

The Board of Supervisors met on 10/19/21 at 10:00 a.m. in the Story County Administration Building. Lisa Heddens, Latifah Faisal, and Linda Murken, with Heddens presiding. (all audio of meetings available at storycountyiaowa.gov). **SPECIAL NOTE TO THE PUBLIC:** this meeting is also being offered via Zoom.

Murken announced that Iowa House Representative Ross Wilburn (District 46) received multiple threats; she urges people to reach out to their communities to offer support and Iowans are better than that.

ADOPTION OF AGENDA: Faisal moved, Murken seconded adopting the agenda as presented. Motion carried unanimously (MCU) on a roll call vote.

MINUTES: 10/12/21 Minutes – Murken moved, Faisal seconded the approval of 10/12/21 Minutes. Roll call vote. (MCU)

PERSONNEL ACTIONS: 1) new hire, effective 10/20/21, in a) Conservation for Kaitlyn Kelley @ \$11.75/hr; 2) pay adjustment, effective 10/24/21, in a) Attorney's Office for Shean Fletchall @ \$4,245.23/bw; b) Community Services for Nicole Sprecher @ \$25.58/hr; 3) re-hire, effective 10/25/21, in a) Planning & Development for Emily Rizvic @ \$11.00/hr. Faisal moved, Murken seconded the approval of Personnel Actions as listed. Roll call vote. (MCU)

Murken moved, Faisal seconded the approval of Consent Agenda.

1. Quarterly Reports for the following: Auditor; Recorder; Sheriff
2. Agreement with A & M Services, Inc for laundry services at the Administration Building for an average annual cost of \$9,760.00, effective 10/19/21-10/18/24
3. Agreement with A & M Services, Inc for laundry services at Animal Control for an average annual cost of \$1,155.00, effective 10/19/21-10/18/24
4. Agreement with A & M Services, Inc for laundry services at the Human Services Center for an average annual cost of \$2,358.00, effective 10/19/21-10/18/24
5. Agreement with A & M Services, Inc for laundry services at the Justice Center for an average annual cost of \$6,903.00, effective 10/19/21-10/18/24
6. Agreement with A & M Services, Inc for laundry services at McFarland Park for an average annual cost of \$1,782.00, effective 10/19/21-10/18/24
7. Final Design Plans for HMA Resurfacing on R38 (510th Avenue), from Slater city limits, north 8.0 Miles (STBG-SWAP-C085(164)—FG-85)
8. Final Design Plans for HMA Resurfacing on S27 (650th Avenue), from 295th Street, north 5.373 Miles to US Highway 30 (FM-C085(165)—55-85)
9. Final Design Plans for RCB Culvert New – Triple Box on 730th Avenue over unnamed stream in the Northwest Quarter of Section 12 of T84N-R21W (Sherman Township) (FM-C085 (166)—55-85)
10. Request to lower Letter of Credit amount for improvements at the Prairie Valley Subdivision due to completion of improvements and receipt of Letter of Credit to warranty completed improvements
11. Utility Permit: #22-5966

Roll call vote. (MCU)

FIRST CONSIDERATION OF ORDINANCE NO. 297, AMENDING CHAPTER 86 – DISTRICT REQUIREMENTS, AND CHAPTER 85.08 – DEFINITIONS, OF THE STORY COUNTY LAND DEVELOPMENT REGULATIONS, OF THE STORY COUNTY CODE OF ORDINANCES: Andrea Wagner, County Planner, reported updates are part of the work program. The Planning and Zoning Commission recommended be approved. Wagner gave a summary of proposed amendments. Amelia Schoeneman, Planning and Development Director, clarified changes to shipping containers and asphalt plants. Discussion took place. Heddens opened the public hearing at 10:24 a.m., and, hearing none, she closed the public hearing at 10:25 a.m. Murken moved, Faisal seconded approval of First Consideration of Ordinance No. 297, Amending Chapter 86-District Requirements, and Chapter 85.08-Definitions, of the Story County Land Development Regulations, of the Story County Code of Ordinances and Set Second Consideration for Tuesday, 10/26/21, as presented as Alternative 1. Roll call vote. (MCU)

RESOLUTION #22-32, AMES URBAN FRINGE PLAN – LAND USE FRAMEWORK MAP AMENDMENT: Amelia Schoeneman, Planning and Development Director, reported on the parcels are on Dayton Avenue, in an area that is slated for annexation into the City of Ames and future industrial use. Schoeneman reported on the process. The Planning and Zoning Commission recommended approval. She listed alternatives. Heddens opened the public hearing at 10:30 a.m., and, hearing none, she closed the public hearing at 10:30 a.m. Discussion took place. Faisal moved, Murken seconded approval of Resolution #22-32, the Ames Urban Fringe Plan Land Use Framework Map Amendment from Agriculture and Farm Service to Planned Industrial for the properties at 2105 and 2421 Dayton Avenue in the East Half of the Northeast of Section 36, Franklin Township, as submitted. Roll call vote. (MCU)

UPGRADING THE NETWORK CONNECTION BETWEEN THE CITY ASSESSOR AND STORY COUNTY (UNBUDGETED): Barb Steinback, Information Technology (IT) Director, reported on security needs. The vendor provided two options; Steinback recommends Option B. Steinback reported total cost is \$8,625.62. Discussion took place. Murken moved, Faisal seconded the approval of Upgrading the Network Connection between the City Assessor and Story County for \$8,625.62. Roll call vote. (MCU)

AMES TRANSIT AGENCY (CYRIDE) LETTER OF SUPPORT FOR A BUS AND BUS FACILITIES GRANT:

Heddens stated a request from CyRide for a letter of support a grant application for new buses and bus facilities; she asked for questions. Faisal asked about any matching funds. Heddens stated no. Heddens stated this is not a conflict with the Heart of Iowa Regional Transit Agency (HIRTA). Faisal moved, Murken seconded the approval of the Ames Transit Agency (CyRide) Letter of Support for a Bus and Bus Facilities Grant. Roll call vote. (MCU)

UPCOMING AGENDA ITEMS: Heddens stated the American Rescue Plan Act (ARPA) applications may be moved. **LIAISON ASSIGNMENTS, COMMITTEE MEETINGS UPDATES, AND ANNOUNCEMENTS FROM THE SUPERVISORS:** The Board members all reported on upcoming meetings.

Faisal moved, Murken seconded to adjourn at 10:51 a.m. Roll call vote. (MCU)

Story County Board of Supervisors
Meeting Agenda
Administration Building
900 6th St., Nevada, IA
10/19/21

1. SPECIAL NOTE TO THE PUBLIC: This Meeting Is Also Being Offered Via Zoom.
Members of the public can participate by using the information below:

To join the zoom meeting by computer, tablet, smartphone:
Visit [HTTPS://WWW.ZOOM.US/](https://www.zoom.us/)

Click on "Join A Meeting" and use the Zoom Meeting ID 981 7092 0243 and Password 446094

To join the meeting by telephone:
Dial (312) 626-6799, then enter Webinar ID 981 7092 0243, Password 446094

Please visit WWW.STORYCOUNTYIOWA.GOV/92/BOARD-OF-SUPERVISORS
for more information on how to participate in meetings of the Story County Board of Supervisors.

2. CALL TO ORDER: 10:00 A.M.

3. PLEDGE OF ALLEGIANCE:

4. ADOPTION OF AGENDA:

5. PUBLIC COMMENT #1:

This comment period is for the public to address topics on today's agenda

6. AGENCY REPORTS:

7. CONSIDERATION OF MINUTES:

I. 10/12/21 Minutes

Department Submitting	Auditor
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8. CONSIDERATION OF PERSONNEL ACTIONS:

I. Action Forms

1)new hire, effective 10/20/21, in a)Conservation for Kaitlyn Kelley @ \$11.75/hr; 2)pay adjustment, effective 10/24/21, in a)Attorney's Office for Shean Fletchall @ \$4,245.23/bw; b)Community Services for Nicole Sprecher @ \$25.58/hr; 3)re-hire, effective 10/25/21, in a)Planning & Development for Emily Rizvic @ \$11.00/hr

Department Submitting	HR
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9. CONSENT AGENDA:

(All items listed under the consent agenda will be enacted by one motion. There will be no separate discussion of these items unless a request is made prior to the time the Board votes on the motion.)

I. Consideration Of Quarterly Reports For The Following: Auditor, Recorder, And Sheriff

Department Submitting	Auditor
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Documents:

QUARTER.PDF

- II. Consideration Of Agreement With A & M Services, Inc For Laundry Services At Administration Building For An Average \$9,760.00/Yr, Effective 10/19/21-10/18/24

Department Submitting	Facilities Management
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Documents:

ADMIN A AND M.PDF

\$1,155.00/Yr, Effective 10/19/21-10/18/24

Department Submitting Facilities Management

Documents:

AC A AND M.PDF

IV. Consideration Of Agreement With A & M Services, Inc For Laundry Services At Human Services Center For An Average \$2,358.00/Yr, Effective 10/19/21-10/18/24

Department Submitting Facilities Management

Documents:

HSC A AND M.PDF

V. Consideration Of Agreement With A & M Services, Inc For Laundry Services At Justice Center For An Average \$6,903/Yr, Effective 10/19/21-10/18/24

Department Submitting Facilities Management

Documents:

JC A AND M.PDF

VI. Consideration Of Agreement With A & M Services, Inc For Laundry Services At McFarland For An Average \$1,782.00/Yr, Effective 10/19/21-10/18/24

Department Submitting Facilities Management

Documents:

MCF A AND M.PDF

VII. Consideration Of Final Design Plans For HMA Resurfacing On R38, From Slater City Limits, North 8.0 Miles (STBG-SWAP-C085(164)—FG-85)

Department Submitting Engineer

Documents:

FP FM HMA RESURFACING R38.PDF

VIII. Consideration Of Final Design Plans For HMA Resurfacing On S27, From 295th St., North 5.373 Miles To U.S. Highway 30 (FM-C085(165)—55-85)

Department Submitting Engineer

Documents:

FP FM HMA RESURFACING S27.PDF

IX. Consideration Of Final Design Plans For RCB Culvert New – Triple Box On 730th Ave Over No Name Stream: In Northwest Quarter Of Section 12 Of T84N-R21W (FM-C085(166)—55-85)

Department Submitting Engineer

Documents:

FD FM RBC CULVERT NEW.PDF

X. Consideration Of Request To Lower Letter Of Credit Amount For Improvements At The Prairie Valley Subdivision Due To Completion Of Improvements And Receipt Of Letter Of Credit To Warranty Completed Improvements

Department Submitting Planning and Development

Documents:

STAFF MEMO PDF

XI. Consideration Of Utility Permit: #22-5966

Department Engineer
Submitting

Documents:

UT 22 5966.PDF

10. PUBLIC HEARING ITEMS:

- I. First Consideration Of Ordinance #297, Amending Chapter 86 – District Requirements, And Chapter 85.08 – Definitions, Of The Story County Land Development Regulations, Of The Story County Code Of Ordinances – Andrea Wagner

Department Planning and Development
Submitting

Documents:

ORDINANCE NO 297.PDF
STAFF MEMO.PDF

- II. Discussion And Consideration Of Resolution #22-32, Ames Urban Fringe Plan - Land Use Framework Map Amendment – Amelia Schoeneman

Department Planning and Development
Submitting

Documents:

MEMO.PDF
RESOLUTION 22 32.PDF
REQUEST LETTER.PDF

11. ADDITIONAL ITEMS:

- I. Discussion And Consideration Of Upgrading The Network Connection Between The City Assessor And Story County (Unbudgeted) - Barb Steinback
Confidential

Department Information Technology
Submitting

- II. Discussion And Consideration Of Ames Transit Agency (CyRide) Letter Of Support For A Bus & Bus Facilities Grant - Lisa Heddens

Department Board of Supervisors
Submitting

Documents:

LETTER.PDF

12. DEPARTMENTAL REPORTS:

13. OTHER REPORTS:

14. UPCOMING AGENDA ITEMS:

15. PUBLIC FORUM #2:

Comments from the Public on Items not on this Agenda. The Board may not take any Action on the Comments due to the Requirements of the Open Meetings Law, but May Do So In the Future.

16. LIAISON ASSIGNMENTS, COMMITTEE MEETINGS UPDATES, AND ANNOUNCEMENTS FROM THE SUPERVISORS:

17. ADJOURNMENT:

Story County strives to ensure that its programs and activities do not discriminate on the basis of race, color, national origin, sex, age or disability. Persons requiring assistance, auxiliary aids or services, or accommodation because of a disability may contact the county's ADA coordinator at (515) 382-7204.

Story County Board of Supervisors

Agenda

10/19/21

NAME

ADDRESS

Andrea Wagner
America Schaefer

P i D
P i D

COUNTY AUDITOR'S REPORT OF FEES COLLECTED

STATE OF IOWA }
STORY COUNTY }

TO THE BOARD OF SUPERVISORS OF STORY COUNTY:

Pursuant to the Code of Iowa, Chapter 331.902, Collection and Disposition of Fees collected, I, Lucy Martin, Auditor of the above named County and State, do hereby certify that the following is a true and correct statement of fees collected by me in my office for the quarter ending September 30, 2021 and the same has been paid to the Story County Treasurer.

For Elections for Other Entities Elections		\$ 95.00
Misc Elections	95.00	
CARES Act		
City/School Elections		
Special Elections		
For Other Office Fees		\$ 3,764.83
Plat Books	81.80	
Computer Lists		
Fiscal Agent Fees	3,677.13	
Map Copies		
Copies	5.90	
Miscellaneous		
	TOTAL	\$ 3,859.83

Treasurer's Receipts for the above are attached.



LUCY MARTIN
Story County Auditor
October 4, 2021

APPROVED **DENIED**
Board Member Initials: AKH
Meeting Date: 10-19-21
Follow-up action: _____

COUNTY RECORDER'S REPORT OF FEES COLLECTED FOR 1st QUARTER
FISCAL YEAR 2021-2021.

STATE OF IOWA}
COUNTY OF STORY}

TO: THE STORY COUNTY BOARD OF SUPERVISORS

Pursuant to the Code of Iowa, Chapter 331.902, Collection and Disposition of Fees, I, Stacie Herridge, Recorder of the above-named County and State do hereby certify that the following is a true and correct statement of the fees collected by me in my office for the 1st Fiscal Quarter ending Sept. 30, 2021, and the same has been paid to the County Treasurer.

Change of Title Fees	01000-08000-4100-07	\$4,695.00
Records Management Fees	27000-08000-4140-07	\$4,079.00
Electronic Transaction Fees	56000-08000-4160-07	\$4,079.00
Real Estate Transfer Tax	01000-08000-4040-07	\$54,147.39
Recording Fees	01000-08000-4000-07	\$100,314.00
Snowmobile Fees	01000-08000-4010-07	\$166.25
Boat Fees	01000-08000-4020-07	\$448.75
Hunting & Fishing Fees	01000-08000-4030-07	\$7.00
UCC Fees	01000-08000-4050-07	\$0.00
Copy Fees	01000-08000-4060-07	\$1,261.50
ATV Fees	01000-08000-4070-07	\$1,051.25
Vital Records Fees	01000-08000-4130-07	\$6,020.00
Passport Fees	01000-08000-4150-07	\$8,225.00
Boat Title Fees	01000-08000-4120-22	\$360.00
Interest	01000-00054-6000-07	\$19.19
Overages	01000-00055-8220-07	\$169.80
DNR Fees	01000-08000-4080-07	\$0.00
Total paid to Story County Treasurer		\$185,043.13

All of which is respectfully submitted this 5th day of October, 2021.

Stacie Herridge

Stacie Herridge, Story County Recorder

Subscribed and sworn to before me, the undersigned, and filed in my office this 6th day of October, 2021.

Lucy Martin

Lucy Martin, Story County Auditor

Revised April 12, 2016

Office Use Only
Total to Story County Treasurer
Total to DNR via ACH
Total to IVES via ACH
Total to Dept. of Revenue

APPROVED **DENIED**

Board Member Initials: SKH \$185,043.44

Meeting Date: 10-19-21 \$9,995.45

Follow-up action: _____ \$19,215.00

_____ \$303,679.66

_____ \$517,933.55

**Story County Sheriff's Report
Total Income Earned
For the Quarter Ending September 30, 2021**

Civil Fees (01000-01000-4400-05)	\$27,339.38
Civil Fees (Credit Card)	1,372.23
Permits to Carry Concealed Weapon (01000-01000-4410-05)	\$6,460.00
Permits to carry Concealed Weapon - Credit Card	\$20.00
Interest (01000-00054-6000-05)	\$6.85
Work Release (01000-01000-4400-05)	\$0.00
Total	\$35,198.46

Total Paid to Story County Treasurer **\$35,198.46**

APPROVED **DENIED**
Board Member Initials: AKH
Meeting Date: 10-19-21
Follow-up action: _____



Paul H. Fitzgerald, Sheriff

Dated 09/30/2021
PHF:kan



Est. 1921

Spencer, IA • Sioux City, IA
Sioux Falls, SD • Boone, IA

Toll Free • 800-242-5122
Fax • 712-262-4752

Rental Service Agreement

223 11th St. PO Box 230 Spencer, IA 51301 1-800-242-5122

A & M Services INC, (Supplier) and: Story County Facilities Management
(Customer)

(Print full business name)

Street Address 900 6th St Phone 515-382-6581
City/State/Zip Nebraska IA. Contact Terry

Hereby agree as follows:

1. The Customer hereby orders rental service of garments and/or other rental items as set forth in this agreement. Supplier agrees to furnish and Customer agrees to receive, for its employees, the number of clean uniforms ("garments") and other items set forth on the first delivery invoice, which the parties hereto agree shall be the original order form.
2. Supplier shall maintain a regular delivery schedule to pick up and deliver the rental items to Customer. It shall mend, alter and replace said rental items to the extent necessitated by normal wear and tear.
3. All rental items shall remain the property of the Supplier. If the items are lost or destroyed or become unusable for their intended purpose (other than normal wear and tear), the Customer shall pay a replacement charge for the items based on prices in effect from time to time on the Supplier's replacement price schedule.
4. The Customer may discontinue the garment service for each of its employees only if the employee is terminated; provided, however, that this provision shall only apply to employee turnover and not to situations where Customer sells or terminates doing business. The weekly charge for each such employee shall be eliminated only if his uniforms are returned to the Supplier or if the Supplier is paid the replacement charge for the garments not returned.
5. Employees' absences due to sickness or vacations have been taken into account in arriving at the weekly charge per employee, and therefore, no credit shall be issued with respect to such absences.
6. Customer acknowledges that Supplier will be obligated to make a substantial investment in rental items and equipment to fulfill this agreement. The term of this agreement, therefore, shall be a period of three years, consisting of 156 weekly billings from the date of initial delivery and shall be automatically renewed, from year to year thereafter, unless terminated by written notice given by Supplier or Customer at least 60 days before the expiration date of initial term or any renewal term.
7. Upon breach of this agreement by Customer or upon termination by Customer prior to the termination date, Customer agrees to pay liquidated damages in an amount equal to the Customer's maximum inventory, valued according to the Supplier's replacement price schedule; thereafter, said inventory shall remain property of Supplier.
8. Customer shall pay Supplier for each service at prices and terms set forth on this agreement. In the event the Customer's account becomes past due, the Supplier, at its options and without notice, may declare this agreement to be in default and terminate service to the Customer without liability on part of Supplier.
9. Rental rates may be changed from time to time by written notice to the Customer. The sending of an invoice to the Customer containing the changed rental rates may constitute such written notice. If the Customer elects not to accept an increased rental rate, he may terminate this agreement by giving written notice of termination within thirty (30) days succeeding the date of Supplier's written notice of such changes, provided that such termination will not be effective if the Supplier elects, at its sole option, to rescind the rate increase.
10. This agreement shall be binding upon the Customer and the Supplier and their respective successors and assigns. This agreement shall constitute the entire agreement between the Customer and the Supplier respecting rental service. No modification of the agreement shall be effective unless it is in writing signed by both parties.
11. Receipt of a copy of this agreement or acceptance of the first delivery shall constitute acknowledgement by customer of authority of the person executing this agreement.
12. The garments rented under this agreement are not acid or flame retardant and contain no acid or flame retardant features.
13. The Customer represents and warrants that it does not have a valid contract with any other Supplier for the furnishing of the garments or other items to the employees described in this agreement.

Signed this 13th day of October, 2021
Please print name here A. M. Smith
Signature [Signature]

Signed this 11 day of _____, 20____
Please print name here _____
Signature _____ Title _____

A & M Services, Inc.
Pricing Information

Federal Tax ID# 41-1111111

<u>3x5 MAT</u>	<u>4.73</u>
<u>3x10 MAT</u>	<u>9.19</u>
<u>4x6 MAT</u>	<u>6.83</u>
<u>4x8 MAT</u>	<u>6.83</u>

Authorized Buyer
Pricing Information

<u>30" Dust Mop</u>	<u>1.94</u>
<u>42" Dust Mop</u>	<u>2.47</u>

Minimum Usage 5% of Inventory

Delivery Charge 10.00 PA.



Est. 1921

Spencer, IA • Sioux City, IA
Sioux Falls, SD • Boone, IA

Toll Free • 800-242-5122
Fax • 712-262-4752

Rental Service Agreement

223 11th St. PO Box 230 Spencer, IA 51301 1-800-242-5122

A & M Services INC, (Supplier) and: Story County Animal Shelter
(Customer)

(Print full business name)

Street Address 975 LINCOLNWAY Phone 515-382-3338
City/State/Zip NEWADA IA 50201 Contact TERRY JOLLY

Hereby agree as follows:

1. The Customer hereby orders rental service of garments and/or other rental items as set forth in this agreement. Supplier agrees to furnish and Customer agrees to receive, for its employees, the number of clean uniforms ("garments") and other items set forth on the first delivery invoice, which the parties hereto agree shall be the original order form.
2. Supplier shall maintain a regular delivery schedule to pick up and deliver the rental items to Customer. It shall mend, alter and replace said rental items to the extent necessitated by normal wear and tear.
3. All rental items shall remain the property of the Supplier. If the items are lost or destroyed or become unusable for their intended purpose (other than normal wear and tear), the Customer shall pay a replacement charge for the items based on prices in effect from time to time on the Supplier's replacement price schedule.
4. The Customer may discontinue the garment service for each of its employees only if the employee is terminated; provided, however, that this provision shall only apply to employee turnover and not to situations where Customer sells or terminates doing business. The weekly charge for each such employee shall be eliminated only if his uniforms are returned to the Supplier or if the Supplier is paid the replacement charge for the garments not returned.
5. Employees' absences due to sickness or vacations have been taken into account in arriving at the weekly charge per employee, and therefore, no credit shall be issued with respect to such absences.
6. Customer acknowledges that Supplier will be obligated to make a substantial investment in rental items and equipment to fulfill this agreement. The term of this agreement, therefore, shall be a period of three years, consisting of 156 weekly billings from the date of initial delivery and shall be automatically renewed, from year to year thereafter, unless terminated by written notice given by Supplier or Customer at least 60 days before the expiration date of initial term or any renewal term.
7. Upon breach of this agreement by Customer or upon termination by Customer prior to the termination date, Customer agrees to pay liquidated damages in an amount equal to the Customer's maximum inventory, valued according to the Supplier's replacement price schedule; thereafter, said inventory shall remain property of Supplier.
8. Customer shall pay Supplier for each service at prices and terms set forth on this agreement. In the event the Customer's account becomes past due, the Supplier, at its options and without notice, may declare this agreement to be in default and terminate service to the Customer without liability on part of Supplier.
9. Rental rates may be changed from time to time by written notice to the Customer. The sending of an invoice to the Customer containing the changed rental rates may constitute such written notice. If the Customer elects not to accept an increased rental rate, he may terminate this agreement by giving written notice of termination within thirty (30) days succeeding the date of Supplier's written notice of such changes, provided that such termination will not be effective if the Supplier elects, at its sole option, to rescind the rate increase.
10. This agreement shall be binding upon the Customer and the Supplier and their respective successors and assigns. This agreement shall constitute the entire agreement between the Customer and the Supplier respecting rental service. No modification of the agreement shall be effective unless it is in writing signed by both parties.
11. Receipt of a copy of this agreement or acceptance of the first delivery shall constitute acknowledgement by customer of authority of the person executing this agreement.
12. The garments rented under this agreement are not acid or flame retardant and contain no acid or flame retardant features.
13. The Customer represents and warrants that it does not have a valid contract with any other Supplier for the furnishing of the garments or other items to the employees described in this agreement.

