

The Board of Supervisors met on 1/12/21 at 10:00 a.m. in the Story County Administration Building. Members present: Lisa Heddens, Linda Murken, and Latifah Faisal, with Heddens presiding. (all audio of meetings available at [storycountyia.gov](http://storycountyia.gov)). Heddens noted due to recommendations for social distancing in order to help slow the spread of the COVID-19 virus, the meeting is provided via Zoom originating from the Story County Administration Building. The Board members commented on last week's attack on the Capitol.

**ADOPTION OF AGENDA:** Murken moved, Faisal seconded adopting the agenda as presented. Motion carried unanimously (MCU) on a roll call vote.

**UPDATES ON COVID-19:** Heddens reported on the most recent caseload statistics.

**PRESENTATION AND CONSIDERATION OF FUNDING FOR THE NEVADA FIELDHOUSE PROJECT – \$600,000.00 LUMP SUM OR OVER A SPAN OF YEARS:** Nevada Foundation Board of Directors members, Michelle Cassabaum, Sara Clausen, John Hall, Jordan Cook, and Tim Hanson, reported on the following: foundation objectives, current Board members, purpose, and project cost. Estimated total cost is currently \$7.5M. The City of Nevada has earmarked \$4.5M. Hall reported on letters of support. The Nevada Foundation is requesting the County provide \$600,000.00 towards the project from its projected tax increment financing (TIF) funds, beginning in FY23. Foundation members provided a project timeline. Ongoing operating costs are anticipated to be covered by the City of Nevada via a municipal levy. Murken noted the County will begin its budget process shortly. Hall requested a resolution of support. Heddens stated additional research is required; the Board will consider at a future meeting.

**PRESENTATION FROM OPN ARCHITECTS - PROPOSAL FOR THE SPACE NEEDS ASSESSMENT STUDY:**

Danielle Hermann, Principal, reported on staff assigned, relevant experience, services, and references. The project is estimated to take five months at a cost of \$32,500.00 plus reimbursable expenses. Murken asked about reimbursable expenses. Hermann estimates total to be between \$500.00 and \$1,000.00 total. Discussion took place.

**PRESENTATION FROM RMH ARCHITECTS - PROPOSAL FOR THE SPACE NEEDS ASSESSMENT STUDY:**

Jeff Harris, Principal, reported on services offered, staff, relevant experience, and timeframe. Project is anticipated to be completed in three phases for a total cost of \$35,000.00. Discussion took place. Heddens stated the Board will consider awarding the space study at its meeting next week.

**MINUTES:** will be considered at a future meeting.

**PERSONNEL ACTIONS:** 1) new hire, effective 1/18/21, in a) Board of Supervisors' Office for Kate Ramirez @ \$11.00/hr; 2) pay adjustment, effective 1/17/21 in a) Attorney's Office for David Fountain @ \$2,872.61/bw; b) Community Services for Jennifer Kerns @ \$19.52/hr; c) Facilities Management for Matthew Miller @ \$23.47/hr; d) Secondary Roads for Jeremy Barker @ \$2,666.91/bw; e) Sheriff's Office for Riley Auld @ \$1,887.20/bw; Dillon Combs @ \$3,048.09/bw; Tanner Habhab @ \$1,862.40/bw; Marcene Hunter-Montgomery @ \$2,250.40/bw; Michael Peck @ \$2,449.60/bw. Faisal moved, Murken seconded the approval of Personnel Actions as presented. Roll call vote. (MCU) Murken moved, Faisal seconded the approval of Consent Agenda as presented.

1. Contract for Highway Right-of-Way with Lawrence J. Frevert and Suzanne R. Frevert for the purchase of permanent easement for \$419.04(L-NA18--73-85)
2. Change Order No. 2 between Howrey Construction, Inc. and Story County Conservation for the Tedesco Environmental Learning Corridor (TELC) Bid Package #3 - Trail Extension for decrease of \$21,428.75
3. Change Order No. 2 between Howrey Construction, Inc. and Story County Conservation for the Heart of Iowa Nature Trail (HOINT) Phase 2 Paving Project from Huxley to the South Skunk River Bridge for decrease of \$3,900.00
4. Change Order No. 3 between Howrey Construction, Inc. and Story County Conservation for the Heart of Iowa Nature Trail (HOINT) Phase 2 Paving Project from Huxley to the South Skunk River Bridge for increase of \$630.35
5. Renewal Class C Liquor License (LC)(Commercial) for Indian Creek Country Club, 63012 260<sup>th</sup> Street, Nevada, Iowa, effective 3/18/21-3/17/22, including outdoor service and Sunday sales
6. Quarterly Reports from the following: Auditor; Sheriff; Veterans Affairs
7. Change Order No. 3 between Howrey Construction, Inc. and Story County Conservation for the Heart of Iowa Nature Trail (HOINT) Phase 1 Paving Project from R-38 to 265<sup>th</sup> Avenue, net cost \$0
8. Final Design Plans for Bridge Replacement, on 620<sup>th</sup> Avenue over small stream, on West line of Section 6 Warren Township (L-WAR6--73-55)
9. Final Design Plans for Pipe Culverts, on 248<sup>th</sup> Street over a small stream in the SE Quarter of Section 18, New Albany Township (L-NA18--73-85)
10. Final Design Plans for RCB Culvert Replacement-Twin Box, on 330<sup>th</sup> Street over Wolf Creek, on the North line of Section 32, Collins Township(L-COL32--73-85)
11. Final Design Plans for HMA Resurfacing, on 550<sup>th</sup> Avenue from E18, north 0.76 miles to city limits of Story City; on West Line of Section 13, Lafayette Township(L-LAF13--73-85)
12. Final Design Plans for HMA Resurfacing, on E18, from US Highway 69, east 5.58 miles to City of Roland corporate limits, on North line of Section 23, Lafayette Township
13. Final Design Plans for RCB Culvert - Single Box, on 100<sup>th</sup> Street over small stream on the North line, Section 3, Howard Township (L-H3--73-85)
14. Contract with Tree Hugger Tree Care for removal of hanging limbs for \$13,420.00
15. 2020 Weed Commissioner Report and 2021 County Weed Commissioner Certification Form
16. Request to Sign Order Form to begin Integration of Heartland Payment Processing with Citizenserve
17. Amended Easement Agreements with the Iowa State University Foundation for the Tedesco Connector Trail
18. Lease Agreement between Mary Greeley Medical Center and Story County for property located at 124 S. Hazel Avenue, Ames, effective 1/1/21-6/30/21, for \$1.00

Roll call vote. (MCU)

**RECOMMENDATION FOR GRANTING OF SURPLUS STORY COUNTY RADIO EQUIPMENT - THIRD**

**OFFERING:** Murken provided an overview and stated Captain Lennie, Sheriff's Office, contacted school districts in Story County. Seven responses totaling 27 radios were received. Each jurisdiction will pay the monthly subscriber fees and annual maintenance fees from their respective budgets. If a jurisdiction is no longer actively using any of these

radios, it will notify the Board and return the equipment if requested. Murken moved, Faisal seconded the approval of the Recommendation for Granting of Surplus Story County Radio Equipment as presented. Roll call vote. (MCU)  
**REQUEST TO CONSIDER AN AMES URBAN FRINGE PLAN LAND USE FRAMEWORK MAP AMENDMENT FOR THE PROPERTY AT 23959 580<sup>TH</sup> AVENUE AND FOR THE ADJACENT AREA:** Amelia Schoeneman, Planning and Development Director, reported on background information, and recommended allowing the applicant to move forward with an application for plan amendment. Faisal moved the approval of the request to consider an Ames Urban Fringe Plan Land Use Framework Map Amendment for the property at 23959 580<sup>th</sup> Avenue and for the Adjacent Area as presented, Murken seconded for discussion. Murken clarified to allow the consideration. Schoeneman stated it is to submit the application. Roll call vote. (MCU)

**ENGINEER QUARTERLY REPORT:** Moon reported on highlighted items from his submitted written report.

**UPCOMING AGENDA ITEMS:** Heddens reiterated the consideration of awarding the space study assessment.

**LIAISON ASSIGNMENTS, COMMITTEE MEETINGS UPDATES, AND ANNOUNCEMENTS FROM THE SUPERVISORS:** Members reported on multiple meetings.

