in the Urban Reserve Overlay designation and require certain standards to be met for other commercial uses that do not require a rezoning or division.

city, the land developer and/or landowner shall be responsible for the full cost of abandoning the rural well and wastewater systems and connecting to urban infrastructure.

Where a base zoning district allows for a conditional use, Story County will consider the long-term appropriateness of the use recognizing the area is planned for urban densities and uses. Most conditional uses that are permissible in the County, due to their distance and isolation from other uses, will be presumed to not be compatible with planned urban development within a growth area. For example, shooting ranges, campgrounds, wind energy systems, etc.

Where conditional uses may be compatible with future urban land uses due to the particular nature of the use or its location in the growth area, additional site development considerations shall be made, including a use's location on a site, lighting, buffering, landscaping, and setbacks. Conditions related to these considerations shall be applied to address future compatibility of the use with planned urban development. In some situations, it may be appropriate to have a limited duration of approval.

The following conditional uses are not considered compatible with the Urban Reserve Overlay:

- Shooting ranges
- Campgrounds and RV parks, except as part of a County park
- ~~Lodges and fraternal organizations~~
- Power plants and substations
- Drag strips and other similar courses or tracks
- Salvage yards
- Yard waste composting
- Agricultural lime storage and processing operations

Strategies, Glossary, and FAQs
for the Environmentally Sensitive
Overlay Designation

 What if an environmentally sensitive area is not included in this overlay? Not all environmentally sensitive areas are mapped and individual developments will need to consider site specific characteristics of any sensitive areas, regardless of whether the Overlay applies to the site.

 Did you know? Both Story County and Ames have policies that require inventories or further identification of environmentally sensitive areas when a development is proposed. Protections or certain design standards may be required based on the results of the inventory.

- ~~Bed and breakfasts~~
- Landfills
- Commercial Wind Energy Conversion Systems or Solar Energy Conversion Systems
- Adult uses
- Surface mineral extraction and processing (Note-May exclude or address policies for existing operations)
- ~~Indoor recreational facilities~~

Environmentally Sensitive Overlay
Story County includes a wide range of environmental resources that provide for ecological and recreational benefits to the people of Story County. Development is not anticipated in these areas and related policies include controls to address the sensitivity of these areas.

Annexations

The standards of the underlying designation shall apply.

Land Divisions

The jurisdiction with subdivision authority shall be the same as in the underlying land use designation. However, divisions for the creation of new developments lots are not permitted unless the division, if permitted by the underlying designation, separates and/or otherwise protects the environmentally

sensitive area from the development. Divisions that create lots that can only be accessed through environmentally sensitive areas are not permitted.

Compatible Zoning Districts

The standards of the underlying designation shall apply.

Other Policies

Further development is discouraged unless it enhances the environmentally sensitive area's function through restoration and/or preservation.

Any permitted development shall meet Story County's standards for mitigating impacts to environmentally sensitive areas.

Conditional uses shall follow the standards of the underlying designation.

Subsurface Mining Overlay

Currently this designation applies to an area northeast of Ames used for mining purposes. Typically activities within this designation are not compatible with development that includes residential or other sensitive uses and controls are included for evaluating uses in this designation.

Annexations

The standards of the underlying designation shall apply.

Land Divisions

The jurisdiction with subdivision authority shall be the same as in the underlying land use designation.

Compatible Zoning Districts

The standards of the underlying designation shall apply.

Other Policies

Consider and mitigate the impacts of noise, dust, vibration, and traffic of mining operations when considering development applications in the vicinity.

Strategies, Glossary, and
FAQs for the Airport
Protection Overlay
Designation

► Strategy for compatible
development with the
Ames Municipal Airport:
The County should consider
amending the County code
to require the review of any
permit that may pose
hazards to air travel or
inhibit airport expansion
plans by the City of Ames or
FAA.

Airport Protection Overlay

The James Herman Banning Ames Municipal airport is a resource to people and businesses of Story County. Supporting its operation is an important economic development objective for the City of Ames and County. The airport may expand to the southwest consistent with its Master Plan during the life of this Plan. Development in this area should be sensitive to unique conditions related to operations of an airport.