Signed this 12th day of October, 2001

Signed this _____ day of _____, 20____

Please print name here Mark White

Please print name here _____

Signature [Signature]

Signature _____ Title _____

A & M Services, Inc.
Pricing Information

Federal Tax ID# 43-1880084

Authorized Buyer
Pricing Information

4x8 Mat 6.83
30" Dust Mat 1.94

Minimum Usage 50% of Inventory

Delivery Charge 1000 ea.



Est. 1921

Spencer, IA • Sioux City, IA
Sioux Falls, SD • Boone, IA

Toll Free • 800-242-5122
Fax • 712-262-4752

Rental Service Agreement

223 11th St. PO Box 230 Spencer, IA 51301 1-800-242-5122

A & M Services INC, (Supplier) and: Story County Courthouse
(Customer)

(Print full business name)

Street Address 1315 S B Ave. Phone 515-382-7410

City/State/Zip Nebraska IA 50201 Contact Terry

Hereby agree as follows:

1. The Customer hereby orders rental service of garments and/or other rental items as set forth in this agreement. Supplier agrees to furnish and Customer agrees to receive, for its employees, the number of clean uniforms ("garments") and other items set forth on the first delivery invoice, which the parties hereto agree shall be the original order form.
2. Supplier shall maintain a regular delivery schedule to pick up and deliver the rental items to Customer. It shall mend, alter and replace said rental items to the extent necessitated by normal wear and tear.
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4. The Customer may discontinue the garment service for each of its employees only if the employee is terminated; provided, however, that this provision shall only apply to employee turnover and not to situations where Customer sells or terminates doing business. The weekly charge for each such employee shall be eliminated only if his uniforms are returned to the Supplier or if the Supplier is paid the replacement charge for the garments not returned.
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10. This agreement shall be binding upon the Customer and the Supplier and their respective successors and assigns. This agreement shall constitute the entire agreement between the Customer and the Supplier respecting rental service. No modification of the agreement shall be effective unless it is in writing signed by both parties.
11. Receipt of a copy of this agreement or acceptance of the first delivery shall constitute acknowledgement by customer of authority of the person executing this agreement.
12. The garments rented under this agreement are not acid or flame retardant and contain no acid or flame retardant features.
13. The Customer represents and warrants that it does not have a valid contract with any other Supplier for the furnishing of the garments or other items to the employees described in this agreement.

Signed this 12th day of October, 2001

Signed this 11 day of October, 2001

Please print name here Mark H.

Please print name here Mark H.

Signature [Signature]

Signature [Signature] Title [Title]

A & M Services, Inc.
Pricing Information

Federal Tax ID# 15-100524

Authorized Buyer
Pricing Information

3x5 Mat	4.73
3x10 Mat	9.19
4x6 Mat	6.83
4x8 Mat	6.83

30" Dust Map	1.94
42" Dust Map	2.47

Minimum Usage 50% of Inventory

Delivery Charge 1000 P.I.



Est. 1921

Spencer, IA • Sioux City, IA
Sioux Falls, SD • Boone, IA

Toll Free • 800-242-5122
Fax • 712-262-4752

Rental Service Agreement

223 11th St. PO Box 230 Spencer, IA 51301 1-800-242-5122

A & M Services INC, (Supplier) and: Story County Facilities Management
(Customer) DHS (Print full business name)

Street Address 126 S. Kellough Phone 515-663-2930
City/State/Zip Ames IA 50010 Contact _____

Hereby agree as follows:

1. The Customer hereby orders rental service of garments and/or other rental items as set forth in this agreement. Supplier agrees to furnish and Customer agrees to receive, for its employees, the number of clean uniforms ("garments") and other items set forth on the first delivery invoice, which the parties hereto agree shall be the original order form.
2. Supplier shall maintain a regular delivery schedule to pick up and deliver the rental items to Customer. It shall mend, alter and replace said rental items to the extent necessitated by normal wear and tear.
3. All rental items shall remain the property of the Supplier. If the items are lost or destroyed or become unusable for their intended purpose (other than normal wear and tear), the Customer shall pay a replacement charge for the items based on prices in effect from time to time on the Supplier's replacement price schedule.
4. The Customer may discontinue the garment service for each of its employees only if the employee is terminated; provided, however, that this provision shall only apply to employee turnover and not to situations where Customer sells or terminates doing business. The weekly charge for each such employee shall be eliminated only if his uniforms are returned to the Supplier or if the Supplier is paid the replacement charge for the garments not returned.
5. Employees' absences due to sickness or vacations have been taken into account in arriving at the weekly charge per employee, and therefore, no credit shall be issued with respect to such absences.
6. Customer acknowledges that Supplier will be obligated to make a substantial investment in rental items and equipment to fulfill this agreement. The term of this agreement, therefore, shall be a period of three years, consisting of 156 weekly billings from the date of initial delivery and shall be automatically renewed, from year to year thereafter, unless terminated by written notice given by Supplier or Customer at least 60 days before the expiration date of initial term or any renewal term.
7. Upon breach of this agreement by Customer or upon termination by Customer prior to the termination date, Customer agrees to pay liquidated damages in an amount equal to the Customer's maximum inventory, valued according to the Supplier's replacement price schedule; thereafter, said inventory shall remain property of Supplier.
8. Customer shall pay Supplier for each service at prices and terms set forth on this agreement. In the event the Customer's account becomes past due, the Supplier, at its options and without notice, may declare this agreement to be in default and terminate service to the Customer without liability on part of Supplier.
9. Rental rates may be changed from time to time by written notice to the Customer. The sending of an invoice to the Customer containing the changed rental rates may constitute such written notice. If the Customer elects not to accept an increased rental rate, he may terminate this agreement by giving written notice of termination within thirty (30) days succeeding the date of Supplier's written notice of such changes, provided that such termination will not be effective if the Supplier elects, at its sole option, to rescind the rate increase.
10. This agreement shall be binding upon the Customer and the Supplier and their respective successors and assigns. This agreement shall constitute the entire agreement between the Customer and the Supplier respecting rental service. No modification of the agreement shall be effective unless it is in writing signed by both parties.
11. Receipt of a copy of this agreement or acceptance of the first delivery shall constitute acknowledgement by customer of authority of the person executing this agreement.
12. The garments rented under this agreement are not acid or flame retardant and contain no acid or flame retardant features.
13. The Customer represents and warrants that it does not have a valid contract with any other Supplier for the furnishing of the garments or other items to the employees described in this agreement.

Signed this 13th day of October, 2001
Please print name here M. Smith
Signature [Signature]

A & M Services, Inc.
Pricing Information

Signed this _____ day of _____, 20____
Please print name here _____
Signature _____ Title _____
Federal Tax ID# 41-6105034

Authorized Buyer
Pricing Information

<u>3x5 mat</u>	<u>4.73</u>
<u>3x10 mat</u>	<u>9.19</u>
<u>4x8 mat</u>	<u>6.83</u>
<u>42" Dust Map</u>	<u>2.47</u>

Minimum Usage 50% of Inventory Delivery Charge 10.00 EA.



Est. 1921

Spencer, IA • Sioux City, IA
Sioux Falls, SD • Boone, IA

Toll Free • 800-242-5122
Fax • 712-262-4752

Rental Service Agreement

223 11th St. PO Box 230 Spencer, IA 51301 1-800-242-5122

A & M Services INC, (Supplier) and:
(Customer)

Story County McFarland Park

(Print full business name)

Street Address 56461 180th St. Phone 515-232-2516
City/State/Zip Ames IA 50010 Contact Terry

Hereby agree as follows:

- The Customer hereby orders rental service of garments and/or other rental items as set forth in this agreement. Supplier agrees to furnish and Customer agrees to receive, for its employees, the number of clean uniforms ("garments") and other items set forth on the first delivery invoice, which the parties hereto agree shall be the original order form.
- Supplier shall maintain a regular delivery schedule to pick up and deliver the rental items to Customer. It shall mend, alter and replace said rental items to the extent necessitated by normal wear and tear.
- All rental items shall remain the property of the Supplier. If the items are lost or destroyed or become unusable for their intended purpose (other than normal wear and tear), the Customer shall pay a replacement charge for the items based on prices in effect from time to time on the Supplier's replacement price schedule.
- The Customer may discontinue the garment service for each of its employees only if the employee is terminated; provided, however, that this provision shall only apply to employee turnover and not to situations where Customer sells or terminates doing business. The weekly charge for each such employee shall be eliminated only if his uniforms are returned to the Supplier or if the Supplier is paid the replacement charge for the garments not returned.
- Employees' absences due to sickness or vacations have been taken into account in arriving at the weekly charge per employee, and therefore, no credit shall be issued with respect to such absences.
- Customer acknowledges that Supplier will be obligated to make a substantial investment in rental items and equipment to fulfill this agreement. The term of this agreement, therefore, shall be a period of three years, consisting of 156 weekly billings from the date of initial delivery and shall be automatically renewed, from year to year thereafter, unless terminated by written notice given by Supplier or Customer at least 60 days before the expiration date of initial term or any renewal term.
- Upon breach of this agreement by Customer or upon termination by Customer prior to the termination date, Customer agrees to pay liquidated damages in an amount equal to the Customer's maximum inventory, valued according to the Supplier's replacement price schedule; thereafter, said inventory shall remain property of Supplier.
- Customer shall pay Supplier for each service at prices and terms set forth on this agreement. In the event the Customer's account becomes past due, the Supplier, at its options and without notice, may declare this agreement to be in default and terminate service to the Customer without liability on part of Supplier.
- Rental rates may be changed from time to time by written notice to the Customer. The sending of an invoice to the Customer containing the changed rental rates may constitute such written notice. If the Customer elects not to accept an increased rental rate, he may terminate this agreement by giving written notice of termination within thirty (30) days succeeding the date of Supplier's written notice of such changes, provided that such termination will not be effective if the Supplier elects, at its sole option, to rescind the rate increase.
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- Receipt of a copy of this agreement or acceptance of the first delivery shall constitute acknowledgement by customer of authority of the person executing this agreement.
- The garments rented under this agreement are not acid or flame retardant and contain no acid or flame retardant features.
- The Customer represents and warrants that it does not have a valid contract with any other Supplier for the furnishing of the garments or other items to the employees described in this agreement.

Signed this 17th day of October, 20 01
Please print name here Mark H. H.
Signature [Signature]

Signed this _____ day of _____, 20 _____
Please print name here _____
Signature _____ Title _____
Federal Tax ID# 43-1105034

A & M Services, Inc.
Pricing Information

Authorized Buyer
Pricing Information

2x3 Mat	4.73
3x5 Mat	4.73
3x10 Mat	9.19
4x6 Mat	6.83

30" Dust Mat	1.94
42" Dust Mat	2.47

Minimum Usage 50% of Inventory Delivery Charge 1000 ea.

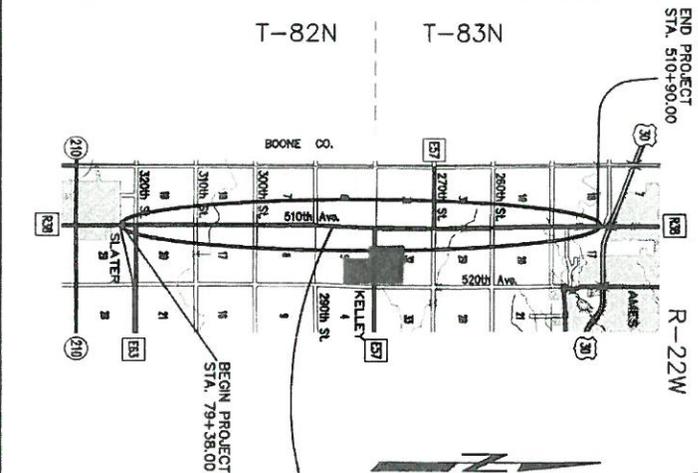
STORY COUNTY

Letting Date Jan. 19, 2022

HMA RESURFACING

Proj. No. **STBG-SWAP-C085(164)--FG-85**

SEE LISTING & UTILITY DRAWINGS FOR EXISTING UTILITIES AND STRUCTURES



PROJECT TRAFFIC CONTROL PLAN

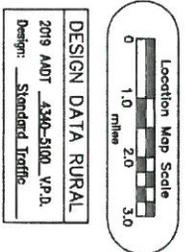
THE ROAD WILL BE OPEN TO ONE LANE TRAFFIC DURING CONSTRUCTION DAYS AND REQUIRED TO TWO LANE TRAFFIC AT THE END OF EACH WORK DAY. AND THE SHOULDERS WILL BE CLOSED TO THROUGH TRAFFIC DURING CONSTRUCTION. THE ROAD WILL BE OPEN TO ONE LANE TRAFFIC DURING CONSTRUCTION. THE ROAD WILL BE OPEN TO TWO LANE TRAFFIC AT THE END OF EACH WORK DAY. AND THE SHOULDERS WILL BE CLOSED TO THROUGH TRAFFIC DURING CONSTRUCTION. THE ROAD WILL BE OPEN TO ONE LANE TRAFFIC DURING CONSTRUCTION. THE ROAD WILL BE OPEN TO TWO LANE TRAFFIC AT THE END OF EACH WORK DAY. AND THE SHOULDERS WILL BE CLOSED TO THROUGH TRAFFIC DURING CONSTRUCTION.

UTILITIES INFORMATION

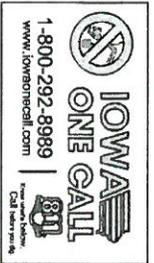
UTILITY COMPANIES UNDER FACILITIES ARE SHOWN ON THE PLANS OR SHOWN TO BE WITHIN THE CONSTRUCTION LIMITS SHALL BE NOTIFIED BY THE CONTRACTOR OF THE CONSTRUCTION STARTING DATE AND SUBSEQUENT WORK IN THE AREA.

FOR A COMPLETE LISTING OF UTILITIES WITHIN THE CONSTRUCTION CORRIDOR, SEE SHEET C.03

CONTRACTOR SHALL CALL ONE CALL AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. ONE CALL 1-800-292-8989



PROJECT LOCATION
ON R28, FROM SLATER CITY LIMITS, NORTH 8.0 MILES.



It shall be the contractor's responsibility to provide utility errors or omissions which he or she cannot be held responsible for. The contractor shall be responsible for any and all utility errors or omissions which he or she cannot be held responsible for. The contractor shall be responsible for any and all utility errors or omissions which he or she cannot be held responsible for.

Refer to Proposed Form for a list of applicable specifications.

Scales: As Noted

IOWA
DEPARTMENT OF TRANSPORTATION
Highway Division
PLANS OF PROPOSED IMPROVEMENT ON THE
FARM-TO-MARKET SYSTEM
STORY COUNTY
HMA RESURFACING

ON R38, FROM SLATER CITY LIMITS, NORTH 8.0 MILES.

Project No. **STBG-SWAP-C085(164)--FG-85**

Sheet Total: **8**

Story County Project Number: **STBG-SWAP-C085(164)--FG-85** Sheet No. **A.01**

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

Signature: *Walter Spahr* Date: *10/11/21*

By license renewed date is December 31, 2028
(Enter subdivision unless specified here)

Accepted by
Story County Engineer
Walter Spahr
Date: *10-13-21*

Approved Story County Board of Supervisors
Walter Spahr

STANDARD ROAD PLANS

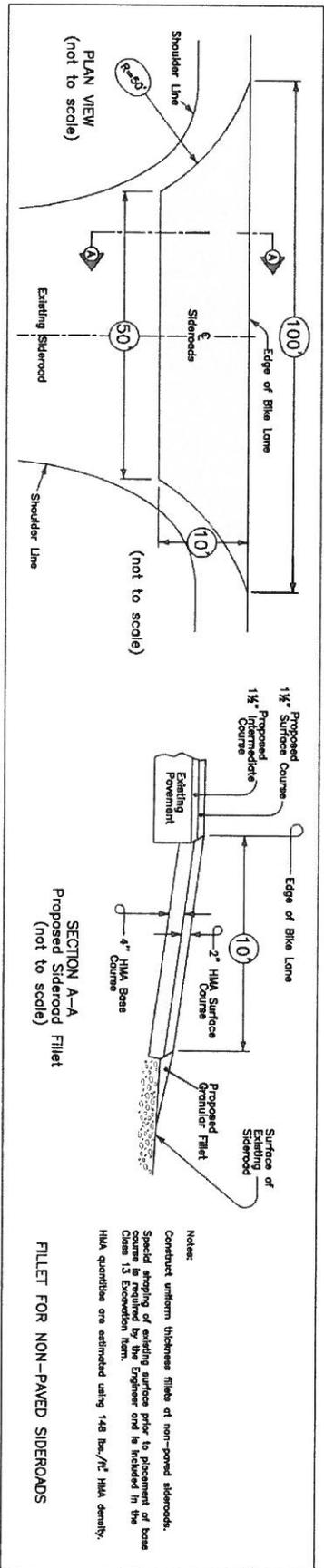
Number	Date	Title
PA-110	04-21-20	LINE TYPES
PA-111	04-21-20	SYMBOLS AND LEGENDS
PA-120	10-21-14	STOP LINES AND ISLANDS
PA-420	10-15-18	TWO-LANE ROADWAY WITH NO TURN LANES (ONE-WAY STOP CONDITION)
PA-520	10-15-18	TWO-LANE ROADWAY WITH NO TURN LANES (TWO-WAY STOP CONDITION)
PA-521	10-15-18	TWO-LANE ROADWAY WITH RIGHT TURN LANES
PA-201	10-21-14	RUNOUTS FOR RESURFACING
PA-202	10-21-14	NOTICES FOR RESURFACING (WITH OR WITHOUT RUNOUT)
PA-202	04-21-20	HOT MIX ASPHALT RESURFACING
TP-1	10-15-18	WORK NOT AFFECTING TRAFFIC (TWO-LANE OR MULTI-LANE)
TP-214	04-21-20	LANE CLOSURE WITH FLAGGERS FOR USE WITH PILOT CAR
TP-233	10-17-17	PAYMENT WARNING OPERATIONS TWO-LANE
TP-292	10-15-18	LANE LINES
TP-292	10-15-18	PEDESTRIAN DETOUR

MILEAGE SUMMARY

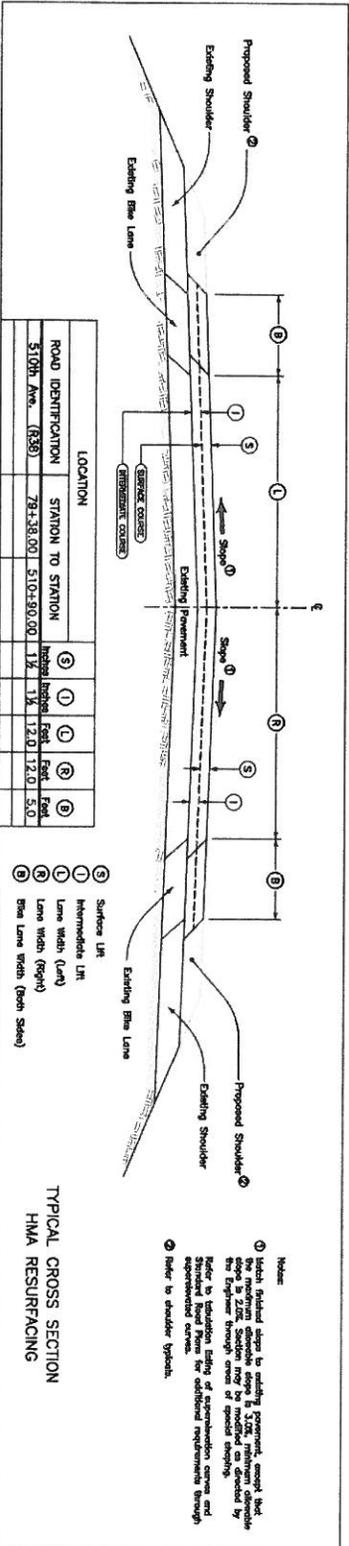
Div.	Location	Ln. Ft.	Miles
1	STA. 79+38.00 TO STA. 510+490.00	43,152.00	8.173
Total		43,152.00	8.173

INDEX OF SHEETS

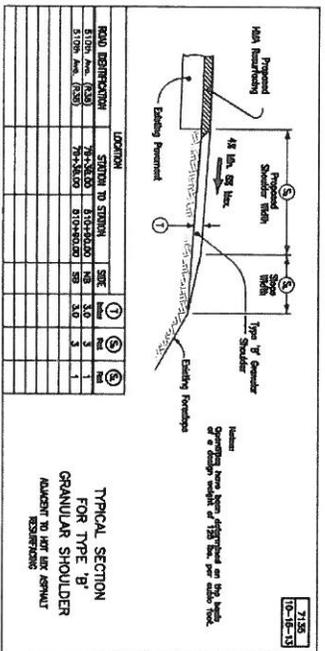
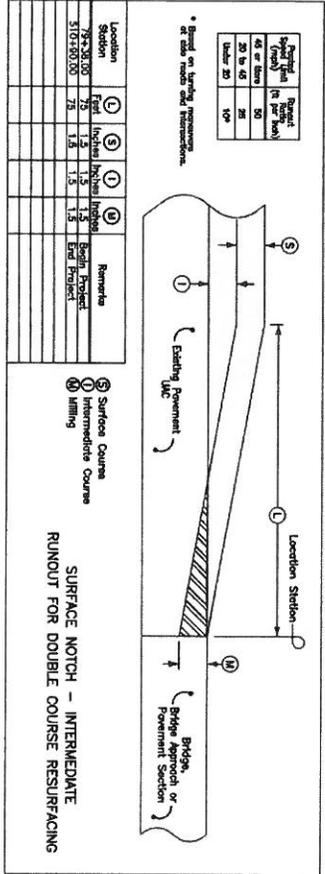
No.	Description
A.01	TITLE SHEET
B.01	TYPICAL SECTIONS SHEET
C.01	QUANTITY INFORMATION SHEET
C.02-C.04	EVALUATION SHEETS
G.01-G.02	SECTION CORNER REFERENCE TIES



Notes:
 Construct uniform thickness fillet of non-paved sidersroad.
 Standard sloping of existing surface prior to placement of base course is to be as shown on the plan view.
 Class 1.5 Excavation Item.
 HMA quantities are estimated using 148 lbs./ft³ HMA density.



Notes:
 1) Match finished elevations to existing pavement, except that the maximum ultimate slope is 2.0%. Minimum ultimate slope is 1.0%. Station may be modified as directed by the Engineer.
 2) All quantities are for the proposed shoulder and sidersroad.
 3) Refer to shoulder details.



Notes:
 1) Match finished elevations to existing pavement, except that the maximum ultimate slope is 2.0%. Minimum ultimate slope is 1.0%. Station may be modified as directed by the Engineer.
 2) All quantities are for the proposed shoulder and sidersroad.
 3) Refer to shoulder details.

ESTIMATED PROJECT QUANTITIES OF QUANTITIES
(1 DIVISION PROJECT)

ITEM	ITEM CODE	ITEM	UNIT	TOTAL
1	2102-2713070	EXCAVATION, CLASS 13, ROADWAY AND BORROW	CY	82.3
2	2121-7425020	GRANULAR SHOULDERS, TYPE B	TON	4,732.7
3	2212-0475095	CLEANING AND PREPARATION OF BASE	MILE	8.2
4	2214-5145150	PAVEMENT SCARIFICATION	SY	291.8
5	2303-1031500	HMA, ST, BASE COURSE, 1/2 IN. MIX	TON	219.3
6	2303-1032500	HMA, ST, INTERMEDIATE COURSE, 1/2 IN. MIX	TON	15,340.0
7	2303-1033500	HMA, ST SURFACE COURSE, 1/2 IN. MIX, NO SPECIAL FRICTION	TON	15,340.0
8	2303-1258283	ASPHALT BINDER, PG 58-28S, STANDARD TRAFFIC	TON	1,840.8
9	2303-6911000	HMA PAVEMENT SAMPLES	LS	1.0
10	2511-0300000	REMOVAL OF RECREATIONAL TRAIL	SY	26.7
11	2511-0302500	RECREATIONAL TRAIL, PORTLAND CEMENT CONCRETE, 5 IN.	SY	26.7
12	2511-7528101	DETECTABLE WARNINGS	SF	40.0
13	2526-8285000	CONSTRUCTION SURVEY	LS	1.0
14	2527-9263109	PAINTED PAVEMENT MARKINGS, WATERBORNE/SOLVENT	STA	382,945
15	2527-9263112	PAINTED PAVEMENT MARKINGS, HIGH-BUILD, WATERBORNE	STA	863,040
16	2527-9263137	PAINTED SYMBOLS AND LEGENDS, WATERBORNE/SOLVENT-BASED	EACH	51.0
17	2527-9270111	GROOVES CUT FOR PAVEMENT MARKINGS	STA	863.0
18	2528-8445110	TRAFFIC CONTROL	LS	1.0
19	2528-8445113	FLAGGER	EACH	72.00*
20	2528-8445115	PILOT CAR	EACH	12.00*
21	2528-9290050	PORTABLE DYNAMIC MESSAGE SIGN (PDMS)	CDAY	42.0
22	2533-4980005	MOBILIZATION	LS	1.0

* Estimate only. See Proposal for quantities.