Murken moved, Faisal seconded to adjourn at 11:52 a.m. Roll call vote. (MCU)

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Lisa Heddens  
Board of Supervisors

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Lucinda J. Martin  
Auditor

Story County  
Board of Supervisors Meeting  
Agenda  
1/12/21

1. Originating From Administration Building, Story County Public Access Provided Via "Zoom" Meeting

**SPECIAL NOTE TO THE PUBLIC:** Due to recommendations to social distance in order to help slow the spread of the COVID-19 virus, the capacity of our meeting room is significantly limited. Therefore, public access to the meeting will be provided via Zoom.

**Members of the public can participate by using the information below:**

**To join the zoom meeting by computer, tablet, smartphone:**

Visit [HTTPS://WWW.ZOOM.US/](https://www.zoom.us/)

Click on "Join A Meeting" and use the Zoom Meeting ID 981 7092 0243 and Password 446094

**To join the meeting by telephone:**

Dial (312) 626-6799, then enter Webinar ID 981 7092 0243, Password 446094

Please visit [WWW.STORYCOUNTYIOWA.GOV/92/BOARD-OF-SUPERVISORS](http://WWW.STORYCOUNTYIOWA.GOV/92/BOARD-OF-SUPERVISORS)

for more information on how to participate in meetings of the Story County Board of Supervisors.

2. CALL TO ORDER: 10:00 A.M.
3. PLEDGE OF ALLEGIANCE:
4. STATEMENT EXPLAINING WHY A MEETING IN PERSON IS IMPOSSIBLE OR IMPRACTICAL, PER CODE SECTION 21.8.1
5. ADOPTION OF AGENDA:
6. UPDATES ON COVID-19
  - a) Staff
  - b)Supervisors
7. PUBLIC COMMENT #1:

This comment period is for the public to address topics on today's agenda
8. DISCUSSION AND CONSIDERATION OF ITEMS BROUGHT BEFORE THE BOARD WITH REQUEST FOR IMMEDIATE ACTION:
9. Presentation And Consideration Of Funding For The Nevada Fieldhouse Project At \$600,000.00 Lump Sum Or Over A Span Of Years - Michelle Cassabaum, Tim Hansen, And Jordan Cook

Virtual Walk -thru of the facility - click below  
[HTTPS://WWW.YOUTUBE.COM/WATCH?V=UX\\_DZKXJWWQ](https://www.youtube.com/watch?v=UX_DZKXJWWQ)

Department Submitting Auditor

Documents:

FIELDHOUSE BOS.PDF  
FIELD HOUSE LETTERS OF SUPPORT.PDF  
LETTER OF SUPPORT FOR NEVADA 142021.PDF  
FIELDHOUSE PLEDGE SHEET.PDF

10. Presentation From OPN Architects - Proposal For The Space Needs Assessment Study

Department Submitting Board of Supervisors

Documents:

STORY COUNTY SPACE NEEDS ASSESSMENT OPN PROPOSAL.PDF

11. Presentation From RMH Architects - Proposal For The Space Needs Assessment Study

Department Submitting Board of Supervisors

Documents:

RMH SPACE NEEDS RFP RESPONSE.PDF

12. AGENCY REPORTS:

13. CONSIDERATION OF MINUTES:

- I. 12/15/20, 12/22/20, 12/29/20, And 1/4/21 Minutes

Department Submitting Auditor

14. CONSIDERATION OF PERSONNEL ACTIONS:

I. Action Forms

1)new hire, effective 1/18/21, in a)Board of Supervisor's Office for Kate Ramirez @ \$11.00/hr; 2)pay adjustment, effective 1/17/21 in a)Attorney's Office for David Fountain @ \$2,872.61/bw; b)Community Services for Jennifer Kerns @ \$19.52/hr; c)Facilities Management for Matthew Miller @ \$23.47/hr; d)Secondary Roads for Jeremy Barker @ \$2,666.91/bw; e)Sheriff's Office for Riley Auld @ \$1,887.20/bw; Dillon Combs @ \$3,048.09/bw; Tanner Habhab @ \$1,862.40/bw; Marcene Hunter-Montgomery @ \$2,250.40/bw; Michael Peck @ \$2,449.60/bw

Department Submitting HR

15. CONSENT AGENDA:

(All items listed under the consent agenda will be enacted by one motion. There will be no separate discussion of these items unless a request is made prior to the time the Board votes on the motion.)

- I. Consideration Of Contract For Highway Right Of Way With Lawrence J. Frevert And Suzanne R. Frevert For The Purchase Of Permanent Easement For \$419.04(L-NA18-73-85)

Department Submitting Engineer

Documents:

ROW CTR FREVERT.PDF

- II. Consideration Of Change Order No. 02 Between Howrey Construction, Inc And Story County Conservation For The Tedesco Environmental Learning Corridor Bid Package #3-Trail Extension For The Decreased Amount Of \$21,428.75

Department Submitting Conservation

Documents:

TELC BP3 HOWREY CHANGE ORDER 2.PDF

- III. Consideration Of Change Order No. 02 Between Howrey Construction, Inc And Story County Conservation For The Heart Of Iowa Nature Trail Phase 2 Paving Project From Huxley To The South Skunk River Bridge In The Decreased Amount Of \$3,900.00

Department Submitting Conservation

Documents:

HOINT PH2 HOWREY CHANGE ORDER 2.PDF

- IV. Consideration Of Change Order No. 03 Between Howrey Construction, Inc And Story County Conservation For The Heart Of Iowa Nature Trail Phase 2 Paving Project From Huxley To The South Skunk River Bridge In The Increased Amount Of \$630.35

Department Submitting Conservation

Documents:

HOINT PH2 HOWREY CHANGE ORDER 3.PDF

- V. Consideration Of Renewal Class C Liquor License (LC)(Commercial) For Indian Creek Country Club, 63012 260th St., Nevada, Ia., Effective 3/18/21-3/17/22 Including Outdoor Service And Sunday Sales

Department Submitting Auditor

Documents:

ICCC.PDF

- VI. Consideration Of Quarterly Reports From The Following: Auditor, Sheriff, And Veterans Affairs

Department Submitting Auditor

Documents:

AUDITOR.PDF  
QT REPORT.PDF

SHRF.PDF

- VII. Consideration Of Change Order No. 03 Between Howrey Construction, Inc And Story County Conservation For The Heart Of Iowa Nature Trail Phase 1 Paving Project From R-38 To 265th Avenue In A Net Of \$0

Department Submitting Conservation

Documents:

HOINT PH1 HOWREY CHANGE ORDER 3.PDF

- VIII. Consideration Of Final Design Plans For Bridge Replacement, On 620th Ave.; Over Small Stream, On West Line Of Section 6 Warren Township (L-WAR6--73-55)

Department Submitting Engineer

Documents:

FINAL DESIGN PLANS BRIDGE REPLAMENT 6 85 22.PDF

- IX. Consideration Of Final Design Plans For Pipe Culverts, On 248th St.; Over A Small Stream In The SE1/4 Of Section 18, New Albany Township (L-NA18--73-85)

Department Submitting Engineer

Documents:

FDP PIPE CULVERTS 18 83 21.PDF

- X. Consideration Of Final Design Plans For RCB Culvert Replacement-Twin Box, On 330th St., Over Wolf Creek, On The North Line Of Section 32, Collins Township(L-COL32--73-85)

Department Submitting Engineer

Documents:

FDP RCB CULVERT REPLACEMENT TWIN BOX 32 82 21.PDF

- XI. Consideration Of Final Design Plans For HMA Resurfacing, On 550th Ave; From E18, North 0.76 Miles To City Limits Of Story City; On West Line Of Section 13, Lafayette Township(L-LAF13--73-85)

Department Submitting Engineer

Documents:

FDP HMA RESURFACING 13 88 24.PDF

- XII. Consideration Of Final Design Plans For HMA Resurfacing, On E18, From US Highway 69, East 5.58 Miles To City Of Roland Corporate Limits, On North Line Of Section 23,

Lafayette Township

Department Submitting Engineer

Documents:

HMA RESURFACING.PDF

- XIII. Consideration Of Final Design Plans For RCB Culvert - Single Box, On 100th St.; Over Small Stream; On The North Line, Section 3, Howard Township (L-H3--73-85)

Department Submitting Engineer

Documents:

FDP RCB CULVERT REPLACEMENT SINGLE BOX 3 85 23.PDF

- XIV. Consideration Of Contract With Tree Hugger Tree Care For Removal Of Hanging Limbs For \$13,420.00.

Department Submitting Conservation

Documents:

TREE HUGGER.PDF

- XV. Consideration Of 2020 Weed Commissioner Report And 2021 County Weed Commissioner Certification Form

Department Submitting Conservation

Documents:

2020 WEED COMMISSIONER REPORT.PDF  
CERTIFICATE.PDF

- XVI. Consideration Of Request To Sign Order Form To Begin Integration Of Heartland Payment Processing With Citizenserve

Department Submitting Planning and Development

Documents:

MEMO.PDF  
ORDER FORM.PDF  
INVOICE.PDF

- XVII. Consideration Of Amended Easement Agreements With The Iowa State University Foundation For The Tedesco Connector Trail

Department Submitting Conservation

Documents:

ISU.PDF

- XVIII. Consideration Of Lease Agreement Between Mary Greeley Medical Center And Story County For Property Located At 124 S. Hazel Avenue Ames Effective 1/1/21 - 6/30/21 For \$1.00

Department Submitting Community Services

Documents:

LEASE.PDF

16. PUBLIC HEARING ITEMS:

17. ADDITIONAL ITEMS:

- I. Discussion And Consideration Of Recommendation For Granting Of Surplus Story County Radio Equipment - Third Offering - Linda Murken

Department Submitting Board

Documents:

RADIO.PDF

- II. Discussion And Consideration Of A Request To Consider An Ames Urban Fringe Plan Land Use Framework Map Amendment For The Property At 23959 580th Avenue And For The Adjacent Area - Amelia Schoeneman

Department Submitting Planning and Development

Documents:

MEMO.PDF  
REQUEST TO STORY CO.PDF  
AMES STAFF MEMO.PDF  
AMES COUNCIL MINUTES.PDF

18. DEPARTMENTAL REPORTS:

- I. Engineer Quarterly Report - Submitted Report

Department Submitting Auditor

Documents:

ENGINEER.PDF

19. OTHER REPORTS:

20. UPCOMING AGENDA ITEMS:

21. PUBLIC FORUM #2:

Comments from the Public on Items not on this Agenda. The Board may not take any Action on the Comments due to the Requirements of the Open Meetings Law, but May Do So In the Future.

22. LIAISON ASSIGNMENTS, COMMITTEE MEETINGS UPDATES, AND ANNOUNCEMENTS FROM THE SUPERVISORS:

23. ADJOURNMENT:

Story County strives to ensure that its programs and activities do not discriminate on the basis of race, color, national origin, sex, age or disability. Persons requiring assistance, auxiliary aids or services, or accommodation because of a disability may contact the county's ADA coordinator at (515) 382-7204.

Story County  
Board of Supervisors  
Agenda  
1/12/21

NAME

ADDRESS

Leanne Harter

BOS office

Joby Brogden

SCFM

Sandra King

BOS

# NEVADA

# FIELDHOUSE

#SCOREINDOOR

**APPROVED**      **DENIED**

Board Member Initials: SEH

Meeting Date: 1-12-21

Follow-up action: return @ later date



NEVADA  
FOUNDATION



Foundation Objectives:

1. Provide funding to community betterment projects in the Nevada Community
2. Contribute to the growth and vitality of the Nevada community
3. Improve the quality of life of Nevada residents

Current Board of Directors:

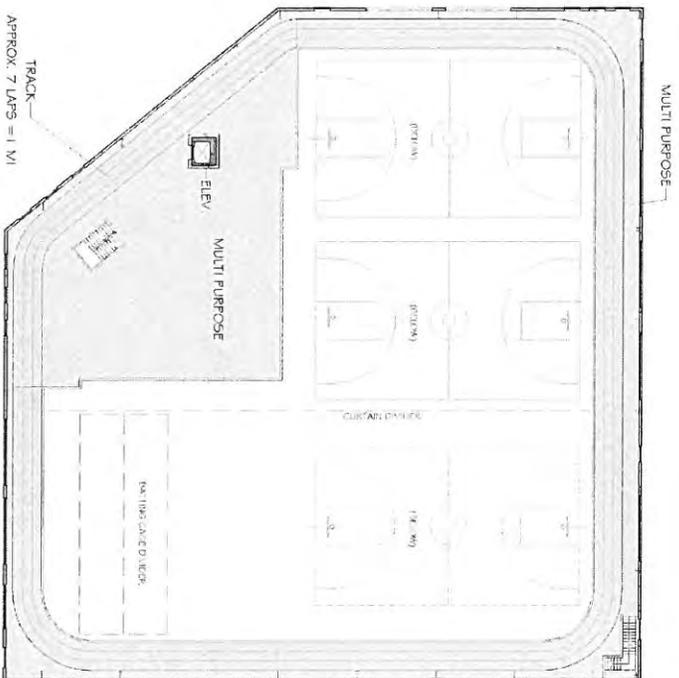
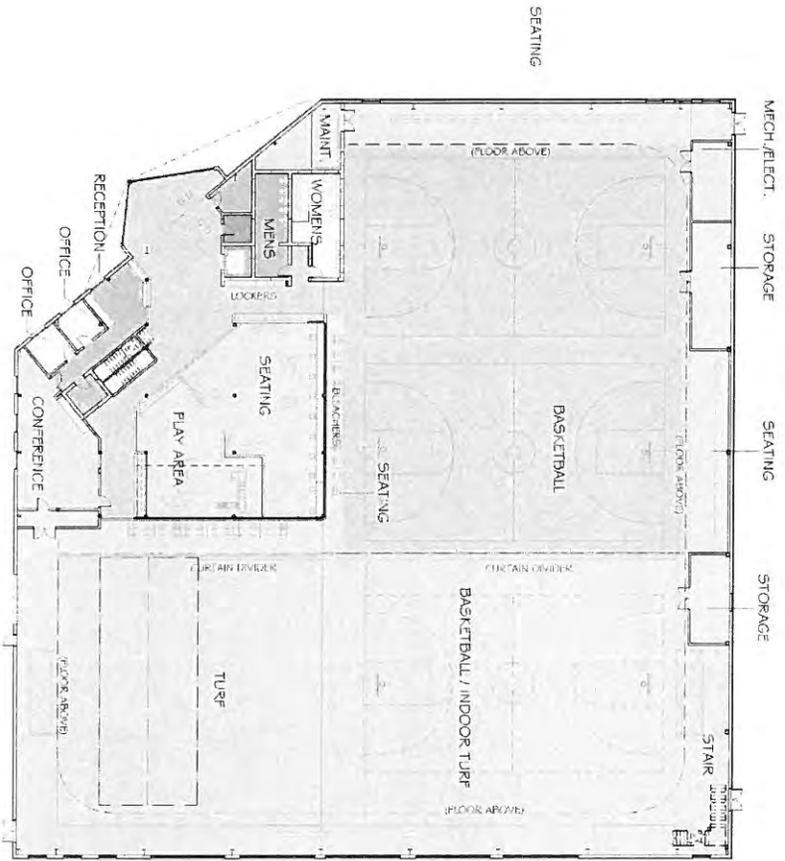
Brett Barker, John Hall, Lisa Oxley, Dr. Steve Gray, Jordan Cook, Brian Hanson, Kris Corbin, Michelle Cassabaum, Heidi Grimm, Sara Clausen, Marty Chitty, Ken Nelson, Sharon Johnson

# Nevada's Journey:

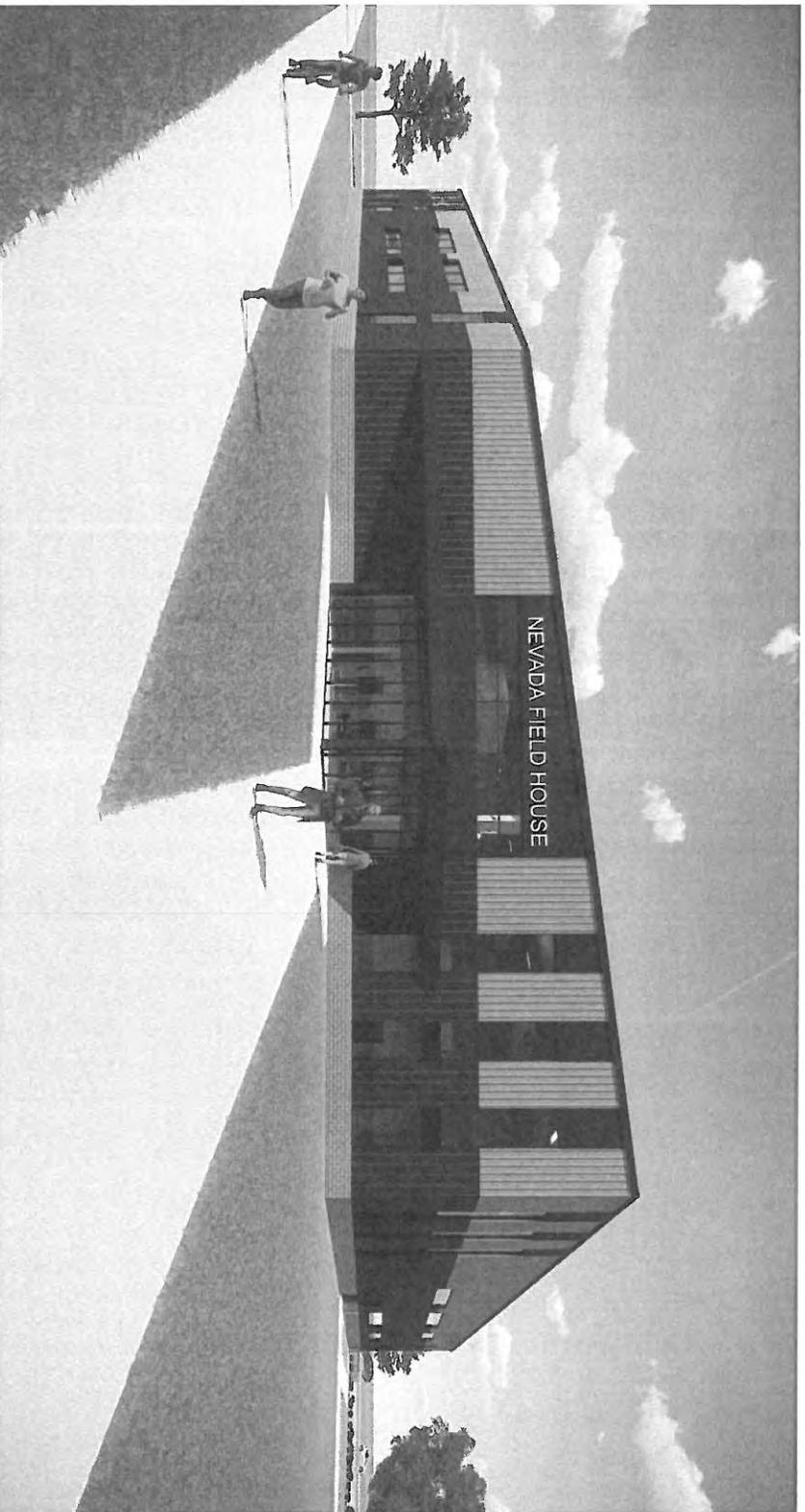
- Sustained growth over 20 years
- Vision 2020
- Capstone Project
  - Our SCORE Recreation/Athletic Complex is thriving with activities and events, yet the demand for youth and adult recreation programming and facilities continues to grow.