Annexations

The standards of the underlying designation shall apply.

Land Divisions

The City of Ames retains jurisdiction of subdivisions within the Overlay, regardless of the underlying designation.

Compatible Zoning Districts

The standards of the underlying designation shall apply.

Other Policies

Consider the compatibility of airport operations with new development applications.

Story County agrees in this designation to route any permitting applications to the City of Ames Public Works Department and require FAA Determination of No Hazard prior to issuing permits.

General Policies and Procedures

The following policies apply to all land use designations in the Ames Urban Fringe Plan. The policies apply to both the cooperators' coordinated long-range planning activities as well as to individual development proposals.

Trails. Ensure that street, bicycle, pedestrian and trail configurations provide for adequate and efficient connectivity to provide for effective long-term access to and through all properties planned for development.

► **Strategy for trails planning:** Story County Conservation and the City of Ames will collaborate on the City's pedestrian and bike plan. After completion, the AUFPP should be amended to incorporate the pedestrian and bike plan.

Parks. The preservation or creation of new areas for public recreation or conservation is supported in all designations.

Development Adjacent to Environmentally Sensitive Areas. Impacts of development adjacent to the Environmentally Sensitive Overlay should be considered as part of a development application and mitigated with the development.

Rural Wastewater and Water Infrastructure. Any decentralized wastewater treatment facilities, wells, and supporting infrastructure shall meet IDNR and County standards. Concentrated rural developments in the Rural Residential—Expansion designation should include common wastewater treatment systems.

Stormwater. Mitigate and manage stormwater run-off, soil erosion, and wastewater discharge according to IDNR, County, and City standards. Special attention should be given to the water quality impacts of development in the Ada Hayden Watershed—as outlined on the Land Use Map Overlay.

Affordable Housing. Direct and encourage the construction of new affordable housing development to locations within Ames and Gilbert.

Development in the Floodplain. Locate future development outside of the 1% annual chance (100-year) floodplain.

Road Infrastructure. Limit development in areas that would create a need for the upgrade of roads before they are scheduled. Where proposed development will potentially increase traffic volumes and require the upgrade of road infrastructure, developers will be required to provide for the cost of road improvements at the time of development.

Official Zoning Map Amendments (Rezoning)

Amendments to the Official Zoning Map of Story County within the AUPF planning area shall conform to the goals and policies set forth in the Plan and the Land Use Framework Map. All applications for amendments to the Official Zoning Map of Story County shall be processed in accordance with the requirements set forth in the Story County Land Development Regulations, including the standard for amendments that they shall be compatible with the County's comprehensive plan.

Figure 3 is a zoning compatibility matrix for Story County's Zoning Districts and the AUPF Land Use Designations. Compatibility between the zoning districts and a designation is notated by an "X." A blank cell in the matrix indicates that a zoning district is not compatible with a Plan designation. The Plan does not include expectations for additional rural commercial and industrial development that would be permitted in the C-LI Commercial Light Industrial or HI Heavy Industrial Zoning District. The Urban Reserve, Environmentally Sensitive Overlay, Subsurface Mining Overlay, and Airport Protection Overlay are considered compatible with the same zoning districts as the base land use designation to which they apply, with the exception of the A-2 Agribusiness Designation and the Urban Reserve Overlay.

| | Agriculture and Farm Service | Rural Residential— Existing | Rural Residential— Expansion | Urban Growth | Urban Reserve Overlay |
|--------------------------------------|------------------------------|-----------------------------|------------------------------|--------------|-----------------------|
| A-1 Agricultural | X | | | X | X |
| A-2 Agribusiness | X | | | | |
| A-R Agricultural Residential | | X | X | | |
| R-1 Rural Transitional Residential | | X | | | |
| R-2 Urban Residential | | X | | | |
| RMH Residential Manufactured Housing | | X | | | |
| C-LI Commercial Light Industrial | | | | | |
| HI Heavy Industrial | | | | | |

Figure 4: Zoning and AUPF Land Use Designation Compatibility Matrix

Story County shall not take action on any request to amend the Official Zoning Map of Story County when such request is accompanied by or necessitates a request to amend the Plan. Such request to amend the Plan shall be acted upon by all the cooperators as provided in the Plan Amendments section prior to action by the County on an amendment to the Official Zoning Map.