GENERAL NOTES

- Story County will mark out scarification sawcuts and pavement markings.
- Unless otherwise directed or authorized, all hot mix asphalt and other bituminous materials which are not specifically addressed or described in the contract documents shall become the property of the Contractor.
- The Contractor, in accordance with current rules and regulations of the Iowa Department of Natural Resources, may:
 - With the approval of the Engineer, blend or otherwise process the material for use with shoulder or special backfill aggregates, for use on the project.
 - With the approval of the Engineer, place with material in areas designated by the Engineer as Soil Aggregate Subbase without extra charge.
 - Remove the material from the project and stockpile for the contractor's future use.

ESTIMATE REFERENCE INFORMATION

ITEM NO.	DESCRIPTION
1.	Item for removing 3" of gravel roadway at non-paved sideroads (13 total) 10' long, 75' wide fillets.
2.	Item for 3' wide shoulders (on each side). See Shouldering Typical 7135 on Sheet B.01 for details. Granular material quantity estimated using a unit weight of 125 lbs./ft ³ . Item includes all material, equipment and labor necessary to furnish, place and finish granular shoulders.
3.	Item includes both lanes, 8.173 miles in length.
4.	Refer to typical on Sheet B.01 for surface runoff details and scarification stationing.
5.	HMA material is the 4" thick base for non-paved sideroad fillets (13 total). See typical on Sheet B.01 for dimensions. OMA shell apply on base lift.
6-7.	OMA shell apply. Quantity is for 3" thick (two 1 1/2" lifts) Standard Traffic design overlay with 12' wide vehicle lanes and 5' wide bike lanes on both sides for entire the project, and for 10' wide intersection fillets at the sideroads. An acceptable mix design shall have a minimum of 65% crushed particles. Quantity was estimated using HMA density of 148 lbs./ft ³ unit weight. Quantity includes 357.7 tons for turning lane and paved intersection road. Tack coat is incidental to this item.
8.	Binder was estimated at 6% for both intermediate and surface lifts.
10.	Item for the removal of two 10'x12'x5" recreational trail panels at Sta. 423+35; one right, one left.
11.	Item for removing two 10'x12'x5" recreational trail panels at Sta. 423+35; one right, one left.
12.	Item for furnishing and placing detectable warning panels in recreational trail as per plan. See Sheet C.04 for placement and quantities.
13.	Construction survey is for marking out centerline (point spots every 200 feet) prior to resurfacing, and meeting Section Corners (17) that will be covered up by resurfacing. The reset Corner shall be set below the final grade. Use to print stakelions from pulling them out during winter operations. See tabulation on Sheet C.03 for identification.
14.	See Tabulation 108-22 on Sheets C.02-C.03 for pavement marking types, stationing, and quantities. Quantity includes an application of yellow centerline marking for both intermediate and surface lifts.
15.	See Tabulation 108-22 on Sheet C.03. Quantity shown for white edge line is high-build waterborne paint. One application of white edge lines for the surface lift only.
16.	Item for painted symbols and legends. Permanent application only, no temporary application. See Tabulation 108-29 on Sheet C.02 for details.
17.	Item for milling in white edge lines.
18.	See Project Traffic Control Plan on Sheet A.01 for traffic control notes, and refer to TC Standard Road Plans for further details. Includes closure of Bike Lane at 260th St. and sideroads (13 total) during fillet placement.
19.	Flagger quantity is an estimate only. See Proposal for quantities.
20.	Pilot Car quantity is an estimate only. See Proposal for quantities.
21.	Message boards are to be placed at the BQP and EOP, and shall be placed beginning 5 days prior to project commencement. Quantity is an estimate of calendar days, payment shall be for actual days used.

PAVEMENT MARKING LINE TYPES

Road ID	Station to Station	Dir. of Travel	Marking Type	Side		Length By Line Type (Unfactored)		Remarks
				L	R	STA	STA	
510th Ave. (R39)	79+72.9	Rt	Temporary	X	X	8.714	8.896	
510th Ave. (R39)	88+09.4	Rt	Temporary	X	X	14.006	2.568	
510th Ave. (R39)	98+55.7	Rt	Temporary	X	X	8.402	2.543	
510th Ave. (R39)	100+96.4	Rt	Temporary	X	X	3.046	3.485	
510th Ave. (R39)	102+56.5	Rt	Temporary	X	X	5.443	3.543	
510th Ave. (R39)	103+56.3	Rt	Temporary	X	X	4.286	4.312	
510th Ave. (R39)	104+81.8	Rt	Temporary	X	X	4.597	4.304	
510th Ave. (R39)	105+49.9	Lt	Temporary	X	X	2.903	8.909	
510th Ave. (R39)	107+16.3	Rt	Temporary	X	X	1.202	8.013	
510th Ave. (R39)	158+88.2	Lt	Temporary	X	X		8.330	
510th Ave. (R39)	158+91.2	Lt	Temporary	X	X		4.992	
510th Ave. (R39)	159+93.8	Rt	Temporary	X	X			
510th Ave. (R39)	160+06.8	Rt	Temporary	X	X			
510th Ave. (R39)	211+74.2	Lt	Temporary	X	X			
510th Ave. (R39)	212+81.4	Rt	Temporary	X	X			
510th Ave. (R39)	213+04.4	Rt	Temporary	X	X			
510th Ave. (R39)	264+67.2	Lt	Temporary	X	X			
510th Ave. (R39)	264+80.2	Lt	Temporary	X	X			
Column Totals:	10	10	2	1	0	0	0	

PAVEMENT MARKING SYMBOLS AND LEGENDS

Road Identification	Location		Side	Marking	ONLY	BIKE	XING	Remarks
	104+81.8	104+81.8						
510th Ave. (R39)	79+72.9	Rt	1	STAW				
510th Ave. (R39)	79+95.7	Rt	1					
510th Ave. (R39)	98+55.7	Rt	1					
510th Ave. (R39)	100+96.4	Rt	1					
510th Ave. (R39)	102+56.5	Rt	1					
510th Ave. (R39)	103+56.3	Rt	1					
510th Ave. (R39)	104+81.8	Rt	1					
510th Ave. (R39)	105+49.9	Lt	1					
510th Ave. (R39)	107+16.3	Rt	1					
510th Ave. (R39)	158+88.2	Lt	1					
510th Ave. (R39)	158+91.2	Lt	1					
510th Ave. (R39)	159+93.8	Rt	1					
510th Ave. (R39)	160+06.8	Rt	1					
510th Ave. (R39)	211+74.2	Lt	1					
510th Ave. (R39)	212+81.4	Rt	1					
510th Ave. (R39)	213+04.4	Rt	1					
510th Ave. (R39)	264+67.2	Lt	1					
510th Ave. (R39)	264+80.2	Lt	1					
Column Totals:	10	10	2	1	0	0	0	

PAVEMENT MARKING SYMBOLS AND LEGENDS

Road Identification	Location		Side	Marking	ONLY	BIKE	XING	Remarks
	104+81.8	104+81.8						
510th Ave. (R39)	266+04.9	Rt	1	STAW				
510th Ave. (R39)	266+17.9	Rt	1					
510th Ave. (R39)	316+94.9	Lt	1					
510th Ave. (R39)	318+46.4	Rt	1					
510th Ave. (R39)	318+59.4	Rt	1					
510th Ave. (R39)	368+99.6	Lt	1					
510th Ave. (R39)	369+12.6	Lt	1					
510th Ave. (R39)	370+82.3	Rt	1					
510th Ave. (R39)	370+85.3	Rt	1					
510th Ave. (R39)	422+17.9	Lt	1					
510th Ave. (R39)	422+30.9	Lt	1					
510th Ave. (R39)	423+92.1	Rt	1					
510th Ave. (R39)	423+05.1	Rt	1					
510th Ave. (R39)	475+20.2	Lt	1					
510th Ave. (R39)	475+33.2	Lt	1					
510th Ave. (R39)	476+59.5	Rt	1					
510th Ave. (R39)	476+72.5	Rt	1					
510th Ave. (R39)	488+55.6	Lt	1					
510th Ave. (R39)	488+68.6	Lt	1					
510th Ave. (R39)	489+87.2	Rt	1					
510th Ave. (R39)	490+10.2	Rt	1					
510th Ave. (R39)	510+26.4	Lt	1					
510th Ave. (R39)	510+39.7	Lt	1					
Column Totals:	12	12	0	0	2	2	2	

PAVEMENT MARKING LINE TYPES

MPY4 - Price on the same side of the roadway to match existing practices near the project.
 MPY4 - For estimating purposes only. No Passing Zone Lines will be located in the field.

BCY4: Broken Centerline (Yellow) @ 0.25
 BCY4: Broken Lane Line (White) @ 0.25

DCY4: Double Centerline (Yellow) @ 2.00
 ELY4: Edge Line Right (White) @ 1.00

NPY4: No Passing Zone Line (Yellow) @ 1.25
 ELY4: Edge Line Left (Yellow) @ 1.00

CHW2: Chemically Line (White) @ 1.25
 SLW2: Stop Line (White) @ 6.00

See Page 110

Length By Line Type (Unfactored)

Road ID	Station to Station	Dir. of Travel	Marking Type	Side		Length By Line Type (Unfactored)		CLW6	CHW2	SLW2	Remarks
				L	R	STA	STA				
5100 Am. (R30)	724+38.0	88+09.4	Permanent	X	X						
5100 Am. (R30)	88+09.4	96+65.0	Permanent	X	X	8.714	6.856				
5100 Am. (R30)	96+65.0	110+95.6	Permanent	X	X	14.006	2.568				
5100 Am. (R30)	110+95.6	113+52.4	Permanent	X	X	6.402	2.543				
5100 Am. (R30)	113+52.4	119+92.6	Permanent	X	X		2.543				
5100 Am. (R30)	119+92.6	122+46.9	Permanent	X	X		3.465				
5100 Am. (R30)	122+46.9	125+51.5	Permanent	X	X	3.046					
5100 Am. (R30)	125+51.5	129+00.0	Permanent	X	X	5.443	3.543				
5100 Am. (R30)	129+00.0	134+44.3	Permanent	X	X		4.312				
5100 Am. (R30)	134+44.3	137+88.6	Permanent	X	X	42.856					
5100 Am. (R30)	137+88.6	180+84.2	Permanent	X	X	4.597	4.304				
5100 Am. (R30)	180+84.2	185+15.4	Permanent	X	X		8.909				
5100 Am. (R30)	185+15.4	189+75.1	Permanent	X	X	280.391					
5100 Am. (R30)	189+75.1	194+05.5	Permanent	X	X		6.013				
5100 Am. (R30)	194+05.5	483+53.5	Permanent	X	X	1.202	6.530				
5100 Am. (R30)	483+53.5	484+53.7	Permanent	X	X		4.552				
5100 Am. (R30)	484+53.7	503+37.0	Permanent	X	X		431.520				
5100 Am. (R30)	503+37.0	510+38.0	Permanent	X	X		431.520				
5100 Am. (R30)	510+38.0	510+90.0	Permanent	X	X		0.480	1.866	1.575		
5100 Am. (R30)	510+90.0	510+90.0	Permanent	X	X		1.50	2.00	6.00		
5100 Am. (R30)	510+90.0	423+28.3	Permanent	X	X		0.720	3.732	9.450		
Sheet Total: 1,061,018 Project Total: 1,245,995											

UTILITIES INFORMATION

UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR SHOWN TO BE WITHIN THE CONSTRUCTION LIMITS SHALL BE NOTIFIED BY THE CONTRACTOR OF THE CONSTRUCTION STARTING DATE AND SUBSEQUENT WORK IN THE AREA.

ALLIANT ENERGY: 800-255-4288
 FIELD ENGINEER: localn_pl@alliantenergy.com
 CITY OF AMES: 515-239-5182
 BEN McCOMVILLE: benmccomville@cityofames.iowa.gov

CENTRALIUM: 918-347-0147
 SUDR HULL: sudr.hull@centralium.com

ENERGY TRANSFER: 713-968-7079
 MOULTY CARRIAGE: moulty.carrage@energytransfer.com

HUNLEY COMMUNICATIONS: 515-497-2281
 TERRY FERDINSON: terry@hunleycommunications.net

ALBERTSON NETWORK SERVICES: 515-830-0445
 JEFF KLOCKRO: jeff.klockro@albertson.com

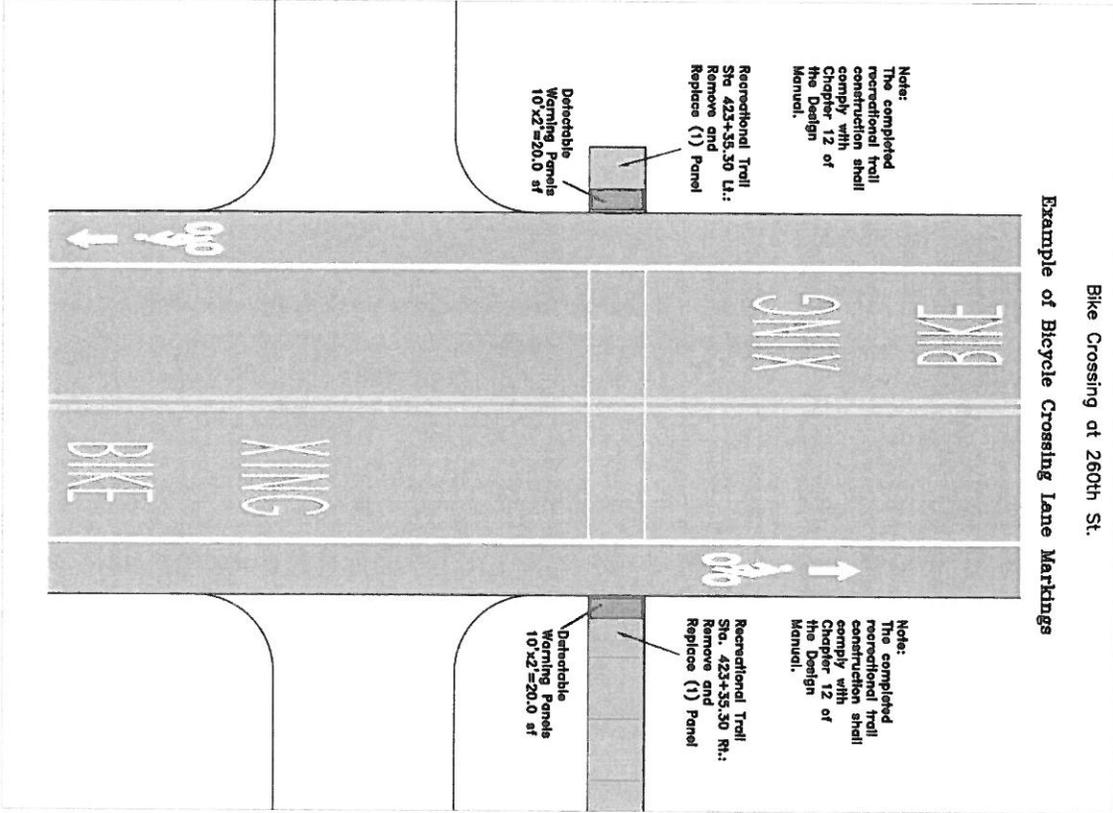
IOWA STATE UNIVERSITY: 515-294-2716
 RANDOLPH K. LARABEE: rlara@iastate.edu

CONTRACTOR SHALL CALL ONE CALL AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. IOWA ONE CALL: 1-800-282-8989

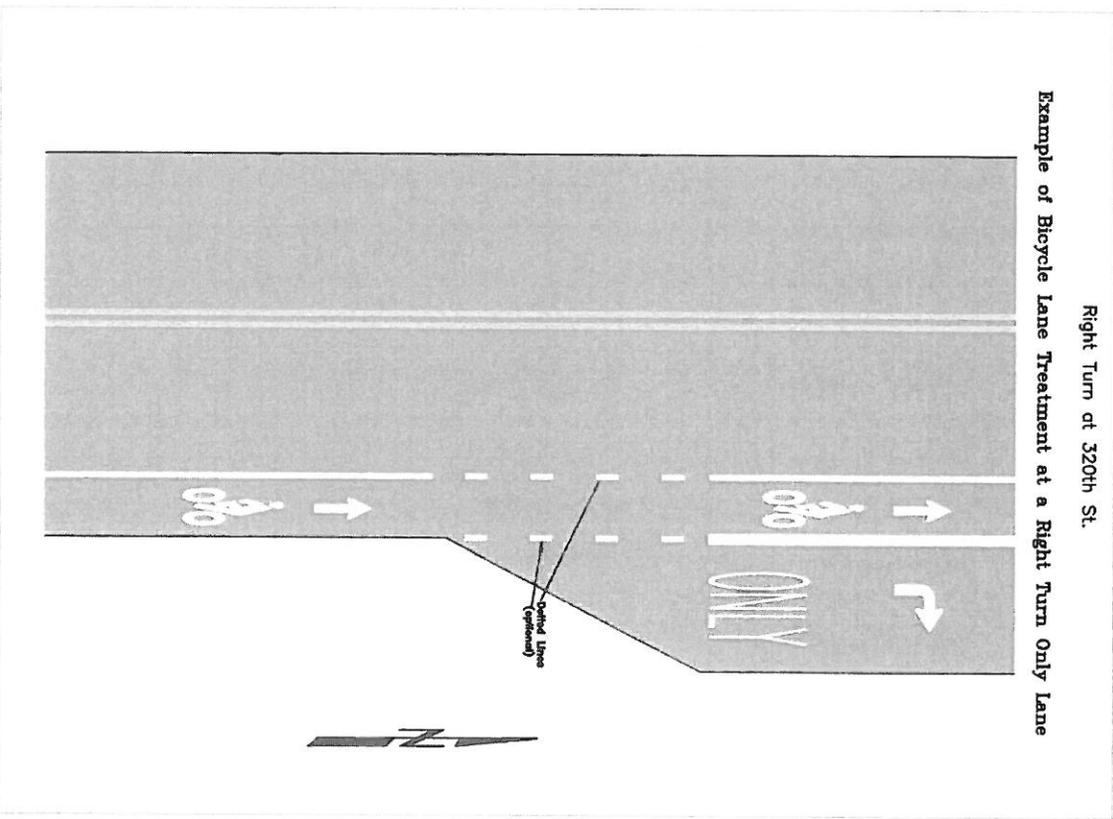
SECTION CORNER RESETTLE DETAILS

- SW Cor. of the SW¼, NW¼, of Section 29, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 29, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 20, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 20, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 17, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 8, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 5, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 5, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 5, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 5, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 32, Washington Township, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 29, Washington Township, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 29, Washington Township, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 20, Washington Township, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 20, Washington Township, Polk County, IA, T24N, R24W
- NW Cor. of the NW¼, NW¼, of Section 17, Washington Township, Polk County, IA, T24N, R24W

Bike Crossing at 260th St.



Right Turn at 320th St.

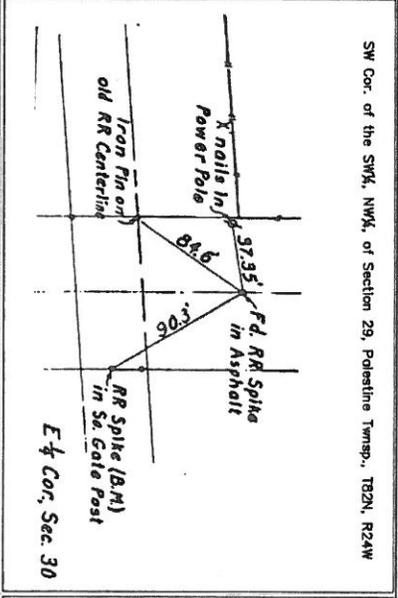


SECTION CORNER REFERENCE TIES SHEET

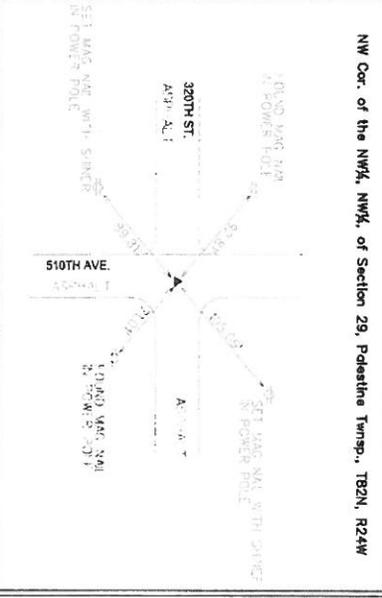
PROJ No. STBG-SWAP-C085(164)--FG-85

THE LATEST REVISIONS TO THIS SHEET SHALL BE THE ONLY APPLICABLE VERSION.