# The Fieldhouse Story:

- 2016 Joint effort with City and Story County Medical
  - \$15-\$18 million-dollar cost estimate to be unattainable.
  - Concept moved to City leaders to develop a more affordable plan
- 2018 Parks and Rec developed new plan but other budget priorities took precedence
- 2019 City of Nevada earmarked \$4.5 million for an indoor facility
- Cost to build current facility is estimated at \$7 million



**The purpose of this building would be to act as a year-round program-based facility, with affordable and functional space/amenities that will serve Nevada and its citizens, including neighboring communities for many years to come.**

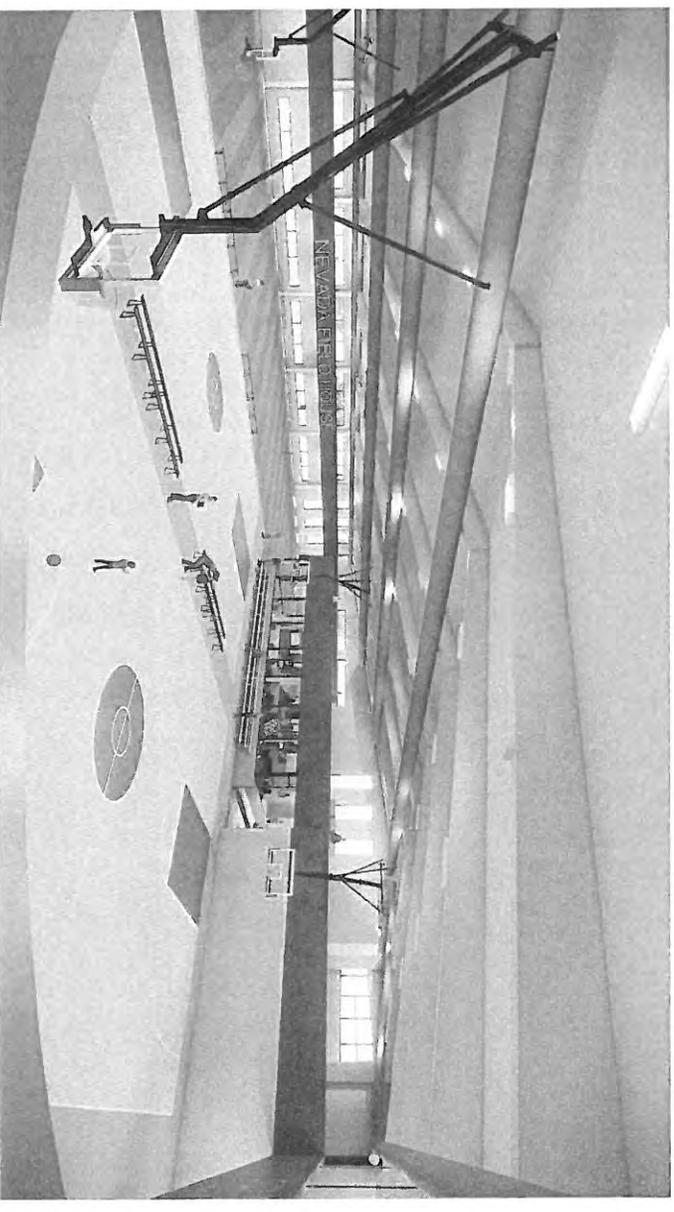


**Location:** north of the Fawcett Family Aquatic Center and south of the Nevada High School baseball field

**Size:** approximate 40,000 sq. ft facility on the main floor with another 16,000 sq. ft on the 2<sup>nd</sup> level

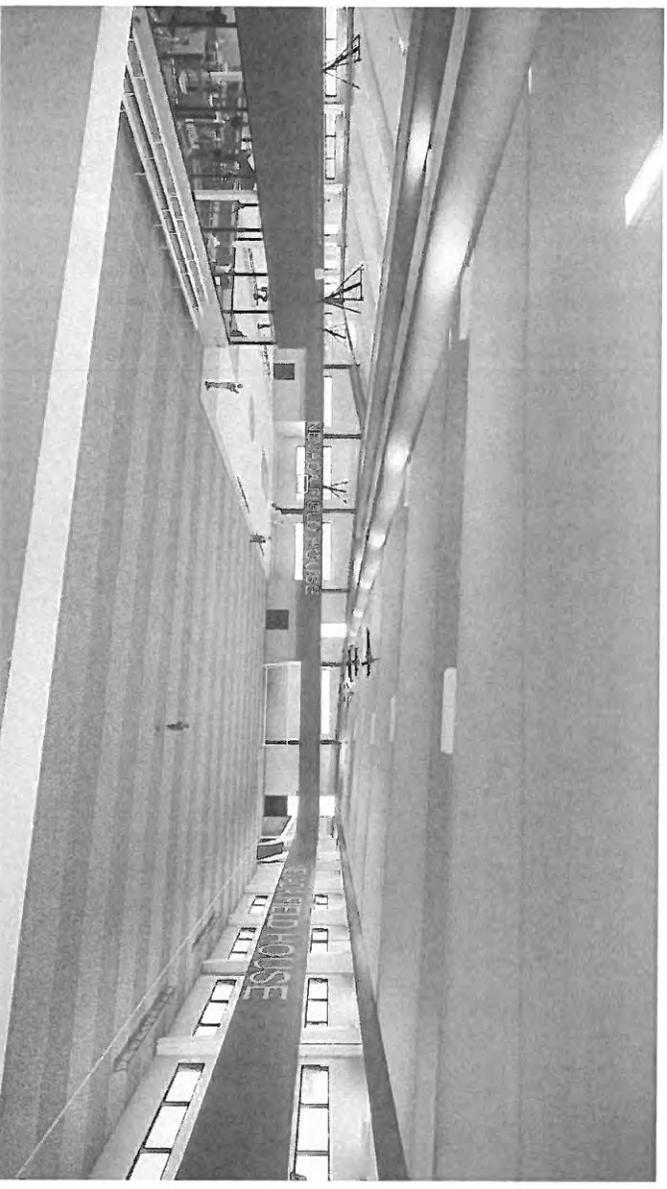
# Basketball courts

Full-size courts to allow for age appropriate practice times, open time for shooting, house games for the CIRL, potential to host tournaments for basketball and volleyball, and more importantly allow growth of all recreational indoor programs for youth and adults as well as open/free play.



# Turf

The flex-space court/indoor turf area is 16,000 sq. ft. of unlimited potential. An area like this does not currently exist in Story County. It can be used for a multitude of activities including, but not limited to, soccer, football, baseball, softball, ultimate football, lacrosse, etc. No longer will wet weather keep participants from practicing and improving their skills!