Annexations

Cities agree to annex territory in accordance with the plan. Annexation requests shall not be reviewed until such time the Plan has been amended to designate a property in a compatible Land Use Designation.

Cities shall annex the entire width of public right-of-way to the road centerline located adjacent to lands being annexed, or, in the case of non-fee simple right-of-way, a 28E or other agreement on road maintenance shall be in place if a road is not proposed to be annexed.

Figure 4 is an annexation compatibility matrix for the AUPP Land Use Designations. Compatibility of annexation with a designation is notated by an "X." A blank cell in the matrix indicates that annexation is not compatible with a Plan designation. The Urban Reserve, Environmentally Sensitive Overlay, Subsurface Mining Overlay, and Airport Protection Overlay are considered compatible with annexation based on the base land use designation, with the exception of the Urban Reserve Overlay. The Urban Reserve designation also intends for annexation, but with limits on appropriate timing to support annexation into the city based upon proximity and availability of infrastructure to support future development.

| | Agriculture and Farm Service | Rural Residential— Existing | Rural Residential— Expansion | Urban Growth | *Urban Reserve Overlay |
|-----------------------|------------------------------|-----------------------------|------------------------------|--------------|------------------------------------|
| Annexation Compatible | No* | No* | No* | Yes | Yes, if certain standards are met. |

Figure 5: Annexation and AUPP Land Use Designation Compatibility Matrix

The Story County Board of Supervisors shall review all annexation requests for conformance with the Ames Urban Fringe Plan and forward a copy of their resolution to the annexing city for consideration as required under the Code of Iowa. Story County will also provide to cities available information regarding Environmentally Sensitive Areas for consideration as part of the annexation process.

Annexation of city-owned property, used for a public purpose facility such as wastewater or water treatment or water wells is permitted even if in a designation that is not compatible with annexation. However, public facilities may also be allowed within the County without annexation to the City.

In consideration of the fact that annexation has the effect of extending the two-mile extraterritorial division review area beyond the planning area, the cooperators understand and agree that the cities shall waive their extraterritorial review jurisdiction in such extended area, and that the County shall only approve subdivisions allowed in the A-1 Agricultural Zoning District in the extended area. Alternatively, a property owner may request the cooperators to amend the Plan and Land Use Framework Map to extend the planning area to include the property and determine an appropriate land use designation. Story County shall annually update the Ames Urban Fringe Plan Land Use Framework Map to show the two-mile extraterritorial review jurisdiction.

Land Use Framework Map Amendments

The Land Use Framework Map may be amended by a cooperator or property owner. A cooperator may initiate an amendment by providing written notice to the other cooperators. A property owner ~~may~~ must initiate an amendment by requesting a pre-application meeting with the cooperator who would have subdivision review authority in the requested land use designation. That cooperator shall notify the other cooperators of the request and invite them to attend the pre-application meeting. The City of Gilbert shall only review amendment requests if they are north of 190th Street. Ames will only review amendment requests south of 180th Street.

After the pre-application meeting, the cooperators' city councils (as applicable) and Board of Supervisors shall take action on if they would like to further consider the request consistent with their process for amending a Comprehensive Plan and allow a formal application to be submitted. The cooperator who would have jurisdiction over the requested land use designation shall be the first to take such action and shall forward the results of the action to the other cooperators prior to their consideration.