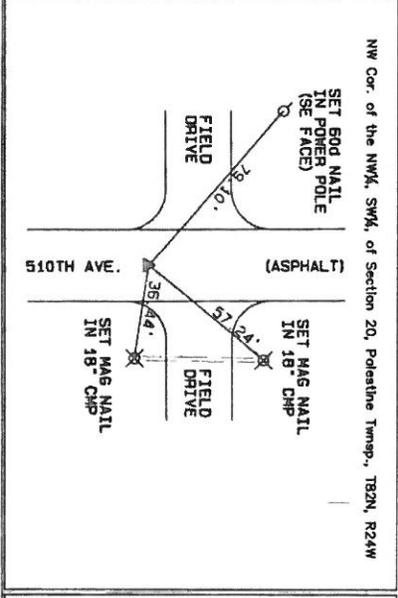
STORY COUNTY



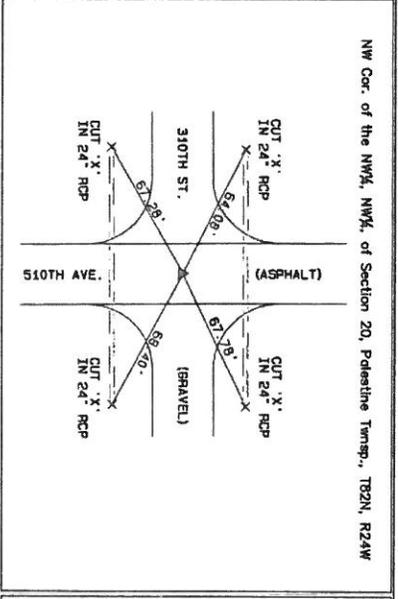
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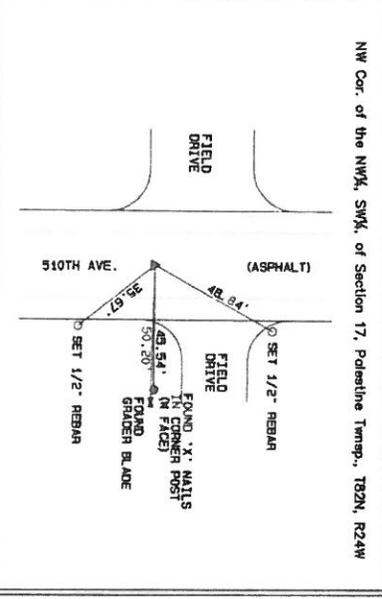
NW Cor. of the NW¼, NW¼, of Section 29, Palestine Tmpsp., T82N, R24W



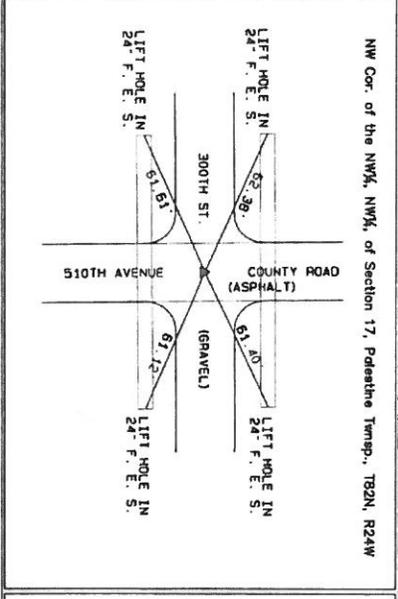
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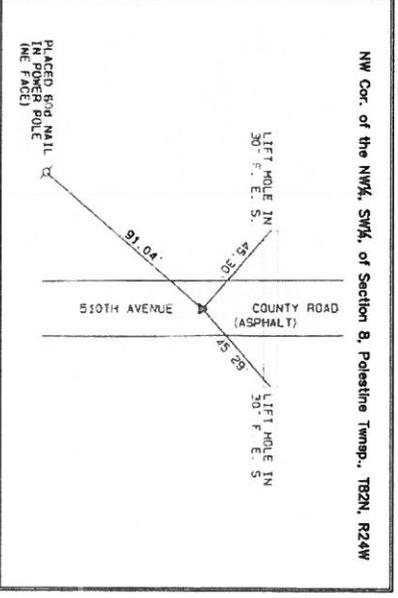
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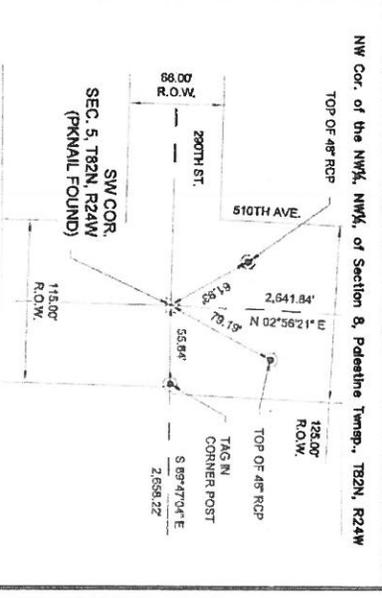
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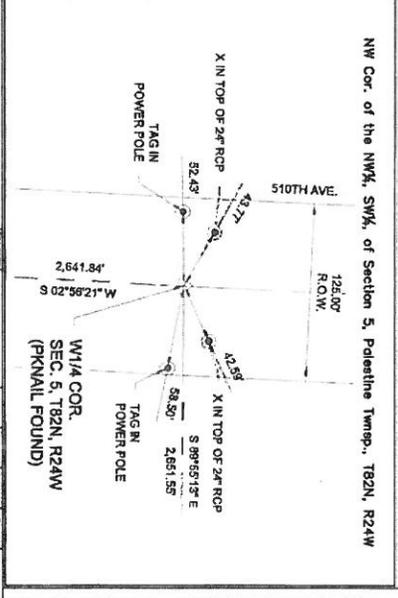
NW Cor. of the NW¼, NW¼, of Section 17, Palestine Tmpsp., T82N, R24W



NW Cor. of the NW¼, NW¼, of Section 8, Palestine Tmpsp., T82N, R24W



NW Cor. of the NW¼, NW¼, of Section 8, Palestine Tmpsp., T82N, R24W

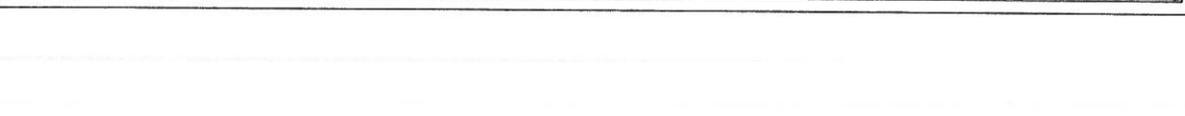
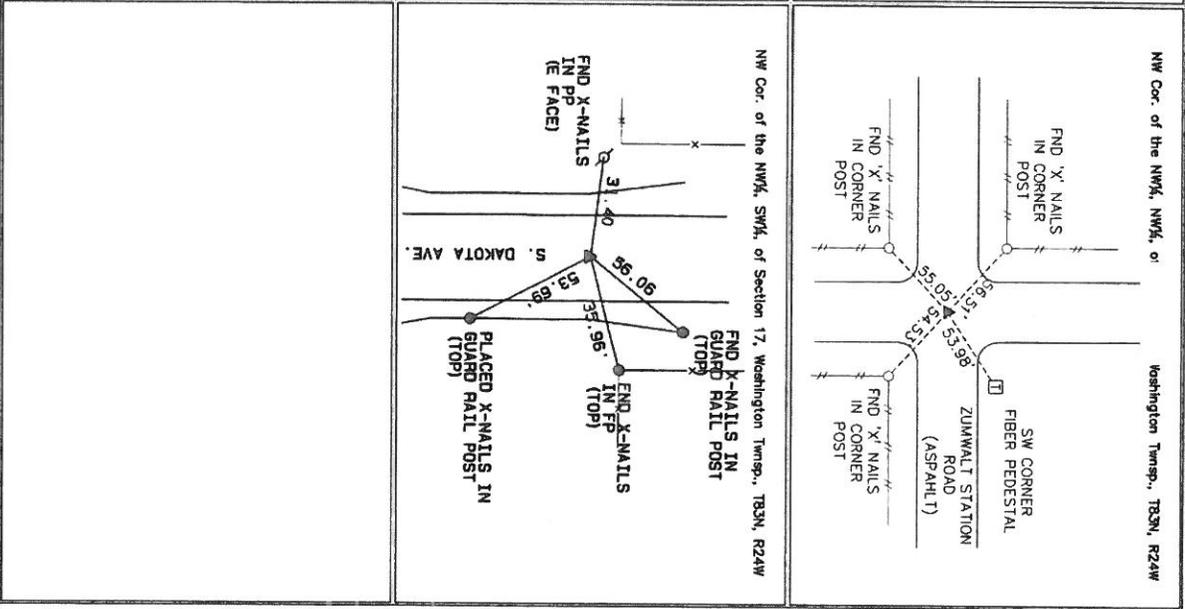
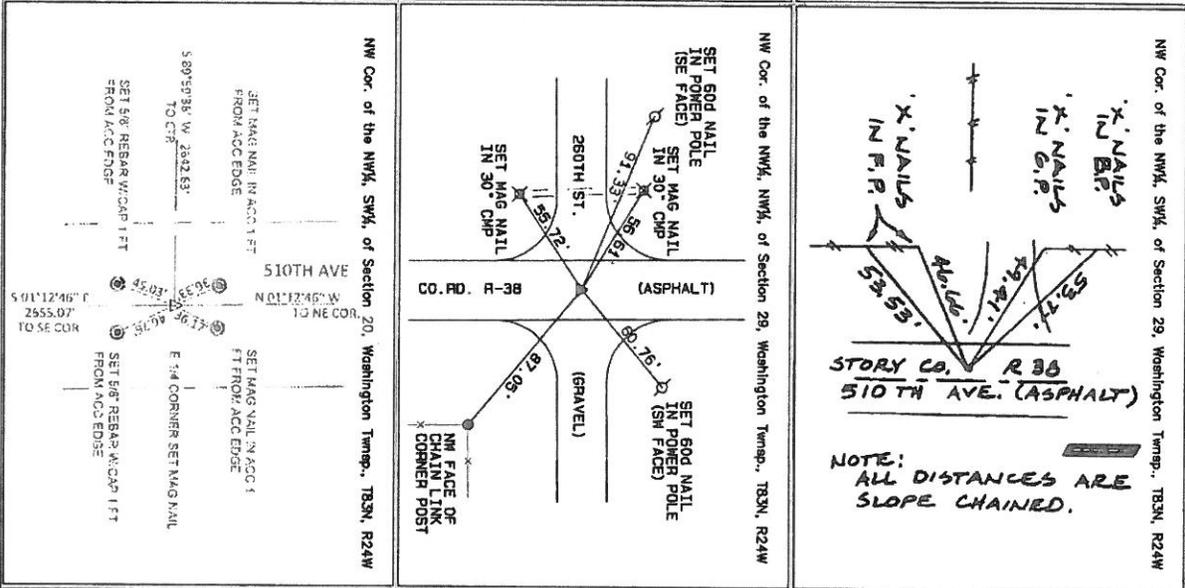
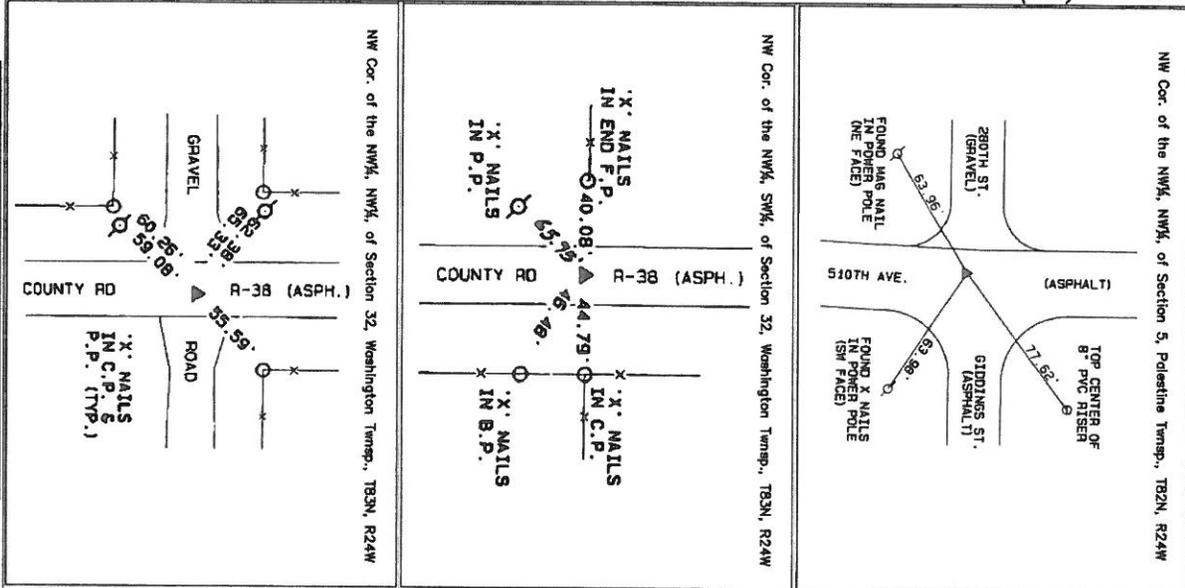


NW Cor. of the NW¼, NW¼, of Section 5, Palestine Tmpsp., T82N, R24W

THE LATEST REVISIONS TO THIS SHEET SHALL BE THE ONLY APPLICABLE VERSION.

SECTION CORNER REFERENCE TIES SHEET

PROJ No. STBC-SWAP-C085(164)--FC-85



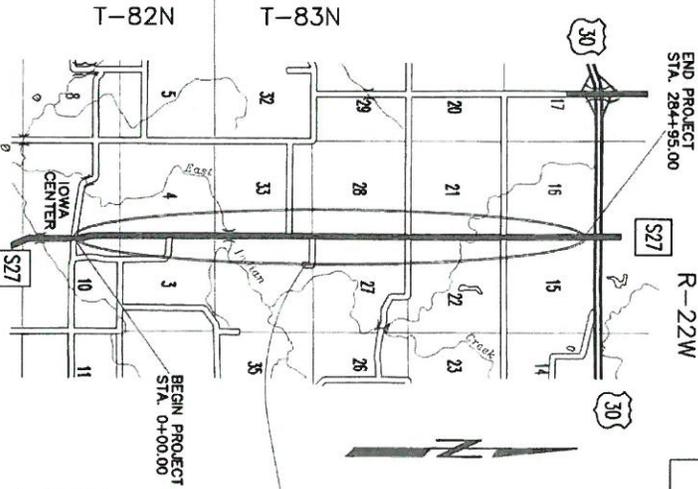
STORY COUNTY

STORY COUNTY

Letting Date **Jan. 19, 2022**

HMA RESURFACING

Proj. No. **FM-C085(165)--55-85**

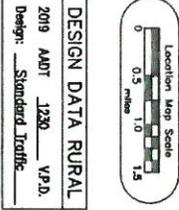


PROJECT TRAFFIC CONTROL PLAN
 THE ROAD WILL BE OPEN TO ONE LANE TRAFFIC DURING CONSTRUCTION DAYS AND RECLOSED TO TWO LANE TRAFFIC AT THE END OF EACH WORK DAY. LOCAL TRAFFIC TO ADJACENT PROPERTIES WILL BE MAINTAINED AS MUCH AS POSSIBLE. TRAFFIC CONTROL SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. TRAFFIC CONTROL SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. TRAFFIC CONTROL SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD.

UTILITIES INFORMATION
 UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS SHALL BE NOTIFIED BY THE CONTRACTOR OF THE LOCATION OF THEIR FACILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

END PROJECT
 STA. 284+50.00

BEGIN PROJECT
 STA. 0+00.00



PROJECT LOCATION
 ON S27, FROM 295th ST.
 NORTH 5.373 MILES TO
 U.S. HIGHWAY 30.

DESIGN DATA RURAL
 2019 AADT 1220 V.P.D.
 Design: Standard Traffic



It shall be the contractor's responsibility to provide suitable areas or disposed sites for excess material (excavated material or broken concrete) which is not desirable to be incorporated into the work. The contractor shall be responsible for the disposal of this material. The contractor shall be responsible for the disposal of this material. The contractor shall be responsible for the disposal of this material.

Refer to Proposed Form for a list of applicable specifications.
 Scales: As Noted

IOWA
DEPARTMENT OF TRANSPORTATION
 Highway Division
 PLANS OF PROPOSED IMPROVEMENT ON THE

FARM-TO-MARKET SYSTEM
STORY COUNTY
HMA RESURFACING

ON S27, FROM 295th ST., NORTH 5.373 MILES TO U.S. HIGHWAY 30

Project No. **FM-C085(165)--55-85**

Sheet Total: 5

INDEX OF SHEETS

No.	Description
A-01	TITLE SHEET
B-01	TYPICAL SECTIONS SHEET
C-01	QUANTITY INFORMATION SHEET
C&D-C&D	REGULATION SHEETS

MILEAGE SUMMARY

Div.	Location	Ln. Ft.	Miles
1	STA. 0+00.00 TO STA. 284+50.00	28,445.00	5.387
	DEDUCT BRIDGE AT STA. 66+54.85	-128.00	-0.024
	Total	28,317.00	5.373

STANDARD ROAD PLANS

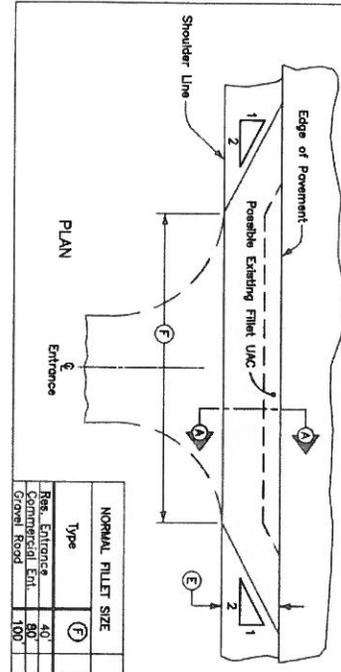
Number	Date	Title
PH-110	04-21-20	LINE TYPES
PH-120	10-21-14	STOP LINES AND ISLANDS
PV-3	04-09-18	SAFETY EDGE
PH-202	04-21-20	HOT MIX ASPHALT RESURFACING
PH-201	10-21-14	RUNDINGS FOR RESURFACING
PH-202	10-21-14	RUNDINGS FOR RESURFACING (WITH OR WITHOUT RUNDING)
TC-4	10-05-10	WORK NOT AFFECTING TRAFFIC (TWO-LANE OR MULTI-LANE)
TC-214	04-21-20	LANE CLOSURE WITH FLAGGERS FOR USE WITH FLEET CAR
TC-213	10-12-17	PAYMENT MARKING OPERATIONS TWO-LANE
TC-202	10-10-19	LINE/ROW LINES

Professional Engineer Seal
 I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.
 Signed: *Walter Spahr* Date: *10-11-21*
 By license renewed date is December 31, 2022
 Pages or sheets covered by this seal: (Enter submission unless specified here)

Accepted by
Quinn Wilson
 Story County Engineer
 Date: *10-13-21*

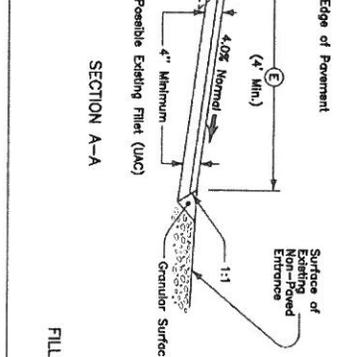
Approved Story County
 Beyond of Supervisors
[Signature]

Story County Project Number **FM-C085(165)--55-85** Sheet No. **A.01**



NORMAL FILLET SIZE

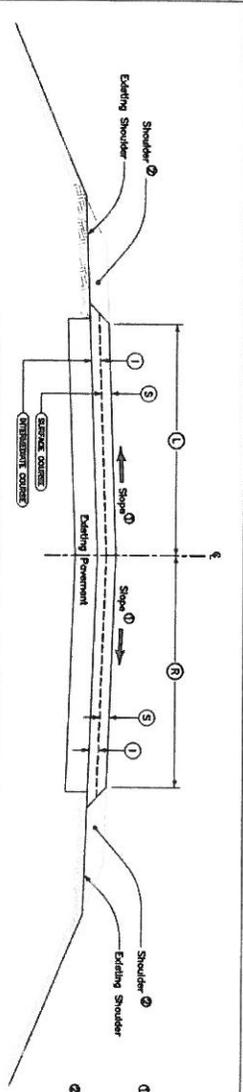
Type	Feet	Surface Course	Intermediate Course	Tack Coat
Base Entrance	40'	1 1/2"	1 1/2"	2.3 gal./sq. ft.
Commercial Ent.	80'	1 1/2"	1 1/2"	2.3 gal./sq. ft.
Gravel Road	100'	3.0"	3.0"	4.8 gal./sq. ft.



FILLET FOR NON-PAVED ENTRANCES (HMA Resurfacing Project)

Notes:

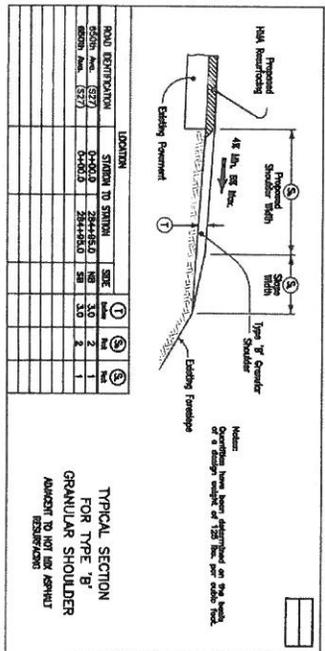
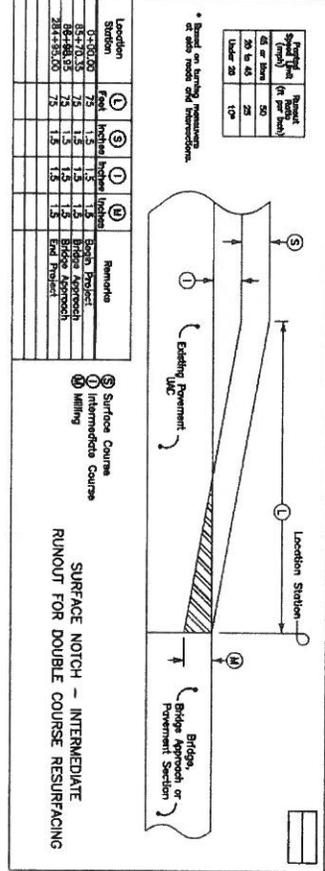
- Construct uniform thickness fillets at non-paved entrances to form entrance and provide resistance where product, and at commercial entrances.
- Special shaping of existing surface prior to placement of fillet may be required by the Engineer and is incidental to other work on the project.
- Fillet shall be placed in the field as recommended and shall be used for design and estimating purposes. The Engineer shall establish the size of each individual fillet to accommodate conditions at the site.
- HMA quantities included with machine quantities.
- Estimated at 148 ba./cu. ft.
- Estimated for 2 applications of 0.05 gal./sq. ft. The tack coat for entrance fillets may be adjusted when so directed by the Engineer.



LOCATION

ROAD IDENTIFICATION	STATION TO STATION	③	①	④	②
850th Ave. (S277)	0+00.00 - 284+95.00	1X	1X	11.0	11.0

TYPICAL CROSS SECTION
HMA RESURFACING



TYPICAL SECTION FOR TYPE 'B' GRANULAR SHOULDER ADAPTED TO HOT MIX ASPHALT RESURFACING

Location Stationing

Location Stationing	①	③	①	④	②
0+00.00	7.5	1.5	1.5	1.5	1.5
0+75.00	7.5	1.5	1.5	1.5	1.5
0+150.00	7.5	1.5	1.5	1.5	1.5
0+225.00	7.5	1.5	1.5	1.5	1.5
0+300.00	7.5	1.5	1.5	1.5	1.5
0+375.00	7.5	1.5	1.5	1.5	1.5
0+450.00	7.5	1.5	1.5	1.5	1.5
0+525.00	7.5	1.5	1.5	1.5	1.5
0+600.00	7.5	1.5	1.5	1.5	1.5
0+675.00	7.5	1.5	1.5	1.5	1.5
0+750.00	7.5	1.5	1.5	1.5	1.5

ESTIMATED PROJECT QUANTITIES OF QUANTITIES
(1 DIVISION PROJECT)

100-1A

ITEM	ITEM CODE	ITEM	UNIT	TOTAL
1	2121-7425020	GRANULAR SHOULDERS, TYPE B	TON	2,860.2
2	2212-0475095	CLEANING AND PREPARATION OF BASE	MILE	5.4
3	2214-5145150	PAVEMENT SCARIFICATION	SY	366.7
4	2303-1032500	HMA, ST, INTERMEDIATE COURSE, 1/2 IN. MIX	TON	6,414.1
5	2303-1033500	HMA, ST, SURFACE COURSE, 1/2 IN. MIX, NO SPECIAL FRICTION	TON	6,414.1
6	2303-1258283	ASPHALT BINDER, PG 58-28S, STANDARD TRAFFIC	TON	769.7
7	2303-6911000	HMA PAVEMENT SAMPLES	LS	1.0
8	2527-9263109	PAINTED PAVEMENT MARKINGS, WATERBORNE/SOLVENT	STA	1,229.8
9	2528-8445110	TRAFFIC CONTROL	LS	1.0
10	2528-8445113	FLAGGER	EACH	30.00*
11	2528-8445115	PILOT CAR	EACH	6.00*
12	2533-4990005	MOBILIZATION	LS	1.0

* Estimate only. See Proposal for quantities.

GENERAL NOTES

Story County will mark out scarification sawcuts and pavement markings.

Unless otherwise directed or authorized, all hot mix asphalt and other bituminous materials which are not specifically addressed or described in the contract documents shall become the property of the Contractor.

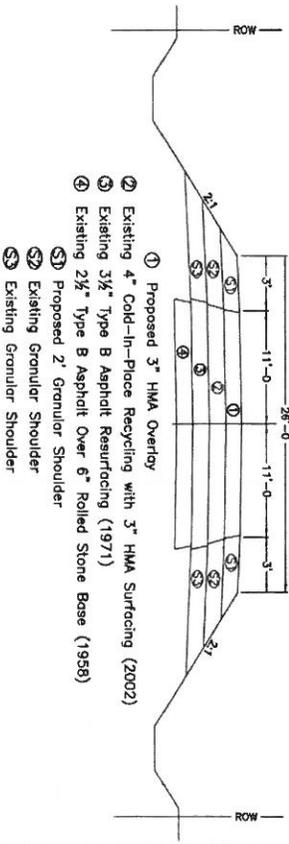
- The Contractor, in accordance with current rules and regulations of the Iowa Department of Natural Resources, may:
1. With the approval of the Engineer, blend or otherwise process the material for use with shoulder or special backfill aggregate, for use on the project.
 2. With the approval of the Engineer, place with material in areas designated by the Engineer as Soil Aggregate Subbase without extra charge.
 3. Remove the material from the project and stockpile for the contractor's future use.