# Playground

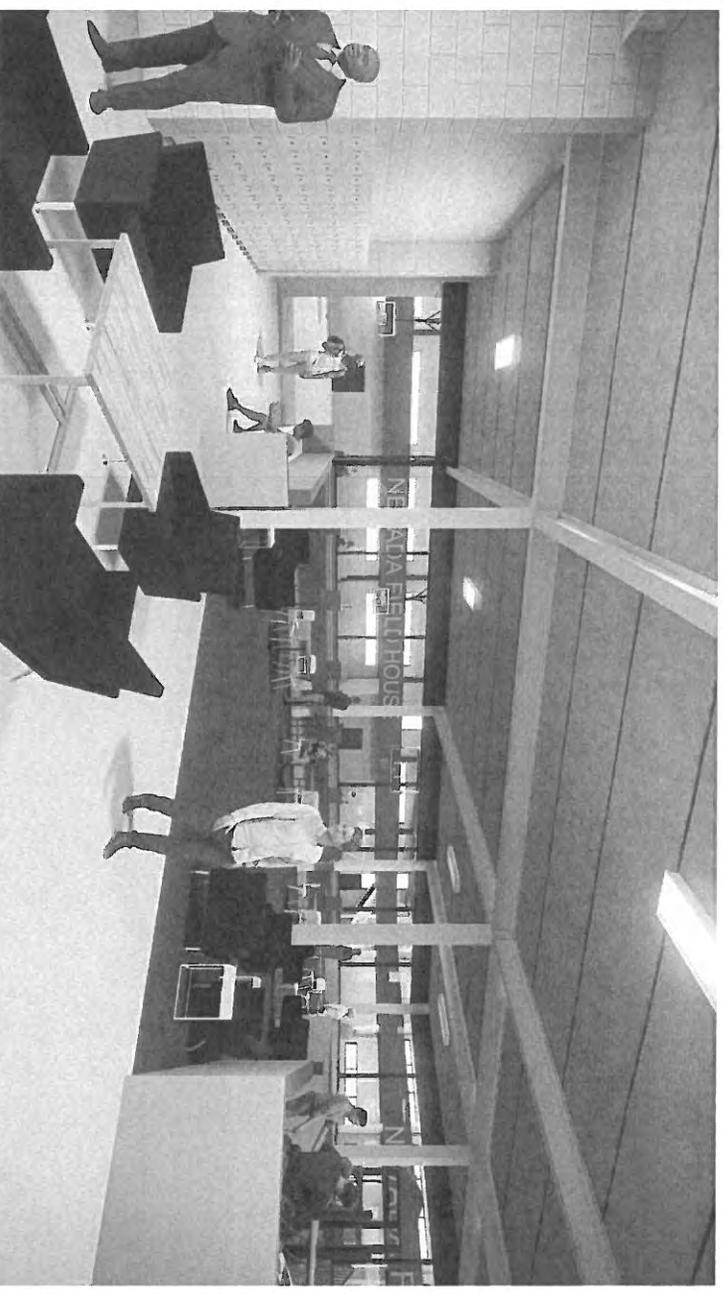
This will be an area that parents and young children will appreciate during the long winter months or while older siblings are participating in other recreational programs.

The space will be a focal point of the indoor lobby/social area.



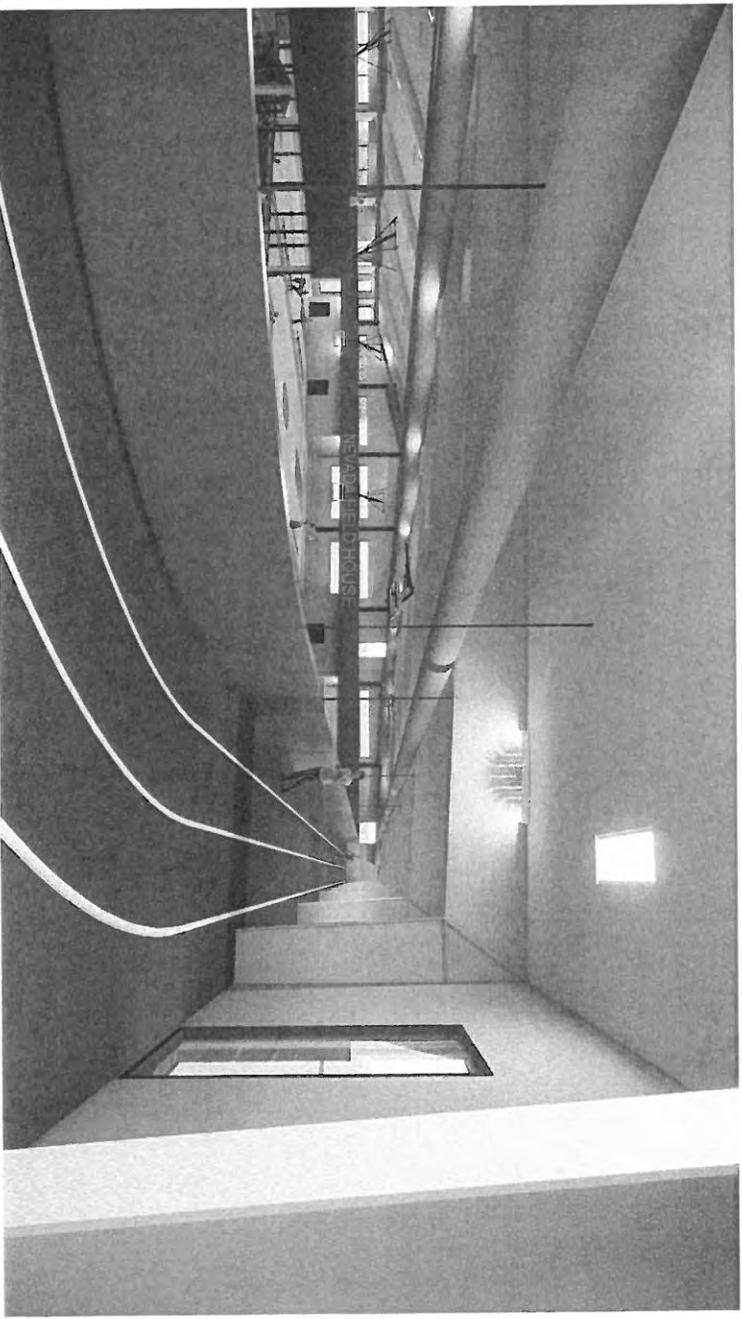
# Commons

This space is designed to be welcoming and open. Seating, glass walls to see courts and flex-space area, vending, and a common area for greeting facility users.



# Track

The elevated track will be three lanes; approximately eight laps to a mile.



# Why Story County? Our Ask....

- Serves all of Story County
  - Parks and Rec partnerships with other communities
  - Letters of Support
- Eligibility of Community Attractions and Tourism (CAT) Grant
  - New tourism opportunity
  - Support from both municipal and county government
  - Broad based community support
- Our Ask- \$600,000 over 3 years (Fiscal 2023, 24, 25) based on TIF revenue projections presented at 9/29/20 BOS Meeting

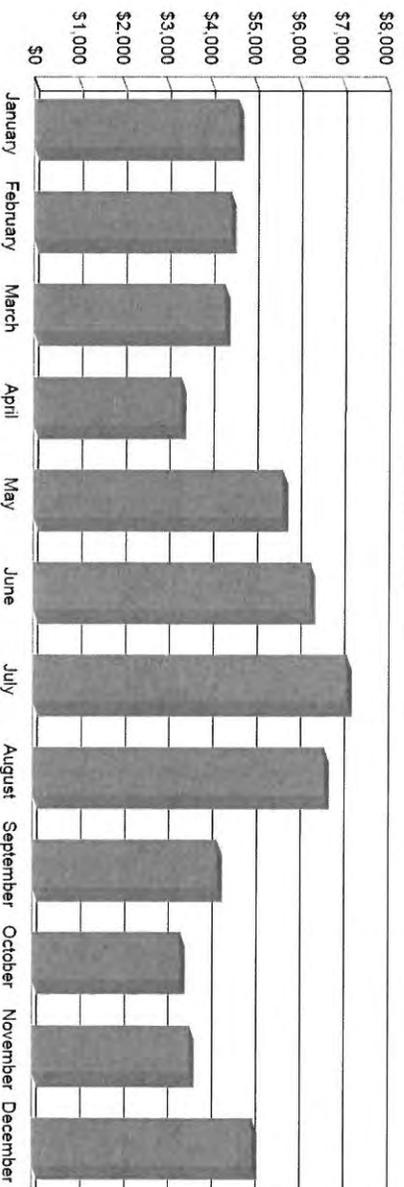
# Timeline

- Silent phase of Community Campaign through March 2021
  - \$600,000 pledged over 5 years
- Story County commitment
- CAT Grant Application due in April 2021
- Public phase Spring and Summer 2021
- Late Spring and early Summer bidding process
- Construction late Summer
- Ribbon Cutting Fall 2022

# FAQ

- What does the facility cost to operate?
  - Estimated annual utility costs are \$60,000
  - How will the City cover this ongoing cost?
  - Currently the City levies taxes for Gates Hall. When that facility sells to the school district, that levy will go away, the city will levy for these new annual operating costs.