If the majority of the cooperators agree to allow an application to be made, a formal application shall be made with the cooperator who would have subdivision review authority in the requested land use designation. ~~Formal applications shall only be accepted by the cooperators biannually in July or January of the calendar year of the pre-application meeting.~~ When a formal application is received, a cooperator shall notify the other cooperators and provide a copy of the application. As the AUFM is adopted by each cooperator as a component of their respective comprehensive plans, the procedures of adopting an amendment shall be the process for a comprehensive plan amendment as required in their code. An amendment must be approved by all affected cooperators (2 or 3 depending on location) to be effective. If an amendment requested by a cooperator is not approved, they may request a joint meeting of all cooperators to reconsider the request. Figure 5 is a flow chart of the Land Use Framework Map Amendment Process.

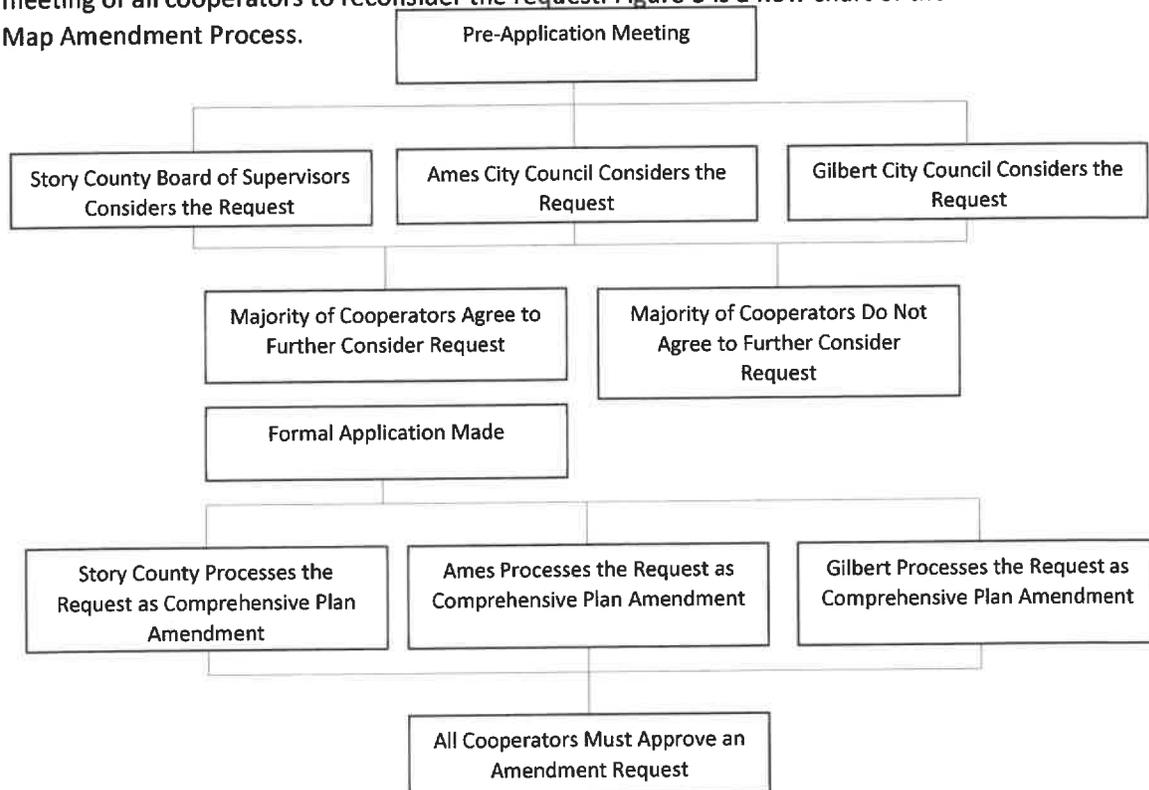


Figure 6: Flow Chart of Land Use Framework Map Amendment Process

Plan Review

To ensure that the Ames Urban Fringe Plan remains an effective guide for decision makers, the jurisdictions should cooperatively conduct periodic evaluations of the Plan's goals and policies.

These evaluations should be conducted every 5 years, depending on the rate of change in the Urban Fringe.