ESTIMATE REFERENCE INFORMATION

ITEM NO.	DESCRIPTION
1.	Item for 3' wide shoulders (on each side). See Shouldering Typical 7135 on Sheet B.01 for details. Granular material quantity estimated using a unit weight of 125 lbs./ft ³ . Item includes all material, equipment and labor necessary to furnish, place and finish granular shoulders.
2.	Item includes both lanes, 5.4 miles in length.
3.	Refer to rumpout detail on Sheet B.01 for details and scarification stationing.
4.-5.	QMA shall apply. Quantity is for 3" thick (two 1 1/2" lifts) Standard Traffic design overlay with 11' wide lanes for entire the project. Quantity was estimated using 148 lbs./ft ³ unit weight. Quantity includes 71.8 tons for entrance filets and mailbox filets. Safety Edge shall be used on both lifts. See Standard Road Plan PV-3 for details. Tack coat is incidental to this item.
6.	Binder was estimated at 6% for both intermediate and surface lifts.
8.	See Tabulation 102-3 on Sheets C.02-C.03 for pavement marking types, stationing, and quantities. Quantity includes on application of yellow centerline marking for both intermediate and surface lifts, and one application of white edge lines for the surface lift only.
9.	See Project Traffic Control Plan on Sheet A.01 for traffic control notes, and refer to TC Standard Road Plans for further details. Traffic control shall include Shoulder Dropoff signage at sidewalk intersections, until granular shoulders have been placed.
10.	Flagger quantity is an estimate only. See Proposal for quantities.
11.	Pilot Car quantity is an estimate only. See Proposal for quantities.

PAVEMENT HISTORY

Sta. 0+00.00 to Sta. 284+95.00



STORY COUNTY

48C74 - Piles on the same side of the roadway to match existing markings near the project.
 49C74 - For estimating purposes only. No Posting Zone Lines will be located in the field.

PAVEMENT MARKING LINE TYPES

See PM-110

BCY4: Borden Centerline (Yellow) @ 0.25 DCY4: Borden Centerline (Yellow) @ 2.00
 BCY4: Borden Lane Line (White) @ 0.25 DCY4: Borden Lane Line (White) @ 1.00
 NPY4: No Posting Zone Line (Yellow) @ 1.25
 ELY4: Edge Line Left (Yellow) @ 1.00
 CHW2: Chomelling Line (White) @ 2.00
 SLW2: Stop Line (White) @ 0.50

Road ID	Station to Station	Dir. of Travel	Marking Type	Side		Length By Line Type (Unfactored)												Remarks		
				L	R	BCY4	DCY4	NPY4	BLW4	ELW4	ELY4	CHW2	SLW2	STW2	STW2					
650th Ave. (S27)	0+00.0		Permanent	X	X															
650th Ave. (S27)	3+46.7	5+25.9	Permanent	X	X															
650th Ave. (S27)	5+25.9	12+48.8	Permanent	X	X															
650th Ave. (S27)	12+48.8	20+44.2	Permanent	X	X															
650th Ave. (S27)	20+44.2	24+03.4	Permanent	X	X															
650th Ave. (S27)	24+03.4	29+10.4	Permanent	X	X															
650th Ave. (S27)	29+10.4	32+90.2	Permanent	X	X															
650th Ave. (S27)	32+90.2	35+06.3	Permanent	X	X															
650th Ave. (S27)	35+06.3	44+93.1	Permanent	X	X															
650th Ave. (S27)	44+93.1	47+99.2	Permanent	X	X															
650th Ave. (S27)	47+99.2	57+53.5	Permanent	X	X															
650th Ave. (S27)	57+53.5	53+46.8	Permanent	X	X															
650th Ave. (S27)	53+46.8	23+46.8	Permanent	X	X															
650th Ave. (S27)	23+46.8	98+46.2	Permanent	X	X															
650th Ave. (S27)	98+46.2	104+04.7	Permanent	X	X															
650th Ave. (S27)	104+04.7	107+48.7	Permanent	X	X															
650th Ave. (S27)	107+48.7	114+35.7	Permanent	X	X															
650th Ave. (S27)	114+35.7	114+70.9	Permanent	X	X															
650th Ave. (S27)	114+70.9	124+51.4	Permanent	X	X															
650th Ave. (S27)	124+51.4	128+04.3	Permanent	X	X															
650th Ave. (S27)	128+04.3	136+25.8	Permanent	X	X															
650th Ave. (S27)	136+25.8	138+36.9	Permanent	X	X															
650th Ave. (S27)	138+36.9	143+12.7	Permanent	X	X															
650th Ave. (S27)	143+12.7	145+45.0	Permanent	X	X															
650th Ave. (S27)	145+45.0	151+81.6	Permanent	X	X															
650th Ave. (S27)	151+81.6	180+61.2	Permanent	X	X															
650th Ave. (S27)	180+61.2	199+83.9	Permanent	X	X															
650th Ave. (S27)	199+83.9	208+70.3	Permanent	X	X															
650th Ave. (S27)	208+70.3	208+25.2	Permanent	X	X															
650th Ave. (S27)	208+25.2	215+50.4	Permanent	X	X															
650th Ave. (S27)	215+50.4	228+46.1	Permanent	X	X															
650th Ave. (S27)	228+46.1	238+43.9	Permanent	X	X															
650th Ave. (S27)	238+43.9	247+19.6	Permanent	X	X															
650th Ave. (S27)	247+19.6	250+31.0	Permanent	X	X															
650th Ave. (S27)	250+31.0	259+22.9	Permanent	X	X															
650th Ave. (S27)	259+22.9	260+54.1	Permanent	X	X															
650th Ave. (S27)	260+54.1	268+84.7	Permanent	X	X															
650th Ave. (S27)	268+84.7	273+27.9	Permanent	X	X															
650th Ave. (S27)	273+27.9	274+92.1	Permanent	X	X															
650th Ave. (S27)	274+92.1	282+21.6	Permanent	X	X															
650th Ave. (S27)	282+21.6	288+62.2	Permanent	X	X															
650th Ave. (S27)	288+62.2	288+62.2	Permanent	X	X															
650th Ave. (S27)	288+62.2	288+62.2	Permanent	X	X															
650th Ave. (S27)	0+00.0	288+62.2	Permanent	X	X															
650th Ave. (S27)	0+00.0	288+62.2	Permanent	X	X															
						72.842	48.182	167.518	0.000	577.244	0.000	0.350	0.661							
						0.25	2.00	1.25	0.25	1.00	1.00	2.00	6.00							
						18.236	96.324	209.398	0.000	577.244	0.000	0.720	3.956							
						Sheet Total: 906.887														
						Project Total: 1,229.944														

FILE LOCATION: S:\WORK\PROJECTS\165\55\85\STORY\STORY COUNTY\TABULATIONS SHEET

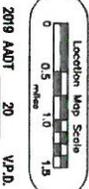
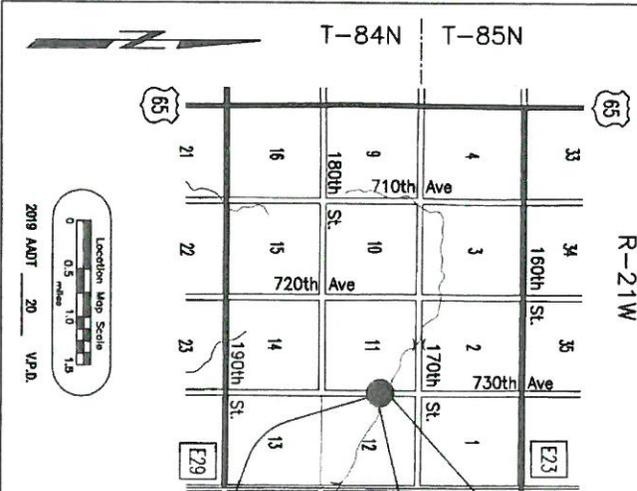
STORY COUNTY

108-221
04-16-13

STORY COUNTY

Letting Date Jan. 19, 2022

RCB CULVERT NEW - TRIPLE BOX
Proj. No. FM-C085(166)--55-85



DESIGN FOR:
TRIPLE BOX CULVERT
CONCRETE BOX CULVERT
ON 30 SKEW.

PROJECT LOCATION
STA. 7+50.00
NAME STREET SECTION 26
OF T84N-R21W.

EOP STA. 8+25.00
BOP STA. 6+75.00



Scales: As Noted

CONTRACT THIS PROJECT ACCORDING TO THE REQUIREMENTS OF U.S. ARMY CORPS OF ENGINEERS AND THE IOWA DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE STATE AND LOCAL AGENCIES.

PROJECT TRAFFIC CONTROL PLAN

THIS ROAD WILL BE CLOSED TO THROUGH TRAFFIC DURING CONSTRUCTION. LOCAL TRAFFIC TO ADVANCED PROPERTIES WILL BE MAINTAINED AS PROVIDED FOR IN ARTICLE 1107.02 OF THE CURRENT STRATAVIA CODE. TRAFFIC CONTROL SHALL BE INSTALLED WITHIN THE LIMITS OF THIS PROJECT SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AS ADOPTED BY THE DEPARTMENT FOR 701 OF THE IOWA ADMINISTRATIVE CODE (IAC) CHAPTER 131. ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, AND MAINTAINED BY THE CONTRACTOR.

UTILITIES INFORMATION

UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR SHOWN TO BE WITHIN THE CONSTRUCTION LIMITS SHALL BE RESPONSIBLE FOR THE PROTECTION OF THEIR FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS. THE CONTRACTOR SHALL CALL ONE CALL AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. ONE CALL: 1-800-252-5888

UTILITY ENGINEER: 800-252-4288
FIELD ENGINEER: 841-877-7288
MINERVA VALLEY TELEPHONE & CABLE:
LEVI BARRER: 841-877-7288
ONE CALL: 1-800-252-5888
DESIGNER: TERRY L. STANLEY, P.E., 1011
DATE: 10-13-21

IOWA DEPARTMENT OF TRANSPORTATION Highway Division PLANS OF PROPOSED IMPROVEMENT ON THE FARM TO MARKET ROAD SYSTEM STORY COUNTY RCB CULVERT NEW - TRIPLE BOX

On 730th Ave. over No Name Stream, in the Northwest Quarter of Section 12 of T84N-R21W.

Refer to Proposal Form for a list of applicable specifications.

Project No. FM-C085(166)--55-85
FHWA #315020

INDEX OF SHEETS

No.	Description
A.01	TITLE SHEET
C.01	QUANTITY INFORMATION SHEET
C.02	GENERAL NOTES SHEET
C.03	TABULATION SHEET
C.04	CULVERT DETAIL SHEET
D.01	PLAN AND PROFILE SHEET
W.01-W.03	CROSS SECTION SHEETS

MILEAGE SUMMARY

Dw.	Location	Ln. Ft.	Miles
1	STA. 6+75.00 TO STA. 8+25.00	150.00	0.028
Total		150.00	0.028

STANDARD ROAD PLANS

Number	Date	Title
PR-101	04-18-17	PRE CULVERT (BEDDING AND BACKFILL)
PR-102	04-21-18	PIPE CULVERT (CONER AND CURBED)
PR-103	04-21-18	PIPE CULVERT (INSTALLATION DETAILS)
PR-104	04-18-18	DEPTH OF COVER TABLES FOR CONCRETE AND CORRUGATED PIPE
EC-301	10-18-18	ROCK EROSION CONTROL (REC)
ER-101	10-17-17	EMBANKMENT AND REBUILDING EMBANKMENTS
TC-252	04-21-20	ROUTES CLOSED TO TRAFFIC

SEND SHOP DRAWINGS TO:

STORY COUNTY ENGINEER
637 N AVE.
NEVADA, IOWA 50201
515-382-7355

Ascertained by
Wanda Moran 10-13-21
Story County Engineer
Date

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.
Signed: *Terry L. Stanley* Date: 10-13-21
Terry L. Stanley, P.E. 21618
My license renewed date is December 31, 2022
Pages or sheets covered by this seal (Enter submission number unless specified here)



Approved Story County Board of Supervisors
[Signature]

Story County

Project Number: FM-C085(166)--55-85

Sheet No. A.01

Sheet Total: 9

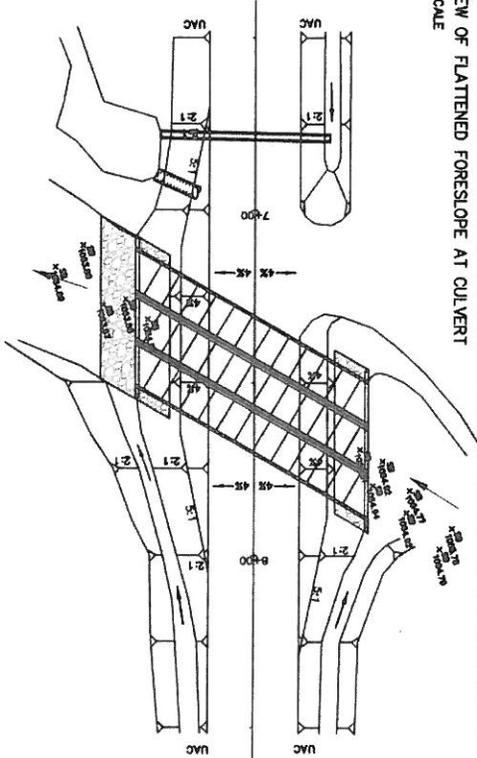
ESTIMATED PROJECT QUANTITIES OF QUANTITIES
(1 DIVISION PROJECT)

ITEM	ITEM CODE	ITEM	UNIT	TOTAL
1	2101-0850001	CLEARING AND GRUBBING	ACRE	0.4
2	2102-2710070	EXCAVATION, CL 10, ROADWAY AND BORROW	CY	129.1
3	2104-2710020	EXCAVATION, CLASS 10, CHANNEL	CY	65.5
4	2105-8425015	TOPSOIL, STRIP, SALVAGE AND SPREAD	CY	82.5
5	2110-3825010	GRANULAR MATERIAL	TON	256.0
6	2401-6745625	REMOVAL OF EXISTING BRIDGE	LS	1.0
7	2402-2720000	EXCAVATION, CLASS 20	CY	278.0
8	2415-2111006	PRECAST CONCRETE BOX CULVERT, 10 FT. X 6 FT.	LF	126.0
9	2589-9999005	PRECAST CONCRETE BOX CULVERT, 10 FT. X 6 FT.	EACH	6.0
10	2507-3250005	ENGINEERING FABRIC	SY	116.5
11	2507-6800061	REVEINMENT, CLASS E	TON	76.4
12	2528-2518000	SAFETY CLOSURE	EACH	4.0
13	2528-8445110	TRAFFIC CONTROL	LS	1.0
14	2533-4980005	MOBILIZATION	LS	1.0
15	2589-9999003	REVEINMENT, REMOVE STOCKPILE AND DISPOSE	CY	14.0

GENERAL NOTES

Story County to stock culvert control and right-of-way, maintain detour signing, furnish and place granular surfacing on roadway, apply seeding and mulching, and place erosion control measures.

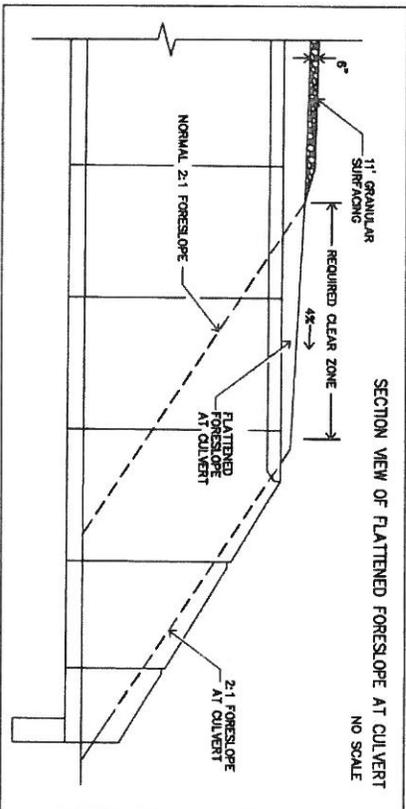
PLAN VIEW OF FLATTENED FORESLOPE AT CULVERT
NO SCALE



ESTIMATE REFERENCE INFORMATION

ITEM NO.	DESCRIPTION
1.	Entire project to be cleared and grubbed from BOP to EOP and from ROW line to ROW line.
2.	Quantity is based on approximately 129.1 CY of roadway fill (30% shrink factor) and 121.0 CY of roadway cut. Contractor may use suitable culvert excavation to achieve dirt balance. Type A composition required. No payment for overhaul will be made.
3.	Item for the excavation for the outlet splash basin. Quantity estimated at 35.5 cy for excavating a basin 47'x10'x2' at the outlet and 30.0 cy for blending inlet and outlet slopes. Suitable excavated material may be used to supplement the Class 10 Roadway quantity, with the approval of the Engineer.
4.	Contractor shall meet requirements for topsoil conservation practices. Topsoil to be spread smooth to a minimum of 4" on all disturbed areas from catch points to edge of shoulder within project limits. Slopes to be finished smooth to allow for seeding. See tabulation on Sheet C03 for quantity estimates and locations.
5.	Approximately 256 tons of 1" rock is required under the box for bedding.
6.	The existing structure is a single span 29'x26' pre-cast concrete panel bridge with timber abutments, wingwalls and piling, on a 30' skew. Material from the old structure shall become the property of the Contractor according to article 1104.08 of the Standard Specifications, and removed from the site. Burying removal material on site will not be allowed. See Hazardous Materials note on sheet C02 for more information.
7.	Item for excavation for culvert. Suitable material may be used to backfill culvert and supplement the Class 10 roadway quantity with approval from the Engineer.
8-9.	Precast RCB culvert shall be a three angle 10'x6'x4' culverts placed side by side with end sections skewed at 30°. See Culvert Detail Sheet for full details. See Tabulation 104-4 on Sheet C03 for details and Method of Measurement/Basis of Payment note on Sheet C02.
10-11.	Items for the construction of a rock splash basin at outlet and slope protection at the inlet and outlet wings. See Tabulation 100-23 on Sheet C03 for stationing and quantities, and Standard Road Plan EC-301 for details.
12.	See Tabulation 108-13A on Sheet C03 for stationing and quantities.
13.	See Standard Road Plan TC-252 for details.
15.	Item for the removal, stockpiling, and disposal of existing broken concrete and stone rework. Preliminary survey shows a few pieces of broken concrete. Quantity is an estimate only. Contractor shall be paid actual quantity by measuring the stockpile and computing the volume. Basis of Payment shall be in cubic yards as computed by measurements.

SECTION VIEW OF FLATTENED FORESLOPE AT CULVERT
NO SCALE



GENERAL NOTES

GENERAL NOTES:
Contractor to construct a triple 10'-6" x 6'-6" pre-cast concrete box culvert on a 30' skew with skewed end sections on 730th Ave. over South Mineral Creek and grade approaches.

It shall be the contractor's responsibility to provide mats or disposal sites for excess material (excavated material or broken concrete) which is not desirable to be incorporated into the work involved on this project. These areas shall not impact wetlands or "Waters Of The U.S." No payment for removal will be allowed for material hauled to these sites. No material shall be placed within the right-of-way, unless specifically stated in the plans.

Construction activities, equipment, and materials shall be kept out of the streams, wetlands, or other bodies of water to the maximum extent practicable.

CONTRACTOR'S WORK AREA:

The Contractor's work and material storage area shall be defined by the Contractor and noted to the Engineer. Any area outside the Contractor's work and material storage area that is disturbed by the Contractor shall be repaired to its original condition by the Contractor and no additional payment shall be made for this work.

UTILITY NOTES:

The Contractor shall call One Call of least 48 hours prior to beginning work. Utility companies found to be located within the construction area are listed on the title sheet of these plans. See Section 1107.15 of the Iowa DOT Standard Specifications For Highway And Bridge Construction, regarding utility related responsibilities.

HAZARDOUS MATERIALS NOTES:

It is presumed that there is no asbestos at this site. However, should the occasion arise that asbestos is discovered during bridge demolition, then demolition shall cease and the County will contract with a licensed asbestos contractor to remove any asbestos.

EMERALD ASH BORER NOTE:

Dispose of all wood material generated as a result of clearing and/or grubbing according to the Iowa Department of Agriculture and Land Stewardship's Emerald Ash Borer (EAB) Quarantine Order. For more information refer to http://www.iowadep.gov/eab/eab_regulations.html.

INDIANA BAT HABITAT:

See Iowa DOT Specification 2101.01.

INSTALLATION NOTES:

The "Tie" culvert will actually be three single 10'-6" pre-cast culverts placed side by side, 6" apart. The space between shall be filled with concrete. See detail on this sheet below. All costs including material, equipment, forming, and labor associated with filling the spaces with concrete shall be incidental to the bid item Precast Concrete Box Culvert.

Precast concrete box culvert sections shall be laid with the groove end of each section up-grade, and the sections shall be tightly jointed. Joint openings between sections should be as tight as practicable and limited to a maximum of 1/8" inch openings. The joint on the bottom of the culvert shall be sealed with a flexible water tight 1" butyl rope gasket as per Material L.M. 491.05. The butyl rope gasket shall be installed in accordance with the recommendations of the manufacturer and shall extend vertically 6" above the top of the culvert. The gasket shall be formed clean on the inside after sealing. The contractor shall also place a 2" foot wide piece of engineering fabric around the butyl rope gasket. The fabric shall be attached to the wall and top of each section to prevent the fabric from being dislodged during backfilling operations. Attachment method shall be approved by the engineer.

All costs including material and labor associated with providing the engineering fabric and installing it as required shall be included in the bid item Precast Concrete Box Culvert. The engineering fabric shall meet the material requirements as set forth in 4198.01c of the Iowa DOT Standard Specifications. During backfilling the compaction adjacent to the bottom corner roff shall be completed with a mechanical hand compactor. The contractor shall remain and install lifting hole plugs for each section. Lifting holes shall be plugged with a precast concrete plug, sealed and covered with mastic or mortar.

DESIGN REQUIREMENTS:

The precast culvert sections shall meet the minimum requirements of ASTM C 1577, Table 1 sections that are designed for combined earth dead load and ASHTO H₁-93 live load conditions. Any precast box culvert designs submitted that vary from the ASTM C 1577 standard, shall be designed and sealed by a professional engineer, currently registered in the State of Iowa. Minimum length of precast sections shall be 4.0 feet. Minimum culvert wall thickness shall be 8 inches.

PRE-CONSTRUCTION NOTES:

The Contractor shall submit details of the proposed precast box sections to the Story County engineers office for approval. These details shall include a siting plan, culvert borel cross sections showing skew, and end section details. The length in linear feet of precast concrete box culvert will be based on the plan quantity.

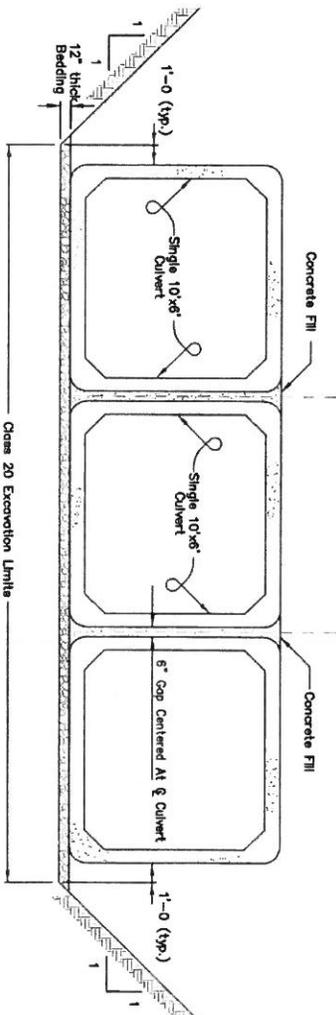
Drop walls shall be precast and protrude one integral with the inlet sills.

METHOD OF MEASUREMENT/BASIS OF PAYMENT NOTES:

For the number of linear feet given on the plan, the Contractor will be paid the contract unit price per linear foot. The payment shall be full compensation for furnishing all materials, labor and equipment necessary to complete the work except for items in end sections and Class 20 Excavation.

For each precast box culvert end section installed the Contractor will be paid the contract price for each. The payment shall be full compensation for furnishing all materials (including dropalls), labor and equipment necessary to complete the work except for items in precast concrete box culvert and Class 20 Excavation. Dropalls shall be precast.