Monthly Utility Costs



# THANK YOU!

#SCOREINDOOR

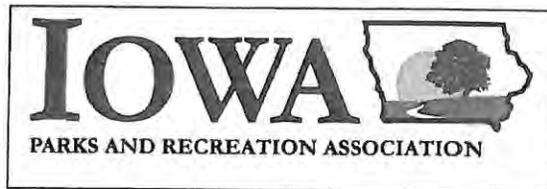


**NEVADA**  
FOUNDATION

The Nevada Foundation  
1209 6th Street  
Nevada, IA 50201

January 4, 2021

Nevada Foundation  
Attn: Tim Hansen  
Director  
Parks and Recreation Department  
City of Nevada  
825 15<sup>th</sup> St.  
Nevada, IA 50201



Dear Mr. Hansen:

Thank you for asking the Iowa Parks and Recreation Association to provide a letter of support as the Nevada Foundation continues its work to bring forth a Vision 2020 project. The Nevada Fieldhouse has been tagged as "SCORE Indoor" by Michelle Cassabaum. The city, its residents and visitors have reaped the benefits of two phenomenally successful projects; S.C.O.R.E. recreation complex and trails along with Fawcett Family Aquatic Center. Both community gems were accomplished through private-public partnership which enhanced the community's standing in Story County, as well as all Central Iowa.

IPRA is proud to offer-up our encouragement to a fellow association member. As you are aware, IPRA represents greater than 100 municipal parks and recreation departments throughout Iowa. Our member communities serve two (2) out of every three (3) Iowans. As such, facilities like the proposed Nevada Fieldhouse directly impact thousands of lives daily. During crisis situations like last year's Derecho and the current national pandemic, having a community-based facility to encourage healthy mind, body, and spirit are vital.

Credence for such a venture is supported by the National Recreation and Park Association and its 80,000 members. Recently, they conducted a national survey via NRPA Park Pulse. They asked the public: How much do you agree or disagree that having easy access to low-cost/no cost fitness and educational opportunities, such as those at local recreation or community centers, enhance your community? 95% of Millennials agreed with 92% of seniors age 65+ followed by 90% of Gen Xers and Baby Boomers agreeing. Nationally, 58% of park and recreation agencies operate community centers while 57% operate recreation centers (per NRPA).

We wish the Nevada Foundation much success as it strives to bring a community dream to fruition!

Sincerely,

Steven Jordison  
CEO  
Iowa Parks and Recreation Association

Ryan Maehl, CPRE  
President, Board of Directors  
Iowa Parks and Recreation Association



Huxley Parks & Recreation  
hdenger@huxleyiowa.org  
Phone 515.597.2515  
Fax 515-597-2570  
[www.huxleyiowa.org](http://www.huxleyiowa.org)

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December 7, 2020

To Whom It May Concern:

Re: Nevada Fieldhouse Project

I am super excited that Nevada is working on building a Fieldhouse to host community sporting activities. As part of the CIRL I greatly appreciate Nevada for their efforts in building excellent youth programs for kids around Story County. In Huxley we are fortunate enough to have our own gymnasium but I know that many other communities do not which causes a lot of strain on programming efforts.

The design for the Nevada Fieldhouse is wonderful. I love the indoor turf fields as well as the beautiful basketball courts, track, play area and lounge. This would be a great draw for people to move to your community.

Heather Denger, CSCS  
Huxley Parks and Recreation Department



To whom it may concern,

I wanted to reach out on support of Fieldhouse project at the SCORE. I am the current Recreation Manager Ames Parks and Recreation. Our kids compete in the CIRL for basketball and volleyball. The CIRL league has been a great fit for the kids in our community. The league continues to grow, which is great, but becomes a scheduling problem. For example, multiple locations are hosting games from 8:00 AM-4:30 PM. Team numbers continue to rise as gym space becomes harder to find.

3 full-size high school courts would be a huge addition to the Nevada Community, as well as surrounding communities. Our kids would be thrilled to have a facility such as this one, close to our community. I am in support of this project, specifically the Fieldhouse, for the benefits it will have on the CIRL on our local communities.

Sincerely,

Ben Flaherty - Ames Parks and Recreation



## Colo-NESCO Community School District

DEC 4 2020

December 22, 2020  
Re: Nevada Field House Project

Dear Nevada Foundation,

On behalf of Colo-Nesco Schools, the District is submitting a letter of support for the Nevada Field House Project. As a neighboring community to Nevada, we believe this project will be beneficial for our community as well as all communities in Story County. Over the years, our residents have participated in many activities and events in Nevada at the SCORE Recreation and Athletic Complex.

With the construction of the Nevada Fieldhouse many activities and events will now have the opportunity to expand and grow in an indoor environment on a year-round basis. These new opportunities for youth and adults will enhance the quality of life for all residents.

The Colo-NESCO School Board endorses this project for future opportunities and the economic impact that it will provide for the Colo-NESCO community and Story County.

Respectfully,

Joel Niemeyer, Colo-NESCO School Board President

Intermediate & Jr/Sr High School, District Office  
919 West Street, PO BOX 136  
Colo, IA 50056  
(641) 377-2282

Elementary School  
407 North Center Street  
Zearing, IA 50278  
(641) 487-7411



January 4, 2021

Nevada Foundation  
1209 6<sup>th</sup> St  
Nevada, IA 50201

To Whom It May Concern:

It is my pleasure to express my full support for the proposed SCORE Field House project.

Story County communities have enjoyed a long history of recreational program collaboration and this project will provide needed new space to meet long-term recreational needs in eastern Story County.

The Nevada Parks & Recreation Department has been a driving force behind the Central Iowa Recreation League and the City of Ames has been a long-time programming partner.

I believe that the residents of eastern Story County will greatly benefit from the proposed indoor recreational space to be included in the new SCORE Field House.

The additional programming options that will be offered via this new facility will allow residents of all ages to enjoy and experience improved recreational opportunities and enhanced quality of life.