Plan amendments that appear appropriate as a result of a comprehensive review may be incorporated following the adopted Plan amendment process.

At any time during the planning horizon, either the chair of the Board of Supervisors or the Mayor of either city may initiate a review or amendment of the Plan by providing notice in writing to the other cooperators. The cooperator requesting the amendment may host a joint meeting to discuss the request.

As the AUFPP is adopted by each cooperator as a component of their respective comprehensive plans, the procedures of adopting an amendment shall be the same and each cooperator shall follow the process for a comprehensive plan amendment. Each cooperator shall take action on the request within 90 days of the joint meeting and provide a copy of the resolution acting on the request to the other cooperators.

An amendment must be approved by all cooperators to be effective. The amendment shall take effect no later than ten (10) days after the recordation of each approval of a cooperator's resolution approving the amendment, or earlier upon the resolution being recorded.

Parcel Line (aka Boundary Line) Adjustments

A change in an existing boundary line between two parcels of land where no more than the same number of lots or parcels, or fewer numbers of lots or parcels, exist after the adjustment and wherein the new parcel is not meant for independent development and is only meant to enhance the size and/or shape of the neighboring parcel are permitted in all designations with the exception of the following:

- Those that result in the expansion of a nonconforming use or cause a parcel to become nonconforming with the Story County Land Development Regulations.
- Those that divide an existing parcel by repeated divisions or simultaneous divisions into three or more parcels. Repeated divisions mean those that are done at intervals of time on or after July 1, 1990. Simultaneous divisions mean those which are done at any one time on or after July 1, 1990.
- Those that are intended to, or effectively, relocate a parcel's development area to another parcel.

Story County shall retain review jurisdiction over parcel line adjustments regardless of the land use designation except in the Urban Growth designation, where the applicable city and County shall have joint review authority. A new deed for the new, entire parcel shall be recorded along with the survey. There cannot be two separate ownership instruments on record for the enlarged parcel.

Implementation Strategies

After the adoption of the AUPP, the cooperators shall undertake the following strategies to implement the plan:

- City of Ames will draft a 28-E agreement consistent with the policies of the Plan for the joint administration of the Plan and file the agreement with the Secretary of State upon approval by any participating cooperator in the Plan.
- The 28-E will have an initial five year duration with an automatic five years extension for a total of 10 years. Language for notification and cancellation of the agreement will also be included.
- ~~The cooperators will adopt the~~include the Plan as an amendment to part of their respective comprehensive plans.
- Story County Conservation and the City of Ames will collaborate on the City's pedestrian and bike plan. After completion, the AUPP should be amended to incorporate the pedestrian and bike plan.
- The Plan does not supersede County zoning. To ensure land use decisions are compatible with the plan, the County should consider the following amendments to its code:
 - Restrictions on the type of agribusiness uses allowed in the Agriculture and Farm Service designation
 - Restrictions on the type of conditional uses and requirements for certain standards to be met for other commercial uses that do not require a rezoning or division in the Urban Growth designation.
 - Restrictions on the type of conditional uses, agribusiness uses, and requirements for certain standards to be met for other commercial uses that do not require a rezoning or division in the Urban Reserve Overlay.
 - Review requirements for any permit that may pose hazards to air travel or inhibit airport expansion plans by the City of Ames or FAA in the Airport Protection Area Overlay.
 - Amendments to the conservation design subdivisions standards to ensure compatibility with the density bonuses and design standards allowed in the Rural Residential—Expansion area.

Story County, Iowa

Update to the Board of Supervisors

Go Green Team



Presented December 6, 2022

Overview of Activities

The Go Green Team was reactivated by the Story County Board of Supervisors with the adoption of Resolution #22-52 *Establishing the Story County Climate Resilience Leadership Strategy* on February 1, 2022. Members of the Go Green Team held their first meeting on February 25th, and since the April 2022 meeting, have met monthly as a large group. In addition, task forces have met outside of the regular meeting times of the entire group.