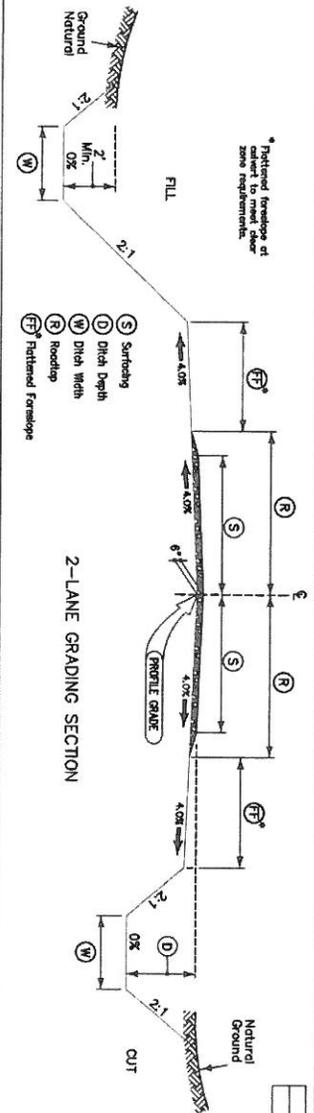
The Contractor shall furnish culvert ties for all joints. The main section joints will have one tie on each side of the borel and the joint borel section will be attached to the end sections with two ties per side. Culvert ties shall be included in the 35 or equivalent concrete box culvert. The rods will be 1 inch in diameter steel and shall meet requirements of ASTM A 709 grade 35 or equivalent. Culvert tie assemblies shall be galvanized or painted according to 2405.30 of the Iowa DOT Standard Specifications. Acrylic topcoat not required.



Normal section shown may be modified appropriately in areas of improved curves or other locations specifically identified by the Engineer.

See Plan & Profile sheets and cross sections for additional details of ditches and backdrops.

ROAD IDENTIFICATION	SIDE	STATION TO STATION	DIMENSIONS				
			(F) ¹	(D)	(W)	(R)	(S)
730th Ave.	LT	6+75.0	0	var.	5	13	11
730th Ave.	LT	6+94.9	0	var.	5	13	11
730th Ave.	LT	7+34.9	0	var.	5	13	11
730th Ave.	LT	7+89.9	0	var.	5	13	11
730th Ave.	LT	8+29.4	0	var.	5	13	11
730th Ave.	RT	6+75.0	0	var.	5	13	11
730th Ave.	RT	6+70.6	0	var.	5	13	11
730th Ave.	RT	7+10.6	8	var.	5	13	11
730th Ave.	RT	7+85.1	8	var.	5	13	11
730th Ave.	RT	8+05.1	8	var.	5	13	11
730th Ave.	RT	8+25.0	0	var.	5	13	11



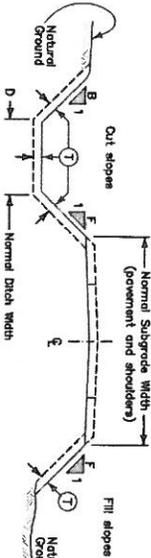
DRAINAGE STRUCTURES BY CULVERT CONTRACTOR

Location	Size	Type	Length New Concr. In. Ft.	No. of Apertures	Flow Line Direction			Dimensions - Lin. Ft.		Shear Ahead		By Road Contractor		Roadfill* Percent		Flooded Roadfill	
					Left	Right	Other	Total	Ext.	Ext.	Deg.	Loc.	Top	Comp. Backfill	(A)	(B)	(A+B)
7+60.00	10X8	Triple RCB	63.82	6	1084.30	1084.00		20.3	21.7								

ROCK EROSION CONTROL

Road Identification	Begin Station	End Station	Side	Rock Erosion Control (REC)					Material Bid Quantities		Remarks	
				Type 1	Type 2	Type 3	Type 4	Type 5	Erosion Stone TON	Class E Fabric SY		
730th Ave.	7+01.7	7+49.0	39.0' Rt.	47						59.2	79.3	Splash basin at RCB outlet.
730th Ave.	7+40.4	7+46.0	27.9' Lt.	12						4.3	9.3	Slope protection at RCB inlet.
730th Ave.	7+84.3	7+90.1	27.9' Lt.	12						4.3	9.3	Slope protection at RCB inlet.
730th Ave.	7+07.5	7+13.1	29.1' Rt.	12						4.3	9.3	Slope protection at RCB outlet.
730th Ave.	7+51.3	7+57.0	29.1' Rt.	12						4.3	9.3	Slope protection at RCB outlet.

SPREADING TOPSOIL



Perform this work according to Section 710.01. The contractor is to be responsible for the quantity of material to be placed on any existing rock. The contractor is to be responsible for the quantity of material to be placed on any existing rock. The contractor is to be responsible for the quantity of material to be placed on any existing rock.

TABULATION OF SAFETY CLOSURES		
Refer to Section 2516 of the Standard Specifications		
STATION	ROAD QTY.	HAZARD QTY.
6+40.0	1	
6+60.0	1	
10+00.0	1	
		TOTAL = 4.00

Ave	Quantity	CR	Location		Side	Slope	Remarks	Amount Rec'd CV	Topsoil Excavation Available From		
			Station to Station	Station to Station					In.	From Stockpile	
1	13.5		7+75	6+25	L	8:1, 0:4	13.5	7+75	6+25	4	From Stockpile
2	22.4		6+75	7+75	R	8:1, 0:4	22.4	6+75	7+75	4	From Stockpile
3	26.1		7+25	8+25	L	8:1, 0:4	26.1	7+25	8+25	4	From Stockpile
4	20.5		6+75	7+25	R	8:1, 0:4	20.5	6+75	7+25	4	From Stockpile

PLAN AND PROFILE SHEET

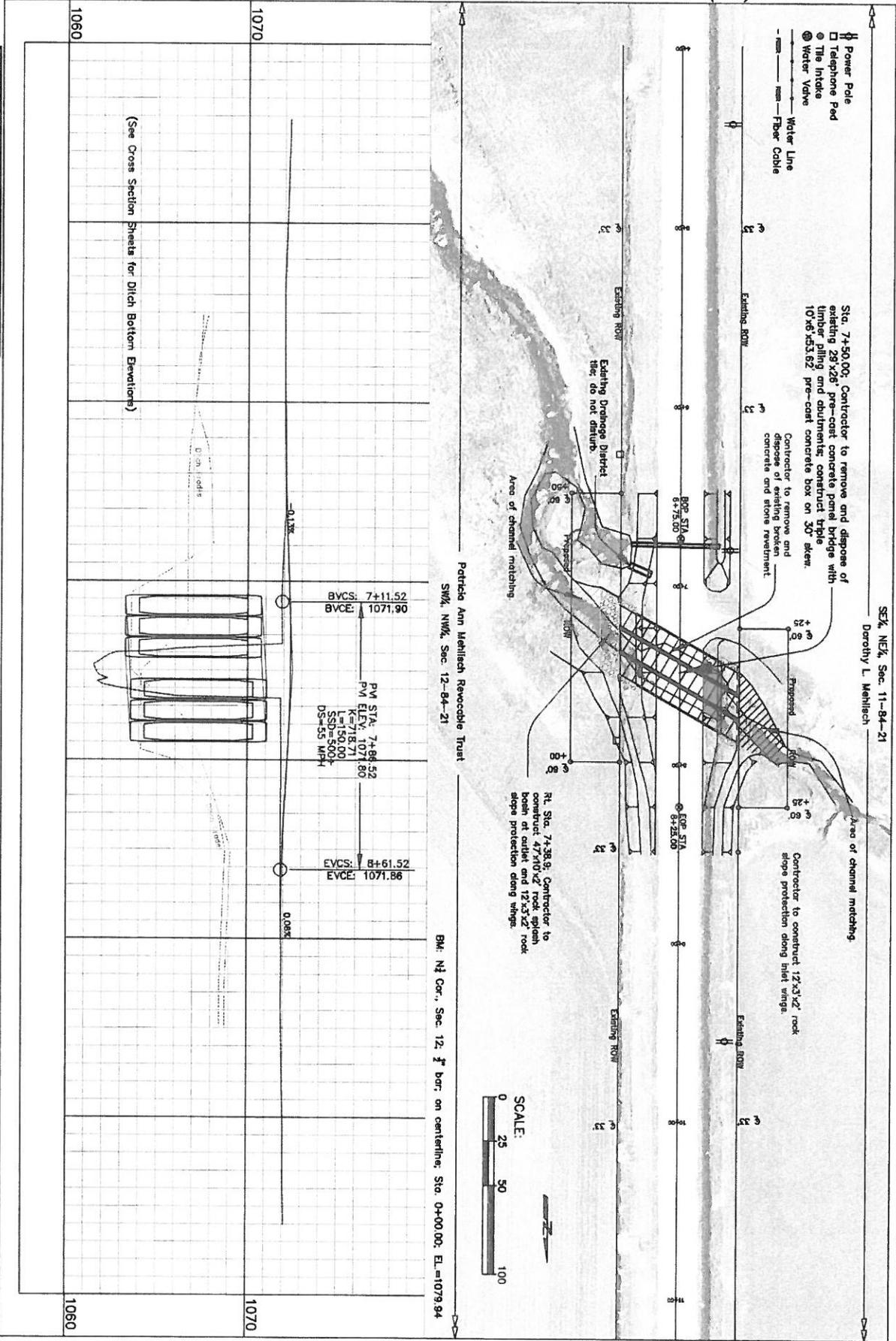
PROJ No. FM-C085(166)--55-85

SEE CROSS SECTION SHEETS FOR DITCH BOTTOM ELEVATIONS

STORY COUNTY

FM-C085(166)-55-85

DATE: 11/15/05



SE1/4, NE1/4, Sec. 11-84-21
Dorothy L. Mellich

Patricia Ann Mellich Rencoble Trust
SM1/4, NW1/4, Sec. 12-84-21

BM: N1/2 Cor., Sec. 12, 1/2 bar. on centerline; Sta. 0+00.00; EL.=1079.84



(See Cross Section Sheets for Ditch Bottom Elevations)

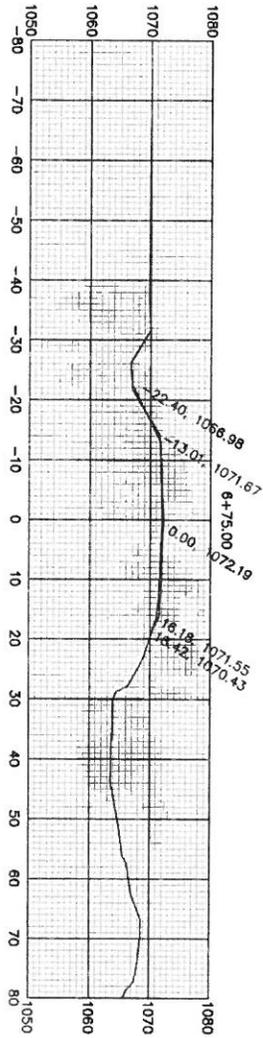
CROSS SECTIONS SHEET

PROJ No. FM-C085(166)--55-85

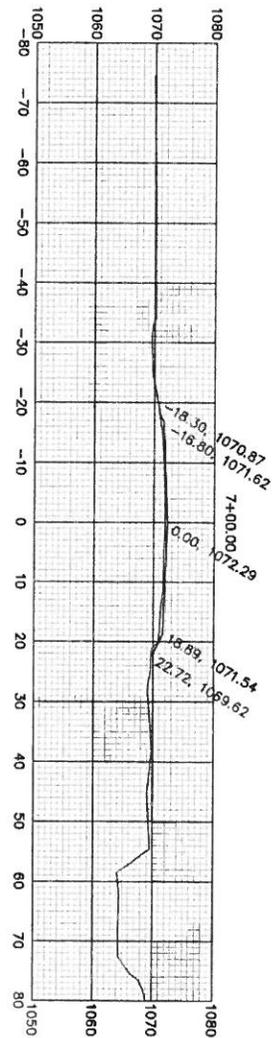
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STORY COUNTY

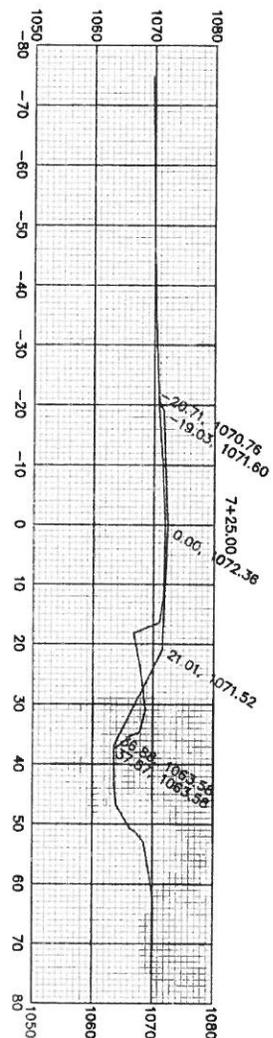
10/26/2011 7:11:08 AM FM-C085(166) 46-46



Sta. 6+75.00	
Cut Area	1.08
Fill Area	6.03
Cut Vol	0.00
Fill Vol	0.00



Sta. 7+00.00	
Cut Area	0.00
Fill Area	14.48
Cut Vol	0.50
Fill Vol	12.35



Sta. 7+25.00	
Cut Area	17.93
Fill Area	47.33
Cut Vol	8.30
Fill Vol	37.20

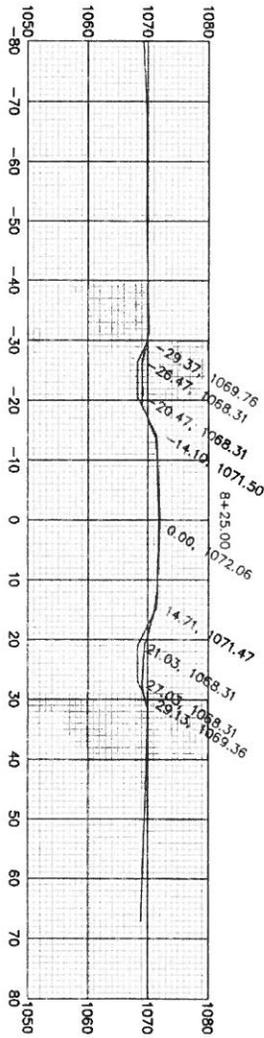
CROSS SECTIONS SHEET

PROJ No. FM-C085(166)--55-85

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STORY COUNTY

PROJECT: FM-C085(166)--55-85



Sta. 8+25.00	
Cut Area	18.51
Fill Area	4.06
Cut Vol	35.07
Fill Vol	12.62



Story County Planning and Development
Administration Building
900 6th Street, Nevada, Iowa 50201
Ph. 515-382-7245 Fax 515-382-7294
www.storycountyiowa.gov

APPROVED **DENIED**

Board Member Initials: AKH

Meeting Date: 10-19-21

Follow-up action: _____

MEMORANDUM

TO: Story County Board of Supervisors _____
FROM: Amelia Schoeneman, Planning and Development Director
RE: Request to lower letter of credit amount for improvements at the Prairie Valley Subdivision due to completion of improvements and receipt of letter of credit to warranty completed improvements
MEETING: October 19, 2021

As part of the final platting for subdivisions that require improvements to be completed by the developer (roads, water, grading, etc.) a letter of credit is required to cover the cost of completing the improvements. In the case that the developer fails to complete required improvements, the county may draw on the letter of credit to complete the improvements.

A letter of credit (letter of credit 164) was provided to cover the improvements at the Prairie Valley Subdivision (at the intersection of 500th Avenue and 170th Street) in the amount of \$890,000 with the final plat. The majority of the improvements at the Prairie Valley Subdivision have been completed. The project's engineer has certified the improvements have been completed per the plans. The County Engineer and Planning and Development Director have also completed an inspection to confirm this.

After improvements are completed, the developer must provide another letter of credit to warranty the improvements for two years in case the improvements fail or are in need of repair. Again, in the case of a failure or need of repair, the county may draw on the letter of credit to complete the maintenance should the developer or homeowners association fail to do so. A letter of credit was received (letter of credit 174) to warranty the completed improvements for two years in the Prairie Valley Subdivision in the amount of \$480,000. This was reviewed and approved by the Planning and Development Director, County Engineer, and Assistant County Attorney. The amount is less than the original letter of credit as earthwork (grading) does not need to be warrantied and there is a separate performance bond for water main repair. The water mains have been tested and approved by Xenia.

The developer is requesting that letter of credit 164 be reduced by the amount of the completed improvements (\$852,100). There are several outstanding improvements that are not completed that will continue to be covered by letter of credit 164 until such time they are completed and warrantied. These improvements total \$37,900. Staff recommends approval of this request.



PRAIRIE VALLEY SUBDIVISION - FIRST ADDITION

CONSTRUCTION COSTS BASED ON BIDS

Story County, Iowa
 Last Update 10/13/2021
 FOX PN: 5470-18A



ITEM NO.	BID ITEM	UNIT	QUANTITY	ENGINEER'S OPINION OF PROBABLE CONSTRUCTION COSTS		PERCENT COMPLETE	WORK REMAINING
				UNIT PRICE	TOTAL PRICE		
DIVISION 2 - EARTHWORK							
2.01	CLEARING AND GRUBBING	LS	1	\$8,343.00	\$8,343.00	100%	\$0.00
2.02	CROP REMOVAL	AC	9	\$168.50	\$1,516.50	100%	\$0.00
2.03	TOPSOIL STRIP, STOCKPILE, & RESPREAD	CY	17,750	\$2.67	\$47,392.50	100%	\$0.00
2.04	EXCAVATION, CLASS 10	CY	32,600	\$2.14	\$69,764.00	95%	\$3,488.20
2.05	COMPACTION TESTING	LS	1	\$5,000.00	\$5,000.00	100%	\$0.00
2.06	SUBGRADE PREPARATION & FINE GRADING	SY	10,220	\$2.80	\$28,616.00	100%	\$0.00
2.07	SUBGRADE TREATMENT, GEOGRID, TYPE 1	SY	10,220	\$1.30	\$13,286.00	100%	\$0.00
2.08	SPECIAL BACKFILL, 4-INCH	SY	10,220	\$6.75	\$68,985.00	100%	\$0.00
2.09	SHOULDERING, 5-FT, TOPSOIL	CY	715	\$10.00	\$7,150.00	100%	\$0.00
DIVISION 3 - TRENCH & TRENCHLESS CONSTRUCTION							
3.01	TRENCH FOUNDATION	TON	50	\$33.50	\$1,675.00	100%	\$0.00
3.02	REPLACEMENT OF UNSUITABLE BACKFILL MATERIAL	CY	50	\$38.25	\$1,912.50	100%	\$0.00
DIVISION 4 - SEWERS & DRAINS							
4.01	SUBDRAIN, TRENCHED, 8-INCH	LF	763	\$21.77	\$16,610.51	100%	\$0.00
4.02	CLEANOUT	EA	2	\$965.00	\$1,930.00	100%	\$0.00
4.03	STORM SEWER, TRENCHED, 12-INCH	LF	234	\$29.18	\$6,828.12	100%	\$0.00
4.04	STORM SEWER, TRENCHED, 15-INCH	LF	641	\$33.97	\$21,774.77	100%	\$0.00
4.05	CULVERT, 4-INCH, CMP	LF	12	\$29.50	\$354.00	100%	\$0.00
4.06	CULVERT, 6-INCH, CMP	LF	24	\$46.04	\$1,104.96	100%	\$0.00
4.07	CULVERT, 8-INCH, CMP	LF	5	\$140.00	\$700.00	100%	\$0.00
4.08	CULVERT & FOOTING WALL, 12-INCH, CMP	LF	264	\$61.33	\$16,191.12	100%	\$0.00
4.09	CULVERT, 18-INCH, RCP	LF	148	\$52.15	\$7,718.20	100%	\$0.00
4.10	CULVERT, 24-INCH, RCP	LF	52	\$83.98	\$4,366.96	100%	\$0.00
4.11	FLARED END SECTION, 8-INCH, CMP	EA	2	\$680.00	\$1,360.00	100%	\$0.00
4.12	FLARED END SECTION & FOOTING WALL, 12-INCH	EA	1	\$1,218.00	\$1,218.00	100%	\$0.00
4.13	FLARED END SECTION & FOOTING WALL, 15-INCH	EA	2	\$1,334.00	\$2,668.00	100%	\$0.00
4.14	FLARED END SECTION, 18-INCH, RCP	EA	2	\$2,232.00	\$4,464.00	100%	\$0.00
4.15	FLARED END SECTION, 24-INCH, RCP	EA	2	\$2,553.00	\$5,106.00	100%	\$0.00
4.16	FIELD TILE REPAIR	LF	300	\$17.50	\$5,250.00	100%	\$0.00
DIVISION 5 - WATER MAIN & APPURTENANCES							
5.01	WATER MAIN CONNECTION TO EXISTING, TVS	EA	1	\$4,975.00	\$4,975.00	100%	\$0.00
5.02	WATER MAIN, 6-INCH	LF	3,584	\$20.20	\$72,396.80	100%	\$0.00
5.03	WATER VALVE, 6-INCH	EA	5	\$1,119.00	\$5,595.00	100%	\$0.00
5.04	FIRE HYDRANT ASSEMBLY	EA	6	\$4,675.00	\$28,050.00	100%	\$0.00
5.05	WATER SERVICE, 1-INCH	LF	855	\$16.95	\$14,492.25	100%	\$0.00
5.06	CURB STOP & BOX	EA	10	\$273.70	\$2,737.00	100%	\$0.00
DIVISION 6 - STRUCTURES FOR SANITARY & STORM SEWERS							
6.01	BEEHIVE INTAKE, 24-INCH	EA	10	\$2,005.30	\$20,053.00	100%	\$0.00
6.02	BEEHIVE INTAKE, 30-INCH	EA	2	\$2,638.00	\$5,276.00	100%	\$0.00
6.03	PERFORATED RISER	EA	2	\$1,805.00	\$3,610.00	100%	\$0.00
DIVISION 7 - PAVEMENT & APPURTENANCES							
7.01	PAVEMENT, HMA, 6-INCH	SY	8,300	\$27.25	\$226,175.00	100%	\$0.00
7.02	PAVEMENT, PCC, 6-INCH (MAILBOX PAD & SIDEWALK)	SY	63	\$68.00	\$4,284.00	100%	\$0.00
7.03	PCC CURB & GUTTER, 24-INCH	LF	96	\$30.00	\$2,880.00	100%	\$0.00
DIVISION 9 - SITE WORK & LANDSCAPING							
9.01	SEEDING, FERTILIZING, & MULCHING - TYPE 1	AC	0.6	\$2,080.00	\$1,248.00	100%	\$0.00
9.02	SEEDING, FERTILIZING, & CURLEX CL BLANKET - TYPE 2	AC	0.5	\$8,376.00	\$4,188.00	100%	\$0.00
9.03	SEEDING & MULCHING - TYPE 3	AC	4.6	\$1,540.00	\$7,084.00	100%	\$0.00
9.04	SEEDING, FERTILIZING, & MULCHING - SUBDIVISION MIX	AC	12.0	\$1,340.00	\$16,080.00	100%	\$0.00
9.05	SEEDING & MULCHING - NATIVE PRAIRIE MIX	AC	4.9	\$2,266.00	\$11,103.40	0%	\$11,103.40
9.06	SEEDING & MULCHING - WETLAND MIX	AC	2.3	\$3,000.00	\$6,900.00	0%	\$6,900.00
9.07	SILT FENCE, INSTALL, MAINTAIN	LF	6,720.0	\$2.50	\$16,800.00	100%	\$0.00
9.08	FILTER SOCKS	LF	1,000.0	\$3.40	\$3,400.00	100%	\$0.00
9.09	SPLIT RAIL FENCE	LF	1,387.0	\$25.00	\$16,364.00	0%	\$16,364.00
9.10	PROTECTIVE FENCE	LF	5,195.0	\$11.00	\$57,145.00	100%	\$0.00
9.11	STABILIZED CONSTRUCTION ENTRANCE	TON	123.0	\$33.50	\$4,120.50	100%	\$0.00
9.12	RIPRAP, CLASS D/E	TON	192.0	\$57.50	\$11,040.00	100%	\$0.00
9.13	EROSION CONTROL STONE	EA	133.0	\$45.00	\$5,985.00	100%	\$0.00
9.14	INTAKE PROTECTION	EA	10.0	\$250.00	\$2,500.00	100%	\$0.00
DIVISION 11 - MISCELLANEOUS							
11.01	MOBILIZATION	LS	1.00	\$7,500.00	\$7,500.00	100%	\$0.00
11.02	MOBILIZATION (PAVING)	LS	1.00	\$4,500.00	\$4,500.00	100%	\$0.00
11.02	TRAFFIC CONTROL	LS	1.00	\$1,200.00	\$1,200.00	100%	\$0.00
CONSTRUCTION SUBTOTAL (ROUNDED)					\$870,000.00		\$37,900.00

IRREVOCABLE STANDBY LETTER OF CREDIT

ISSUER: VISIONBANK OF IOWA
104 CHESTNUT ST
AMES, IA 50010-8058

Date of Issue: 09-30-2020		Letter of Credit Number: 164	
Amount: U.S. \$ 890,000.00 (EIGHT HUNDRED NINETY THOUSAND AND NO/100 U.S. DOLLARS)			
For Benefit Of: Beneficiary Name and Address		For Account Of: Applicant Name and Address	
STORY COUNTY 900 6TH ST, NEVADA , IA 50201		THE QUARRY ESTATES LLC 100 6TH ST AMES, IA 50010	

LETTER OF CREDIT. Issuer establishes this Irrevocable Standby Letter of Credit (Letter of Credit) in favor of Beneficiary in the amount indicated above. Beneficiary may draw on this Letter of Credit with a Draft (or Drafts, if the maximum number of drawings is greater than one) together with the documents described below. Each Draft shall be signed on behalf of Beneficiary and be marked "Drawn under [Issuer name] Letter of Credit No. [Letter of Credit number] dated [Letter of Credit date]." Drafts must be presented at Issuer's address shown above on or before the Expiration Date. The presentation of any Draft shall reduce the Amount available under this Letter of Credit by the amount of the Draft.

This Letter of Credit sets forth in full the terms of Issuer's obligation to Beneficiary. This obligation cannot be modified by any reference in this Letter of Credit, or any document to which this Letter of Credit may be related.

This Letter of Credit expires on the Expiration Date.

DRAWINGS.

- Partial drawings shall not be permitted under this Letter of Credit.
- Partial drawings are permitted. The maximum number of drawings that may be made is _____.

DOCUMENTS. Each Draft must be accompanied by the following, an original and two copies except as stated:

- The original Letter of Credit, together with any amendments.
- A sight draft drawn by Beneficiary on Issuer.
- A signed statement by Beneficiary including the following statement: DRAWN UNDER IRREVOCABLE STANDBY LETTER OF CREDIT #164 DATED SEPTEMBER 30, 2020, FOR THE ACCOUNT OF THE QUARRY ESTATES, LLC.
- Other documents:

Issuer shall be entitled to accept a draft and the documentation described above, as required by the terms of this Letter of Credit, from any person purporting to be an authorized officer or representative of Beneficiary without any obligation or duty on the part of Issuer to verify the identity or authority of the person presenting the draft and such documentation.

SPECIAL INSTRUCTIONS: THIS LETTER OF CREDIT IS FOR THE USE AND BENEFIT OF THE QUARRY ESTATES LLC TO SECURE PUBLIC IMPROVEMENTS, STORM WATER MANAGEMENT AND CONSERVATION MANAGEMENT IN PRAIRIE VALLEY SUBDIVISION 1ST ADDITION

PRAIRIE VALLEY SUBDIVISION - FIRST ADDITION
CONSTRUCTION COSTS BASED ON BIDS



Story County, Iowa
 Last Update 7/24/2020
 FOX PN: 5470-18A

				ENGINEER'S OPINION OF PROBABLE CONSTRUCTION COSTS	
ITEM NO.	BID ITEM	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
DIVISION 2 - EARTHWORK					
2.01	CLEARING AND GRUBBING	LS	1	\$8,343.00	\$8,343.00
2.02	CROP REMOVAL	AC	9	\$168.50	\$1,516.50
2.03	TOPSOIL STRIP, STOCKPILE, & RESPREAD	CY	17,750	\$2.67	\$47,392.50
2.04	EXCAVATION, CLASS 10	CY	32,600	\$2.14	\$69,764.00
2.05	COMPACTION TESTING	LS	1	\$5,000.00	\$5,000.00
2.06	SUBGRADE PREPARATION & FINE GRADING	SY	10,220	\$2.80	\$28,616.00
2.07	SUBGRADE TREATMENT, GEOGRID, TYPE 1	SY	10,220	\$1.30	\$13,286.00
2.08	SPECIAL BACKFILL, 4-INCH	SY	10,220	\$6.75	\$68,985.00
2.09	SHOULDERING, 5-FT, TOPSOIL	CY	715	\$10.00	\$7,150.00
DIVISION 3 - TRENCH & TRENCHLESS CONSTRUCTION					
3.01	TRENCH FOUNDATION	TON	50	\$33.50	\$1,675.00
3.02	REPLACEMENT OF UNSUITABLE BACKFILL MATERIAL	CY	50	\$38.25	\$1,912.50
DIVISION 4 - SEWERS & DRAINS					
4.01	SUBDRAIN, TRENCHED, 8-INCH	LF	763	\$21.77	\$16,610.51
4.02	CLEANOUT	EA	2	\$965.00	\$1,930.00
4.03	STORM SEWER, TRENCHED, 12-INCH	LF	234	\$29.18	\$6,828.12
4.04	STORM SEWER, TRENCHED, 15-INCH	LF	641	\$33.97	\$21,774.77
4.05	CULVERT, 4-INCH, CMP	LF	12	\$29.50	\$354.00
4.06	CULVERT, 6-INCH, CMP	LF	24	\$46.04	\$1,104.96
4.07	CULVERT, 8-INCH, CMP	LF	5	\$140.00	\$700.00
4.08	CULVERT & FOOTING WALL, 12-INCH, CMP	LF	264	\$61.33	\$16,191.12
4.09	CULVERT, 18-INCH, RCP	LF	148	\$52.15	\$7,718.20
4.10	CULVERT, 24-INCH, RCP	LF	52	\$83.98	\$4,366.96
4.11	FLARED END SECTION, 8-INCH, CMP	EA	2	\$680.00	\$1,360.00
4.12	FLARED END SECTION & FOOTING WALL, 12-INCH	EA	1	\$1,218.00	\$1,218.00
4.13	FLARED END SECTION & FOOTING WALL, 15-INCH	EA	2	\$1,334.00	\$2,668.00
4.14	FLARED END SECTION, 18-INCH, RCP	EA	2	\$2,232.00	\$4,464.00
4.15	FLARED END SECTION, 24-INCH, RCP	EA	2	\$2,553.00	\$5,106.00
4.16	FIELD TILE REPAIR	LF	300	\$17.50	\$5,250.00
DIVISION 5 - WATER MAIN & APPURTENANCES					
5.01	WATER MAIN CONNECTION TO EXISTING, TVS	EA	1	\$4,975.00	\$4,975.00
5.02	WATER MAIN, 6-INCH	LF	3,584	\$20.20	\$72,396.80
5.03	WATER VALVE, 6-INCH	EA	5	\$1,119.00	\$5,595.00
5.04	FIRE HYDRANT ASSEMBLY	EA	6	\$4,675.00	\$28,050.00
5.05	WATER SERVICE, 1-INCH	LF	855	\$16.95	\$14,492.25
5.06	CURB STOP & BOX	EA	10	\$273.70	\$2,737.00
DIVISION 6 - STRUCTURES FOR SANITARY & STORM SEWERS					
6.01	BEEHIVE INTAKE, 24-INCH	EA	10	\$2,005.30	\$20,053.00
6.02	BEEHIVE INTAKE, 30-INCH	EA	2	\$2,638.00	\$5,276.00
6.03	PERFORATED RISER	EA	2	\$1,805.00	\$3,610.00
DIVISION 7 - PAVEMENT & APPURTENANCES					
7.01	PAVEMENT, HMA, 6-INCH	SY	8,300	\$27.25	\$226,175.00
7.02	PAVEMENT, PCC, 6-INCH (MAILBOX PAD & SIDEWALK)	SY	63	\$68.00	\$4,284.00
7.03	PCC CURB & GUTTER, 24-INCH	LF	96	\$30.00	\$2,880.00
DIVISION 9 - SITE WORK & LANDSCAPING					
9.01	SEEDING, FERTILIZING, & MULCHING - TYPE 1	AC	0.6	\$2,080.00	\$1,248.00
9.02	SEEDING, FERTILIZING, & CURLEX CL BLANKET - TYPE 2	AC	0.5	\$8,376.00	\$4,188.00
9.03	SEEDING & MULCHING - TYPE 3	AC	4.6	\$1,540.00	\$7,084.00
9.04	SEEDING, FERTILIZING, & MULCHING - SUBDIVISION MIX	AC	12.0	\$1,340.00	\$16,080.00
9.05	SEEDING & MULCHING - NATIVE PRAIRIE MIX	AC	4.9	\$2,266.00	\$11,103.40
9.06	SEEDING & MULCHING - WETLAND MIX	AC	2.3	\$3,000.00	\$6,900.00
9.07	SILT FENCE, INSTALL, MAINTAIN	LF	6,720.0	\$2.50	\$16,800.00
9.08	FILTER SOCKS	LF	1,000.0	\$3.40	\$3,400.00
9.09	SPLIT RAIL FENCE	LF	1,387.0	\$25.00	\$34,675.00
9.10	PROTECTIVE FENCE	LF	5,195.0	\$1.00	\$5,195.00
9.11	STABILIZED CONSTRUCTION ENTRANCE	TON	123.0	\$33.50	\$4,120.00
9.12	RIPRAP, CLASS D/E	TON	192.0	\$57.50	\$11,040.00
9.13	EROSION CONTROL STONE	EA	133.0	\$45.00	\$5,985.00
9.14	INTAKE PROTECTION	EA	10.0	\$250.00	\$2,500.00
DIVISION 11 - MISCELLANEOUS					
11.01	MOBILIZATION	LS	1.00	\$7,500.00	\$7,500.00
11.02	MOBILIZATION (PAVING)	LS	1.00	\$4,500.00	\$4,500.00
11.02	TRAFFIC CONTROL	LS	1.00	\$1,200.00	\$1,200.00
CONSTRUCTION SUBTOTAL					\$890,000.00

IRREVOCABLE STANDBY LETTER OF CREDIT

ISSUER: VISIONBANK OF IOWA
104 CHESTNUT ST
AMES, IA 50010-8058

Date of Issue: <u>10-04-2021</u>		Letter of Credit Number: <u>174</u>	
Amount: U.S. \$ <u>480,000.00</u>			
(<u>FOUR HUNDRED EIGHTY THOUSAND AND NO/100</u>		U.S. DOLLARS)	
For Benefit Of: Beneficiary Name and Address		For Account Of: Applicant Name and Address	
STORY COUNTY 900 6TH ST, NEVADA , IA 50201		THE QUARRY ESTATES LLC 100 6TH ST AMES, IA 50010	

LETTER OF CREDIT. Issuer establishes this Irrevocable Standby Letter of Credit (Letter of Credit) in favor of Beneficiary in the amount indicated above. Beneficiary may draw on this Letter of Credit with a Draft (or Drafts, if the maximum number of drawings is greater than one) together with the documents described below. Each Draft shall be signed on behalf of Beneficiary and be marked "Drawn under [Issuer name] Letter of Credit No. [Letter of Credit number] dated [Letter of Credit date]." Drafts must be presented at Issuer's address shown above on or before the Expiration Date. The presentation of any Draft shall reduce the Amount available under this Letter of Credit by the amount of the Draft.

This Letter of Credit sets forth in full the terms of Issuer's obligation to Beneficiary. This obligation cannot be modified by any reference in this Letter of Credit, or any document to which this Letter of Credit may be related.

This Letter of Credit expires on the Expiration Date.

DRAWINGS.

- Partial drawings shall not be permitted under this Letter of Credit.
- Partial drawings are permitted. The maximum number of drawings that may be made is _____.

DOCUMENTS. Each Draft must be accompanied by the following, an original and two copies except as stated:

- The original Letter of Credit, together with any amendments.
- A sight draft drawn by Beneficiary on Issuer.
- A signed statement by Beneficiary including the following statement: DRAWN UNDER IRREVOCABLE STANDBY LETTER OF CREDIT #174 DATED OCTOBER 4, 2021, FOR THE ACCOUNT OF THE QUARRY ESTATES, LLC.
- Other documents:

Issuer shall be entitled to accept a draft and the documentation described above, as required by the terms of this Letter of Credit, from any person purporting to be an authorized officer or representative of Beneficiary without any obligation or duty on the part of Issuer to verify the identity or authority of the person presenting the draft and such documentation.

SPECIAL INSTRUCTIONS: THIS LETTER OF CREDIT IS FOR THE USE AND BENEFIT OF THE QUARRY ESTATES LLC TO ASSURE THE EXPEDIENT REPAIR OR REPLACEMENT OF DEFECTIVE IMPROVEMENTS UNDER WARRANTY; AND SHALL INDEMNIFY THE COUNTY FROM ALL COSTS OR LOSSES RESULTING FROM OR CONTRIBUTED TO SUCH DEFECTIVE IMPROVEMENTS IN PRAIRIE VALLEY SUBDIVISION 1ST ADDITION

EXPIRATION DATE. This Letter of Credit expires at the close of business at Issuer's address at 4:30 P.M. (Time) on 10-04-2023 (Date). Issuer agrees to honor all Drafts presented in strict compliance with the provisions of this Letter of Credit on or before the Expiration Date.

If Beneficiary has not drawn the full amount of this Letter of Credit prior to the Expiration Date, the Expiration Date shall be extended for a period of _____ days from the Expiration Date, unless Issuer notifies Beneficiary in writing at least _____ days prior to the Expiration Date that Issuer elects not to extend this Letter of Credit. In any event, this Letter of Credit shall expire on _____ without any notice from Issuer to Beneficiary.

TRANSFERABILITY. This Letter of Credit is transferable non-transferable.

APPLICABLE LAW. This Letter of Credit shall be governed by:

- the Uniform Customs and Practice for Documentary Credits, 2007 Revision, International Chamber of Commerce Publication No. 600 (UCP), or any later version or amendment.
- the International Standby Practices 1998 (ISP98).

This Letter of Credit shall also be governed by the laws of IOWA, the United States of America, so long as such laws are not inconsistent with the UCP or ISP, as applicable.

VISIONBANK OF IOWA
(Issuer Name)

By 
(Signature)

(Date) 10-4-21

TIM S. TRYON, MARKET PRESIDENT
(Signer Name and Title)

PRAIRIE VALLEY SUBDIVISION - FIRST ADDITION
Warranty Bond Construction Items



Story County, Iowa
 Last Update 9/30/2021
 FOX PN: 5470-18A

				WARRANTY BOND ITEMS		
ITEM NO.	BID ITEM	UNIT	ASBUILT QUANTITY	BID UNIT PRICE	WARRANTY QUANTITY	WARRANTY TOTAL PRICE
DIVISION 2 - EARTHWORK						
2.01	CLEARING AND GRUBBING	LS	1	\$8,343.00	0	\$0.00
2.02	CROP REMOVAL	AC	9	\$168.50	0	\$0.00
2.03	TOPSOIL STRIP, STOCKPILE, & RESPREAD	CY	17,750	\$2.67	0	\$0.00
2.04	EXCAVATION, CLASS 10	CY	32,600	\$2.14	0	\$0.00
2.05	COMPACTION TESTING	LS	1	\$5,000.00	0	\$0.00
2.06	SUBGRADE PREPARATION & FINE GRADING	SY	10,220	\$2.85	0	\$0.00
2.07	SUBGRADE TREATMENT, GEOGRID, TYPE 1	SY	10,220	\$1.55	0	\$0.00
2.08	SPECIAL BACKFILL, 6-INCH	SY	10,220	\$8.40	0	\$0.00
2.09	SHOULDERING, 5-FT, TOPSOIL	CY	715	\$45.25	0	\$0.00
DIVISION 3 - TRENCH & TRENCHLESS CONSTRUCTION						
3.01	TRENCH FOUNDATION	TON	50	\$33.50	0	\$0.00
3.02	REPLACEMENT OF UNSUITABLE BACKFILL MATERIAL	CY	50	\$38.25	0	\$0.00
DIVISION 4 - SEWERS & DRAINS						
4.01	SUBDRAIN, TRENCHED, 8-INCH	LF	763	\$21.77	763	\$16,610.51
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4.03	STORM SEWER, TRENCHED, 12-INCH	LF	234	\$29.18	234	\$6,828.12
4.04	STORM SEWER, TRENCHED, 15-INCH	LF	641	\$33.97	641	\$21,774.77
4.05	CULVERT, 4-INCH, CMP	LF	12	\$29.50	12	\$354.00
4.06	CULVERT, 6-INCH, CMP	LF	24	\$46.04	24	\$1,104.96
4.07	CULVERT, 8-INCH, CMP	LF	5	\$140.00	5	\$700.00
4.08	CULVERT & FOOTING WALL, 12-INCH, CMP	LF	264	\$61.33	264	\$16,191.12
4.09	CULVERT, 18-INCH, RCP	LF	144	\$52.15	144	\$7,509.60
4.10	CULVERT, 24-INCH, RCP	LF	48	\$83.98	48	\$4,031.04
4.11	FLARED END SECTION, 8-INCH, CMP	EA	2	\$680.00	2	\$1,360.00
4.12	FLARED END SECTION & FOOTING WALL, 12-INCH	EA	1	\$1,218.00	1	\$1,218.00
4.13	FLARED END SECTION & FOOTING WALL, 15-INCH	EA	2	\$1,334.00	2	\$2,668.00
4.14	FLARED END SECTION, 18-INCH, RCP	EA	2	\$2,232.00	2	\$4,464.00
4.15	FLARED END SECTION, 24-INCH, RCP	EA	2	\$2,553.00	2	\$5,106.00
4.16	FIELD TILE REPAIR	LF	300	\$17.50	300	\$5,250.00
DIVISION 5 - WATER MAIN & APPURTENANCES						
5.01	WATER MAIN CONNECTION TO EXISTING, TVS	EA	1	\$4,975.00	0	\$0.00
5.02	WATER MAIN, 6-INCH	LF	3,584	\$20.20	0	\$0.00
5.03	WATER VALVE, 6-INCH	EA	5	\$1,119.00	0	\$0.00
5.04	FIRE HYDRANT ASSEMBLY	EA	6	\$4,675.00	0	\$0.00
5.05	WATER SERVICE, 1-INCH	LF	855	\$16.95	0	\$0.00
5.06	CURB STOP & BOX	EA	10	\$273.70	0	\$0.00
DIVISION 6 - STRUCTURES FOR SANITARY & STORM SEWERS						
6.01	BEEHIVE INTAKE, 24-INCH	EA	10	\$2,005.30	10	\$20,053.00
6.02	BEEHIVE INTAKE, 30-INCH	EA	2	\$2,638.00	2	\$5,276.00
6.03	PERFORATED RISER	EA	2	\$1,805.00	2	\$3,610.00
DIVISION 7 - PAVEMENT & APPURTENANCES						
7.01	PAVEMENT, HMA, 6-INCH	SY	8,300	\$27.60	8,300	\$229,080.00
7.02	PAVEMENT, PCC, 6-INCH (MAILBOX PAD & SIDEWALK)	SY	63	\$69.55	63	\$4,381.65
7.03	PCC CURB & GUTTER, 24-INCH	LF	96	\$30.80	96	\$2,956.80
DIVISION 9 - SITE WORK & LANDSCAPING						
9.01	SEEDING, FERTILIZING, & MULCHING - TYPE 1	AC	0.6	\$2,080.00	0.6	\$1,248.00
9.02	SEEDING, FERTILIZING, & CURLEX CL BLANKET - TYPE 2	AC	0.5	\$8,376.00	0.5	\$4,188.00
9.03	SEEDING & MULCHING - TYPE 3	AC	4.6	\$1,540.00	4.6	\$7,084.00
9.04	SEEDING, FERTILIZING, & MULCHING - SUBDIVISION MIX	AC	12.0	\$1,340.00	12.0	\$16,080.00
9.05	SEEDING & MULCHING - NATIVE PRAIRIE MIX	AC	4.9	\$2,266.00	4.9	\$11,103.40
9.06	SEEDING & MULCHING - WETLAND MIX	AC	2.3	\$3,000.00	2.3	\$6,900.00
9.07	SILT FENCE, INSTALL, MAINTAIN	LF	6,720	\$2.50	6,720	\$16,800.00
9.08	FILTER SOCKS	LF	1,000	\$3.40	1,000	\$3,400.00
9.09	SPLIT RAIL FENCE	LF	1,387	\$11.80	1,387	\$16,366.60
9.10	PROTECTIVE FENCE	LF	5,195	\$0.50	5,195	\$2,597.50
9.11	STABILIZED CONSTRUCTION ENTRANCE	TON	123.0	\$33.50	0.0	\$0.00
9.12	RIPRAP, CLASS D/E	TON	192.0	\$57.50	192.0	\$11,040.00
9.13	EROSION CONTROL STONE	EA	133.0	\$45.00	133.0	\$5,985.00
9.14	INTAKE PROTECTION	EA	10.0	\$250.00	10.0	\$2,500.00
DIVISION 11 - MISCELLANEOUS						
11.01	MOBILIZATION (UTILITY)	LS	1	\$7,500.00	0	\$0.00
11.02	MOBILIZATION (EROSION)	LS	1	\$1,000.00	0	\$0.00
11.03	MOBILIZATION (PAVING)	LS	1	\$4,500.00	0	\$0.00
11.04	TRAFFIC CONTROL	LS	1	\$1,200.00	0	\$0.00
CHANGE ORDERS						
CO.1	WATER MAIN, 6-INCH	LF	24	\$20.20	0	\$0.00
CO.2	36-INCH RCP TILE REPAIR	LS	1	\$12,991.26	1	\$12,991.26
CO.3	TOPSOIL STRIP, STOCKPILE, & RESPREAD	CY	4,530	\$2.67	0	\$0.00
CO.4	EXCAVATION, CLASS 10	CY	12,350	\$2.14	0	\$0.00
CO.5	MOBILIZATION	LS	1	\$4,000.00	0	\$0.00
CO.5	TREE REMOVAL LOT 8	LS	1	\$500.00	0	\$0.00
CO.6	SHOULDERING, 5-FT, TOPSOIL	CY	715	\$45.25	0	\$0.00
CO.7	FOOTING WALLS	EA	2	\$1,340.00	2	\$2,680.00
CONSTRUCTION SUBTOTAL						\$480,000.00

PREPARED BY:
 FOX ENGINEERING ASSOCIATES, INC.
 AMES, IOWA

STORY COUNTY UTILITY PERMIT

Date 10/12/2021

To the Board of Supervisors, Story County, Iowa:

The Colo Telephone Company, incorporated under the laws of Iowa, with its principal place of business at 303 Main St Colo IA, does hereby make application requesting permission to occupy certain portions of public right-of-way and that the County Engineer be directed to establish the location of lines of transmission of fiber optic cable on secondary route 510th Ave, from 6549 510th Ave to 6530 510th Ave, a distance of .142 miles.

Agreements: The utility company, corporation, applicant, permittee, or licensee, (hereinafter referred to as the permittee) agrees that the following stipulations shall govern under this permit.

1. The Permittee will file a plat setting out the location of proposed line on the secondary route and that the description of the proposed installation including type, height, and spacing of poles, maximum voltage, lengths of cross arms, minimum clearance and number of wires, type, size and capacity of underground cables, conduits, tile lines, and pipe lines, maximum working pressures for pipe lines carrying gas or flammable petroleum products are described as follows:
2. The installation shall meet the requirements of county, state, and federal laws, franchise rules, and of the Iowa State Commerce Commission Regulations and Directives, Utilities Division, the Iowa State Department of Health, and any other laws or regulations applicable.
3. The Permittee shall be fully responsible for any future adjustments of its facilities within the established highway right-of-way caused by highway construction or maintenance operations.
4. Story County assumes no responsibility for damages to the Permittee's property occasioned by any construction or maintenance operations on said highways.
5. The Permittee shall take all reasonable precautions during the construction and maintenance of said installation to protect and safeguard the lives and property of the traveling public and adjacent property owners.
6. The Permittee, and its contractors, shall carry on the construction or repair of the accommodated utility with serious regard to the safety of the public. Traffic protection shall be in accordance with Part VI of the current Iowa Department of Transportation Manual on Uniform Control Devices for Streets and Highways.
7. The Permittee shall be responsible for any damage resulting to said highways because of the construction operation, or maintenance of said utility, and shall reimburse Story County for any expenditure the County may have to make on said highways because of said permittee's utility having been constructed, operated, and maintained thereon.
8. The Permittee shall indemnify and save harmless Story County from any and all causes of action, suits at law or in equity, or losses, damages, claims, or demands, and from any and all

liability and expense of whatsoever nature for, on account of or due to the acts or omissions of said Permittee's officers, members, agents, representatives, contractors, employees or assigns arising out of or in connection with its (or their) use or occupancy of the public highway under this permit.