Throughout meetings thus far in 2022, the following steps have occurred:

- Co-Chairs (Bre Van Sickle and Amelia Schoeneman) elected
- Three Task Force Group Areas developed, team members assigned, and work in groups underway
 - Environment and Physical Improvements
 - Purchasing Policies and Budgeting
 - Outreach
- Representatives from buildings identified
- Projects and Strategies identified and prioritized
- Task Force Mission Statements created
- Review and recommendation on the Greenhouse Gas Inventory conducted
- Fiscal Year 2024 Budget requests developed
- Learning Moments added to the regular monthly meetings

Mission statements are highlighted on the following pages, as well as the prioritized projects.

Mission Statements

Environment and Physical Improvements

Pursue changes in our built environment and daily practices, both at County facilities and in our communities, to promote the wise use of resources for current and future generations.

Purchasing Policies and Budgeting

Promote purchasing policies and budgeting that will enhance the use of products that lessen the negative impact on human health and environment in a cost-effective manner.

Outreach

The Outreach Committee will promote and offer education to model flexible solutions that build a more resilient community.

Overview of Projects and Priorities

Projects are organized by Task Force and prioritized by timeframes as follows:

| | |
|----------------------------|--|
| Ongoing | Funding requests were submitted for the Fiscal Year 24 budget process for consideration by the Board of Supervisors based on these timeframes. |
| Immediate (FY23) | |
| Short-Term (FY23 and FY24) | |
| Medium-Term (FY24) | |
| Long-Term (FY25 on) | |

| ID Number | OUTREACH | Priority |
|-----------|---|-----------|
| O.1 | DEF usage question – check with UNI to see if this is built into the greenhouse gas inventory (ALL THREE) | Ongoing |
| O.2 | Recycling communications – how and what to recycle and where | Ongoing |
| O.3 | Making recycling bins more visible along with noting and educating what goes in each one. Letting people know where they are on floors in buildings | Immediate |
| O.4 | Put reminder on calendars to recycle | Immediate |
| O.5 | Paper recycling locations in Ames | Immediate |
| O.6 | Identify who the garbage providers are throughout Story County and find out if they provide recycling (with PPB) | Immediate |
| O.7 | Story County Conservation working with Blank Park Zoo for recycling – can we put boxes in all County buildings | Immediate |
| O.8 | Waste reduction at county-wide events/meetings etc. (with PPB) | Immediate |
| O.9 | Invite staff from the Resource Recovery Plant to attend a meeting to discuss what they do and how glass is handled | Short |
| O.10 | Discussion of food waste – make employees aware of where the food waste can go rather than through the garbage waste system | Short |
| O.11 | Find can redemption sites and share information with County employees. | Short |
| O.12 | Identify ways to make recycling easier (with EPI) | Short |
| O.13 | Where does recycling occur in Story County and what happens to it? | Medium |

| ID Number | OUTREACH | Priority |
|-----------|--|------------------|
| O.14 | Ideas for people to get started at home – such as food waste | Medium |
| O.15 | Carbon footprint quiz online/webpage | Medium |
| O.16 | Profiles of employees and things they are doing | Medium – Ongoing |
| O.17 | Community gardening opportunities (with EPI) | Medium |
| O.18 | Work with ISU Design department to make rotating phone charging stations at parks, etc. (ALL THREE) | Medium |
| O.19 | Transitioning to vehicles that are energy efficient and environmentally responsible – hybrid (ALL THREE) | Long |
| O.20 | Turf management/native planting/low mow options around buildings etc. (ALL THREE) | Long |

| ID Number | ENVIRONMENTAL AND PHYSICAL IMPROVEMENTS | Priority |
|-----------|---|----------|
| EPI.1 | Investigate how other animal shelters are addressing waste and practices they have in place. Practice exists to bring shredding to the animal shelter now | Ongoing |
| EPI.2 | DEF usage question – check with UNI to see if this is built into the greenhouse gas inventory (ALL THREE) | Ongoing |
| EPI.3 | Assess what kind of lighting in County – exterior and interior (to be completed by the end of FY24) | Ongoing |
| EPI.4 | Investigate possibility to go to cloud as a County – could we all have a tablet as employees to reduce the amount of paper this is printed off (with PPB) | Ongoing |
| EPI.5 | Research how papers are being shredded, etc., and then what is happening (with PPB) | Ongoing |
| EPI.6 | Water bottle fillers at buildings | Ongoing |
| EPI.7 | Paving treatments such as permeable pavers (with PPB) | Ongoing |
| EPI.8 | Potential for solar (with PPB) | Ongoing |
| EPI.9 | Other treatment options for winter time and dust control on roads that are environmentally-friendly (with PPB) | Ongoing |
| EPI.10 | Identify ways to make recycling easier (with O) | Short |
| EPI.11 | Climate Resiliency Action Plan RFP and following steps (with PPB) | Short |
| EPI.12 | Develop a plan for transitioning to vehicles that are energy efficient and environmentally responsible – hybrid (with PPB) | Short |
| EPI.13 | Composter at conservation and locations at other buildings | Medium |

| ID Number | ENVIRONMENTAL AND PHYSICAL IMPROVEMENTS | Priority |
|-----------|--|----------|
| EPI.14 | Recycling electronics – what type of computer waste are we generating (with PPB) | Medium |
| EPI.15 | Community gardening opportunities (with O) | Medium |
| EPI.16 | Work with ISU Design department to make rotating phone charging stations at parks, etc. (ALL THREE) | Medium |
| EPI.17 | Transitioning to vehicles that are energy efficient and environmentally responsible – hybrid (ALL THREE) | Long |
| EPI.18 | Investigate opportunities for charging stations at County facilities for County employee use (with PPB) | Long |
| EPI.19 | Turf management/native planting/low mow options around buildings etc. (ALL THREE) | Long |

| ID Number | PURCHASING POLICIES AND BUDGETING | Priority |
|-----------|---|-----------------|
| PPB.1 | DEF usage question – check with UNI to see if this is built into the greenhouse gas inventory (ALL THREE) | Ongoing |
| PPB.2 | Assess what kind of lighting in County – exterior and interior (to be completed by the end of FY24) | Ongoing |
| PPB.3 | Investigate possibility to go to cloud as a County – could we all have a tablet as employees to reduce the amount of paper that is printed off (with EPE) | Ongoing |
| PPB.4 | Research how papers are being shredded, etc., and then what is happening (with EPI) | Ongoing |
| PPB.5 | Paving treatments such as permeable pavers (with EPI) | Ongoing |
| PPB.6 | Potential for solar (with EPI) | Ongoing |
| PPB.7 | Other treatment options for winter time and dust control on roads that are environmentally-friendly (with EPI) | Ongoing |
| PPB.8 | Comprehensive review of existing policies | Ongoing |
| PPB.9 | Identify who the garbage providers are throughout Story County and find out if they provide recycling (with O) | Immediate |
| PPB.10 | Waste reduction at county-wide events/meetings etc. (with O) | Immediate |
| PPB.11 | Climate Resiliency Action Plan RFP and following steps (with EPI) | Short |
| PPB.12 | Develop a plan for transitioning to vehicles that are energy efficient and environmentally responsible – hybrid (with EPI) | Short |

| ID Number | PURCHASING POLICIES AND BUDGETING | Priority |
|-----------|--|----------|
| PPB.13 | Work from home opportunities | Medium |
| PPB.14 | Recycling electronics – what type of computer waste are we generating (with EPI) | Medium |
| PPB.15 | Four-day work week potential | Medium |
| PPB.16 | Work with ISU Design department to make rotating phone charging stations at parks, etc. (ALL THREE) | Medium |
| PPB.17 | Transitioning to vehicles that are energy efficient and environmentally responsible – hybrid (ALL THREE) | Long |
| PPB.18 | Investigate opportunities for charging stations at County facilities for County employee use (with EPI) | Long |
| PPB.19 | Turf management/native planting/low mow options around buildings etc. (ALL THREE) | Long |