9. Noncompliance with any of the terms of permit, or agreement, may be considered cause for shut down of utility construction operations, or revocation of the permit.

10. The following special requirements, if applicable, shall apply to this permit:

Whenever the route of the proposed cable line runs along a paved secondary highway, the location of said cable shall be constructed on top of the road shoulder so as to be within approximately two-feet of the pavement edge.

Whenever the route of the proposed cable line runs along a dirt or gravel surfaced highway, the location of said cable shall be constructed on top of the road surface and as near possible to the shoulder line

Whenever a cross road culvert or bridge is encountered along the route of the proposed cable lines, said cable shall be constructed around the ends of said cross road culvert or bridge even though this looping is not designated on the situation plans attached hereto.

The crossing of the cable line from one side of the highway to the other shall be accomplished at a near right angle rather than diagonally so as to disturb the roadbed of the traveled way as little as possible.

Whenever the route of the proposed cable line is to cross a paved highway, such crossing shall be in a bored hole rather than open cut trench.

Date 10/12/2021

Colo Telephone Company
Name of Company (Applicant - Permittee)

Shane Bellon 641-377-2202
by Phone no.

Recommended for Approval:

Date 10-13-21

 515-382-7355
County Engineer Phone no.

Approved:

Date 10-19-21


Chair, Board of Supervisors
Story County, Iowa

Three (3) copies of this form will be required for each installation. A plat shall be attached to each copy submitted.

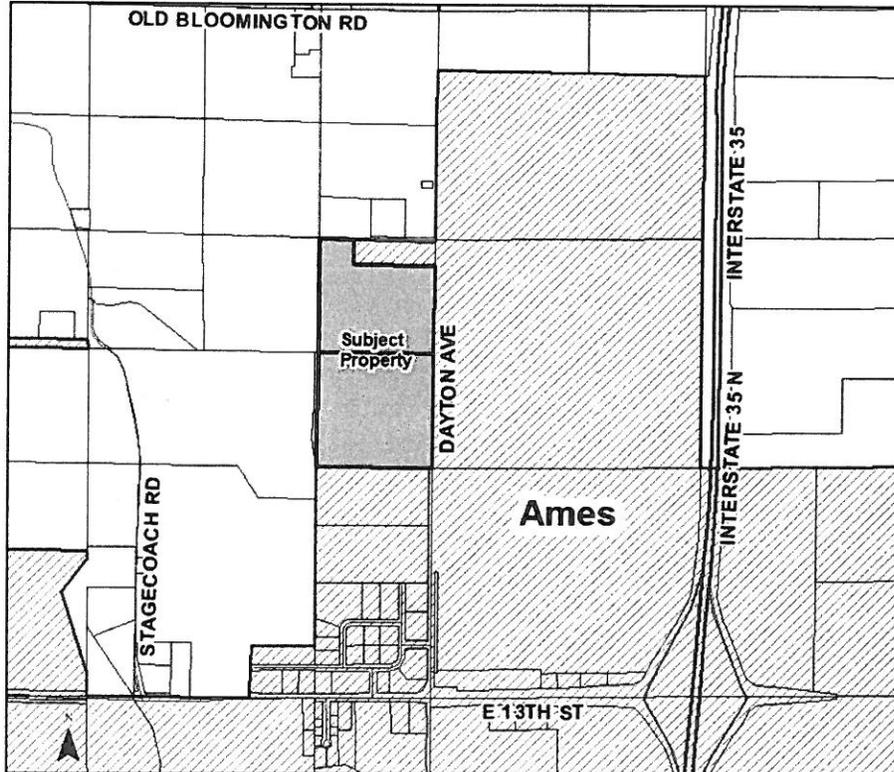


ATTACHMENT A

GENERAL PROPERTY LOCATION

The area of the requested *Ames Urban Fringe Plan – Land Use Framework Map amendment* is generally located in the Southeast of the Northeast and the Northeast of the Northeast except the northern one rod and except beginning 16.5 feet south of the northeast corner, west 925 feet, south 275 feet, east 925 feet to the east line, north 275 feet to the point of beginning, Section 36, Franklin Township. The amendment does not include the areas on the property designated as Natural Areas.

ATTACHMENT B





Story County Planning and Development
Administration Building
900 6th Street, Nevada, Iowa 50201

Ph. 515-382-7245 Fax 515-382-7294
www.storycountyiaowa.gov

MEMORANDUM

TO: Story County Board of Supervisors
FROM: Amelia Schoeneman, Planning and Development Director
RE: Request for Ames Urban Fringe Plan Land Use Framework Map Amendment for the Properties at 2105 and 2421 Dayton Avenue in the East Half of the Northeast of Section 36, Franklin Township

DATE Of MEETING: October 19, 2021

Background

The City of Ames has forwarded an Ames Urban Fringe Plan (AUFPP) Land Use Framework Map Amendment request for the properties at 2105 and 2421 Dayton Avenue in the East Half of the Northeast of Section 36, (parcels #05-36-200-210 and 05-36-200-405). The area is approximately 73.18 acres. See Figure 1 for a map of the parcels that are part of the amendment request.

The subject properties are on the west side of Dayton Avenue, and adjacent to the City of Ames' corporate boundaries. To the west of the subject property is the Izaak Walton League and an undivided, undeveloped 40 acre parcel. To the east is the USDA facility. The subject property is also north of BASF and south of Eagles Loft Daycare. The Eagles Loft Daycare, BASF, and the USDA facility are located within the city limits.

The requested amendment is from Agriculture and Farm Service to Planned Industrial. The Planned Industrial designation is in the Urban Service Area Land Use Class. A property must be in this land use class to be annexed. The amendment is requested as the owner, TGAF LLC, intends to annex into the City of Ames and develop the properties for small scale industrial. The amendment is necessary to allow the annexation. If the amendment is successful, the annexation request will come before the Board of Supervisors at a later time.

The area is designated for future industrial development in the draft Ames 2040 Comprehensive Plan as part of the "employment" future land use designation. Utilities for the proposed lots are already adjacent to the subject properties. A traffic study was completed and turn lanes may be needed on Dayton Avenue. The city will control the right-of-way along Dayton Avenue after annexation where the improvements would take place.

The first step in the amendment process is for the cooperators to take action on whether to consider an amendment request and allow its submittal, beginning with the City of Ames. The Ames City Council took action on the request to allow the applicant to apply for an amendment on May 25th, 2021. The Board of Supervisors took action to allow the application on July 20, 2021. After the Council and Board's action, city staff undertook an industrial land needs analysis "to determine the current and projected supply of the types



of sites the developer envisions for the Dayton location.” The completed analysis is included on the agenda center. City staff concluded that additional, small industrial lots were needed. County staff has reviewed the analysis and agrees.

The request went to the Ames Planning and Zoning Commission and City Council for action in September of 2021. It was approved by the City Council at their September 28, 2021, meeting.



2105 & 2421 Dayton Avenue
Location Map



Figure 1: Parcels Requested to be Amended to the Planned Industrial Area. Prepared by the City of Ames.

PLEASE RECYCLE



Notification

Notices were mailed to property owners located within ¼ mile of the property on September 29, 2021. To date, no responses have been received from property owners regarding this notice.

Interagency Review

The request was routed to county departments. The Emergency Management Agency asked “is there any guidance on evaluating the risk of the industrial processes when approving changes to zoning? On this particular one they talk about the subdividing of the property into industrial subdivisions. Once it’s industrial, what control does Ames or your office (for the unincorporated areas) have any control over what activities occur as a part of the industrial processes?”

Staff reached out to Ames Planning and Housing staff with this question. After annexation, the property owner indicates that they will pursue the General Industrial Zoning District. In this district, manufacturing/processing in Industrial Categories 28 and 29 of the North American Industry Classification System (NAICS) are not permitted. Category 28 is manufacturing producing basic chemicals, and establishments manufacturing products by predominantly chemical processes. Chapter 29 includes establishments primarily engaged in petroleum refining, manufacturing paving and roofing materials, and compounding lubricating oils and greases from purchased materials. This limitation is also important given the childcare use to the north. Childcare uses are listed as a permitted use in the city’s General Industrial District.

Analysis for Amending the Cornerstone to Capstone Comprehensive Plan

The 28E agreement between the City of Ames, City of Gilbert, and Story County identifies the process for AUPF amendments. Each cooperator is to follow its process for amending its comprehensive plan. The [standards for a C2C Plan Amendment](#) and analysis of how they are met by the request are included below.

(1) The extent to which the change would be consistent with the comprehensive plan goals and policies.

The area is designated for future industrial development in the draft Ames 2040 plan as part of the “employment” future land use designation. The subject properties are shown as an infill/future growth area due to their adjacency to the city on three sides and availability of utilities.

Regarding consistency with the current comprehensive plan, the Ames Urban Fringe Plan, which is an adopted component of the county’s C2C Comprehensive Plan, general goal 1.3.2 is to “ensure an adequate supply of industrial land resources. Locate agricultural-based industrial services in unincorporated areas that provide the most economical and efficient access to the agricultural industry. Locate large industrial services/land uses strategically within the communities or in commercial areas designated in the Framework Map.”

Based on the city’s analysis of small industrial lots, the amendment is needed to ensure an adequate supply. Ames’ analysis shows that in total in the city, there currently are 28 developable small industrial lots. Story County Staff looked at each of the 28 lots and further determined that, based on ownership, current improvements/uses, parcel size, and sales information, closer to three lots are available that are



between one and ten acres and zoned General Industrial. As the analysis indicates, two of these lots are typically developed per year.

General goal 1.4 is “to coordinate development decisions with the efficient provision of public facilities and services.” This area is adjacent to the USDA and other industrial land uses. Industrial growth would be compatible with the surrounding area. Again, sewer and water infrastructure is available adjacent to the subject properties. As annexation will be required prior to development, Dayton Avenue and necessary improvements to support the area’s growth will be under the jurisdiction of the city. The amendment, requested to support annexation and development, would meet the goal of efficiently providing public facilities and services.

(2) Evidence demonstrating the reasons why the plan should be changed, including (but not limited to) whether new information has become available since the comprehensive plan was adopted that supports reexamination of the plan, or that existing or proposed development offers new opportunities or constraints that were not previously considered.

Since the plan’s adoption, two new factors have influenced the need for the amendment:

- The draft Ames 2040 Plan, which shows the area as an area for future industrial growth.
- The small lot industrial needs analysis, which shows the availability of very few small-scale industrial lots.

(3) Whether or not the change is needed to allow reasonable development of the site.

The property is zoned A-1 Agricultural and currently in row crop production. The current Ames Urban Fringe Plan designation is Agriculture and Farm Service. While the zoning and future land use align to support continued agricultural operations on the subject properties, staff also understand that the subject properties are an infill opportunity for the City of Ames, given their adjacency on three sides to the city, adjacent industrial and institutional land uses, and availability of utilities. Given the adjacency and city infrastructure availability, the amendment is necessary to allow reasonable development of the site.

Further, while there are several commercial nodes in the AUFPP, these are geared towards service and sales uses and providing commercial services to residential areas. The Planned Industrial Area east of Ames is the planned Prairie View Industrial Area and will serve much larger industrial users. There are no other Planned Industrial areas for the City of Ames. A map amendment is needed to allow small-scale industrial growth.



(4) *The relationship of the proposed amendment to the supply and demand for the particular land uses within the County and immediate vicinity of the site.*

This criteria is addressed by the small lot industrial needs analysis. Ames' analysis shows that there are 28 potentially developable small industrial lots. Story County staff looked at each of the 28 lots and further determined that, based on ownership, current improvements/uses, parcel size, and sales information, closer to three lots are available that are between one and ten acres and zoned General Industrial. As the analysis indicates, two of these lots are typically developed per year.

Further, while there are several commercial nodes in the AUFPP, these are geared towards service and sales uses and providing commercial services to residential areas. The Planned Industrial Area east of Ames is the planned Prairie View Industrial Area and will serve much larger industrial users. There are no other Planned Industrial areas for the City of Ames. A map amendment is needed to allow small-scale industrial growth.

(5) *A demonstration that the proposed amendment has merit beyond the interests of the applicant.*

As shown by the small lot industrial needs analysis, there is a need for this land use in the Ames community. Industrial uses provide employment opportunities.

(6) *The possible impacts of the amendment on all specific elements of the comprehensive plan as may be applicable:*

Common Goals and Principles from the Ames Urban Fringe Plan are included below. To summarize the possible impacts on these goals, while agricultural land will be taken out of production, the proposed "greenfield" development will be occurring in a logical location for infill development. The designated natural resources on the property are not part of the amendment request to Planned Industrial but would be included in the Urban Service Area Land Use Class if approved. The Natural Area designation would remain on the areas post-annexation. The concept plans for the development (Figure 2) show these areas are being maintained as open space and for stormwater management. This area also includes the pioneer cemetery on the property. Regarding the impacts on other goals and policies, the amendment ensures an adequate supply of industrial lots and has access to city infrastructure meeting Common Goals 1.4, 1.1 and 1.5.

Principle 1: Recognizing that population and economic growth is likely, Boone County, Story County, the City of Ames and the City of Gilbert will strive towards intergovernmental coordination for successful planning within the Ames Urban Fringe.

Principle 2: Boone County, Story County, City of Ames and City of Gilbert seek to work together to preserve agricultural lands and protect rural lands from unplanned, rural single-family development and other forms of inefficient urbanization.



Principle 3: Boone County, Story County, City of Ames and City of Gilbert will work together to ensure that future development will be directed and targeted towards identified growth areas, as identified in a shared fringe area land use plan.

Principle 4: Boone County, Story County, City of Ames and City of Gilbert seek effective and efficient management of growth. Growth shall be managed by each government entity in order to minimize negative impacts to another affected governmental entity.

Principle 5: In efforts to establish an orderly transition of land uses from urban to rural (as well as rural to urban), Boone County, Story County, City of Ames and City of Gilbert seek to work together to delineate areas of responsibility and come to a common agreement on the definition of rural and urban land uses.

Principle 6: Boone County, Story County, City of Ames and City of Gilbert seek to establish growth policy within the Ames Urban Fringe compatible with ecological systems. It is commonly understood by each governmental agency that future growth will be compatible with natural resources. Environmental resources shall be protected.

Common Goal 1.1 To provide a balanced mix of land uses that is arranged to avoid conflicts and to maximize efficient delivery of municipal and county services and facilities.

Common Goal 1.2 To prevent premature development and preserve the most high value farmland in appropriate locations.

Common Goal 1.3 To provide a variety of housing opportunities in the Ames Urban Fringe in appropriate locations.

Common Goal 1.4 To provide adequate opportunities for commercial and industrial development in appropriate locations.

Common Goal 1.5 To coordinate development decisions with the efficient provision of public facilities and services.

Common Goal 1.6 To protect and preserve sensitive natural resources, including floodplains, woodland areas, wetlands, and other sensitive natural areas.

Common Goal 1.7 To secure a system of public and private open spaces throughout the Ames Urban Fringe that serves as a visual and recreational amenity.



RECEIVED

AUG 10 2021

2105 Dayton
Huntiker

CITY OF AMES IA
DEPT OF PLANNING AND HOUSING

Concept Layout
March 2021

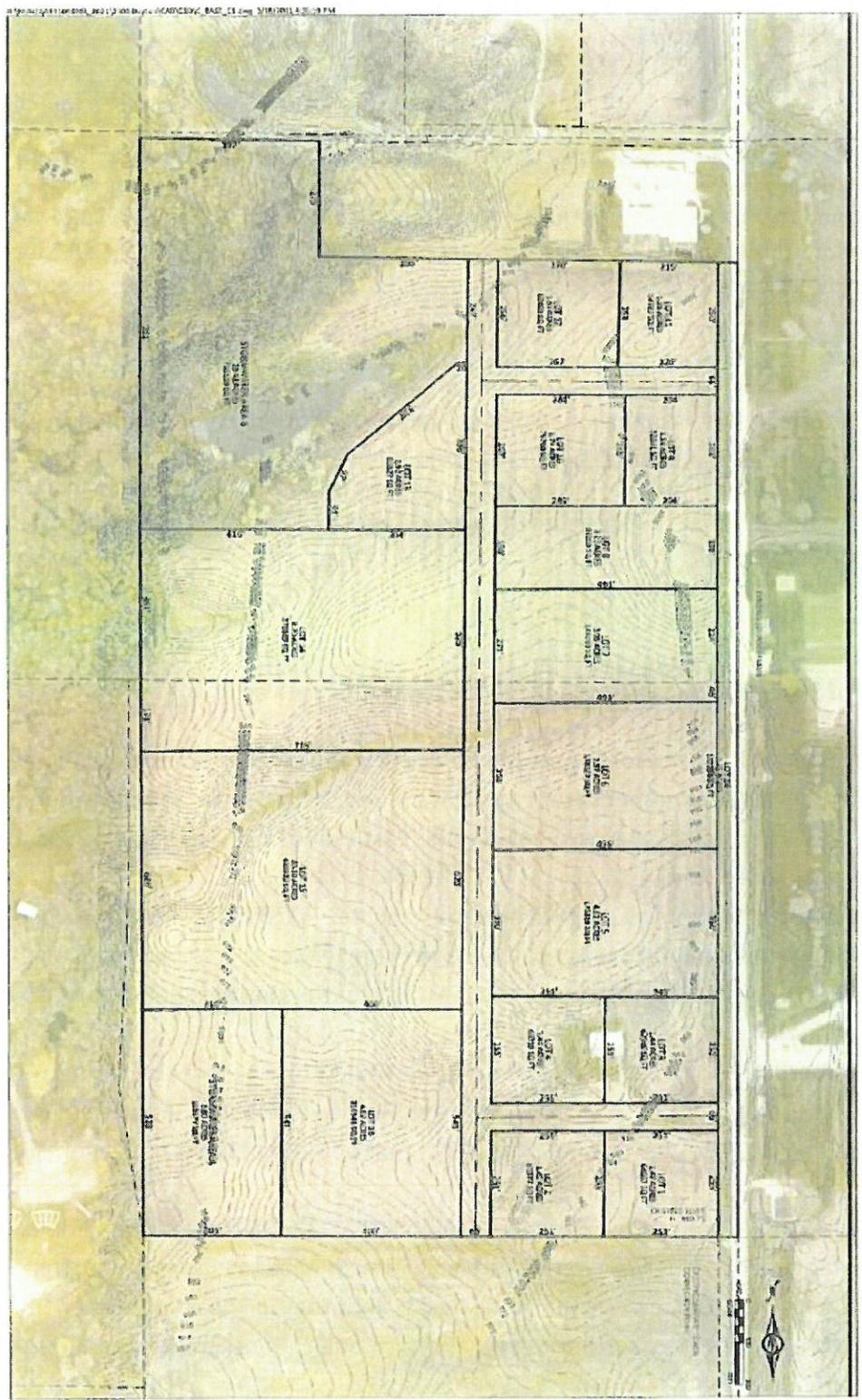


Figure 2: Concept Plan for the Subdivision of the Subject Properties into Small Industrial Lots.

PLEASE RECYCLE



(7) Consideration of the fiscal impact of the proposed amendment to Story County.

As annexation is planned for the area (and required for development in the Urban Service Area, the land use class if the amendment is approved) the fiscal impact of road maintenance, utility provision, emergency service provision, and the tax base of the annexed properties will be to the city of Ames.

Recommended Action

The request went to the Story County Planning and Zoning Commission for action on October 6, 2021. The commission recommended the Board of Supervisors approve the request (6-0). The commission's questions were limited to ensuring that the natural area, including the pioneer cemetery, were not being amended to Planned Industrial. Staff confirmed that the amendment request was limited to the area designated as Agriculture and Farm Service only.

Alternatives

The Story County Board of Supervisors may consider the following alternatives:

- 1) **The Story County Board of Supervisors approves Resolution #22-32, the Ames Urban Fringe Plan Land Use Framework Map Amendment from Agriculture and Farm Service to Planned Industrial for the properties at 2105 and 2421 Dayton Avenue in the East Half of the Northeast of Section 36, Franklin Township, as submitted.**
- 2) The Story County Board of Supervisors approves Resolution #22-32, the Ames Urban Fringe Plan Land Use Framework Map Amendment from Agriculture and Farm Service to Planned Industrial for the properties at 2105 and 2421 Dayton Avenue in the East Half of the Northeast of Section 36, Franklin Township, with conditions.
- 3) The Story County Board of Supervisors denies Resolution #22-32, the Ames Urban Fringe Plan Land Use Framework Map Amendment from Agriculture and Farm Service to Planned Industrial for the properties at 2105 and 2421 Dayton Avenue in the East Half of the Northeast of Section 36, Franklin Township.
- 4) The Story County Board of Supervisors remands Resolution #22-32, the Ames Urban Fringe Plan Land Use Framework Map Amendment from Agriculture and Farm Service to Planned Industrial for the properties at 2105 and 2421 Dayton Avenue in the East Half of the Northeast of Section 36, Franklin Township, back to the applicant for further review and/or modifications, and directs staff to place this item on a future agenda.



To: Honorable Mayor and City Council

From: Chuck Winkleblack

Date: April 9, 2021

RE: 2105 Dayton Ave

Mayor and council,

The Hunziker Companies represent the owners of the property located at 2105 Dayton Ave. There are approximately 73 acres of land on 2 parcels owned by TGFA LLC. We request that the AUPF be amended and designated for industrial development. Following the AUPF amendment the owners of the land will apply for voluntary annexation into the City of Ames. Upon annexation the owners would make application for the land to be rezoned to (GI) general industrial. The owners understand and are agreeable to sign the waiver to withdraw their application for annexation. City council has already directed staff to add this area as part of the Plan 2040.

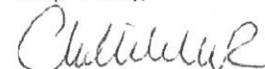
The Developers of the TIF district on S. Bell recently signed a contract for the last available lot. That development was just under 40 acres. It took longer than we had hoped it would to fully develop, but it got off to a tough start being completed right at the beginning of the 2008 recession. We would ask the city council to consider setting up a new TIF district for this area for industrial development.

Based on our preliminary design the development would yield 16 lots varying in size from 1 acre to 10 acres. This development will not compete with the new Prairie View park. That development is for larger industrial users. We had a preliminary meeting with city staff to review our concept. The good news is that utilities are stubbed to the lot.

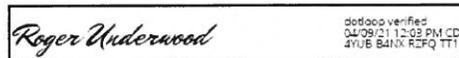
We ask that you refer this request to staff to start the AUPF amendment process.

Thanks in advance for your consideration

Respectfully,



Chuck Winkleblack
General Manager
Hunziker Companies



dotloco verified
04/09/21 12:03 PM CDT
4YUB B4NK REFQ TTTL

Roger Underwood
Owner
TGFA LLC



**STORY COUNTY
BOARD OF SUPERVISORS**

**LISA HEDDENS
LINDA MURKEN
LATIFAH FAISAL**

Story County Administration
900 Sixth Street
Nevada Iowa 50201
515-382-7200
515-382-7206 (fax)

October 14, 2021

Nuria Fernandez, FTA Administrator
Federal Transit Administration
1200 New Jersey Avenue, SE
Washington, DC 20590

Re: Ames Transit Agency (CyRide) Letter of Support for a Bus & Bus Facilities Grant

Dear Representative Fernandez:

The Story County Board of Supervisors offers this letter of support for CyRide's application to the Federal Transit Administration's FY2021 Bus & Bus Facilities Grant Program for the purchase of two articulated and three electric buses.

The Board anticipates this project will have a significant, positive impact within the City of Ames and greater Story County community through improved air quality with the zero-emission vehicles operating in daily service and more efficient operation of its service with the articulated buses.

Therefore, the Story County Board of Supervisors strongly supports the approval of a Bus & Bus Facilities grant award and urges the Federal Transit Administration to fund this exciting project within the central Iowa area fully.

Sincerely,

Lisa Heddens, Chair
Story County Board of Supervisors