Respectfully submitted,

John A. Haila, Mayor  
City of Ames



2021 CAPITAL CAMPAIGN PLEDGE FORM

**CONTRIBUTOR INFORMATION**

DONOR(S): \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_

CITY, STATE, ZIP: \_\_\_\_\_

HOME PHONE: \_\_\_\_\_ CELL PHONE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**5 YEAR PLEDGE COMMITMENT**

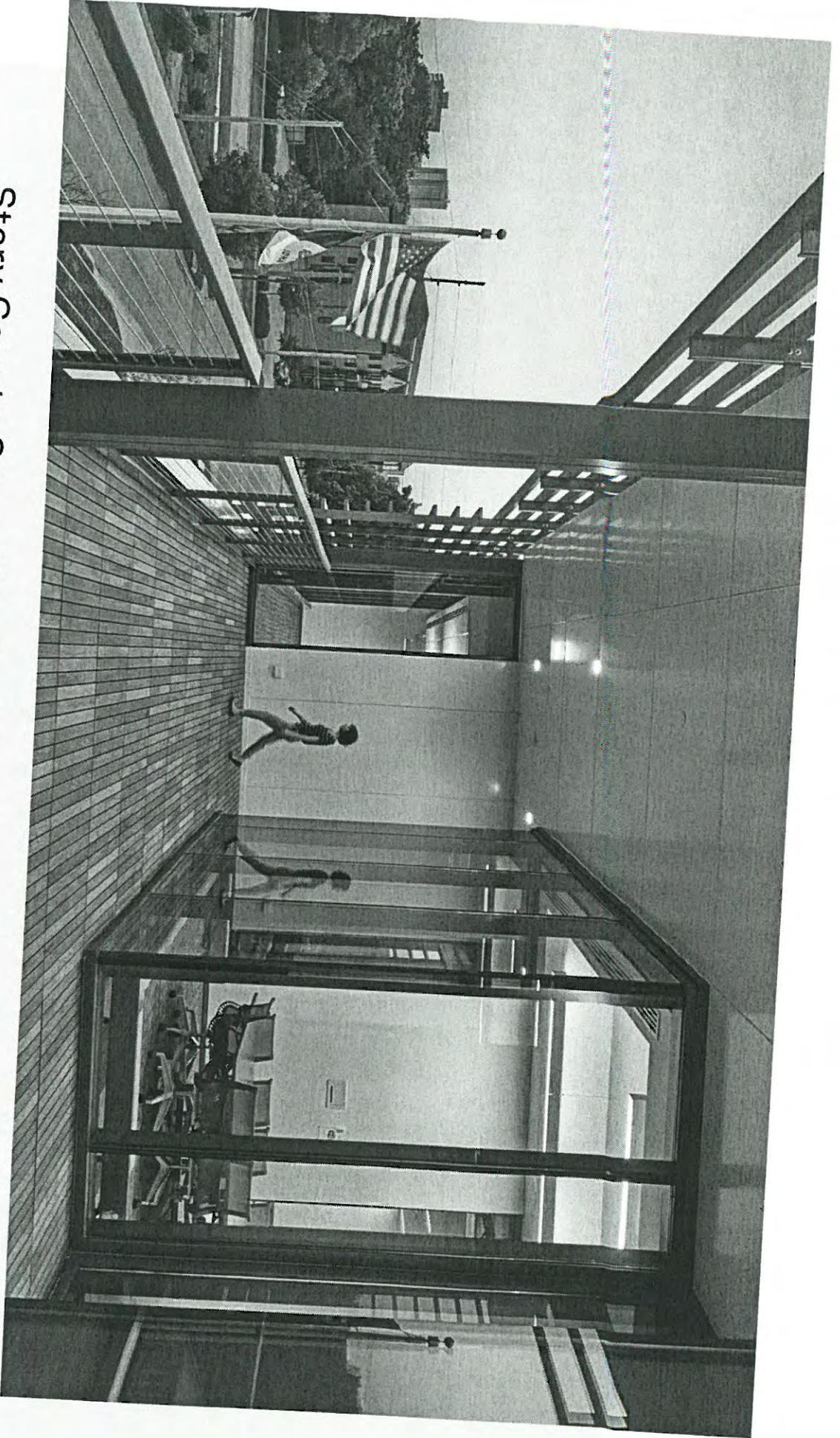
I would like to claim a naming opportunity from the list below.  
 In the name of: \_\_\_\_\_

I would like to pledge a total amount of  
 \$25,000    \$10,000    \$5,000    \$1,000    Other: \$\_\_\_\_\_

- I would like to be billed for a one-time donation
- My pledge will be billed for \$\_\_\_\_\_ annually.

I would prefer my pledge to be kept confidential. Thanks!

NAMING OPPORTUNITIES	
<b>BUILDING</b>   name the facility (1)	<b>\$500,000</b>
<b>TURF</b>   name the turf area (1)	<b>\$150,000</b>
<b>BASKETBALL COURTS</b>   name a court (2)	<b>\$100,000</b>
<b>RECREATIONAL</b>   commons, playground, 2nd level (3)	<b>\$50,000</b>
<b>ELEVATED TRACK</b>   name a running lane (3)	
<b>FRIENDS OF THE FOUNDATION</b>   all other levels	<b>&lt;\$25,000</b>



# Story County Space Needs Assessment

OPIN Architects

December 28, 12:00 p.m.



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# Letter of Interest

December 28, 2020

Space Needs Assessment

Story County

Board of Supervisors

c/o County Outreach

and Special Projects Manager

Story County Administration

900 6th Street

Nevada, Iowa 50201

Project Contact:

Danielle Hermann, AIA

Principal

OPN Architects

[dhermann@opnarchitects.com](mailto:dhermann@opnarchitects.com)

(515) 309-6868

OPN Architects  
100 Court Ave., Suite 100  
Des Moines, Iowa 50309

OPN Architects is pleased to present our team's qualifications to Story County for Space Needs Assessment Services. We appreciate that this step represents a pivotal moment for the county. Having led other civic partners through similar space needs assessments and feasibility planning efforts, we recognize the importance of this process in laying the groundwork for a successful long-range plan for optimized facilities that contribute to the long-term efficiency of operations.

We understand that this project goes beyond an analysis of your existing facilities. It is about assessing your spaces for efficiencies and deficiencies and identifying an array of solutions from renovations and additions to relocations and new facilities that will arm Story County with a road-map for the future. We have the technical expertise necessary to assess your facilities to ensure that the county has the data it needs to make strategic decisions about the future of your facilities. Upon selection, we are ready to start immediately, and we are prepared to equip you with the necessary tools to make informed decisions related to your building stock.

To this endeavor, we bring decades of experience planning, designing, and improving spaces of all types. We take a highly-collaborative and energetic approach to programming, planning, and design. We will work with your leadership group and stakeholders from all departments to create a plan that will balance aspiration and transformation with a need for function and maintainable spaces in a fiscally achievable solution.

Additionally, we offer a unique knowledge - born from benchmarking, informed by data, and proven by a deep portfolio - of workspace design. We've partnered with more than 100 corporate clients to explore and redefine workplace design. To complement our internal resources and processes, we partner with academic and industry experts to help us understand how work is done today and how that aligns with an organization's evolving needs and future work patterns.

We recognize that we will be kicking off this project in still-uncertain times. Over the past few months, we have worked with clients to help them re-envision their spaces to accommodate the challenges presented by COVID-19. We use an assortment of tools from circulation and space planning diagrams to virtual walk-throughs, to help better understand the environment we are creating with you. As designers of work space, we know that the workplace isn't going away. However, our need for interaction and collaboration is also why the workplace will have to change, both temporarily and permanently. From start to finish, each design decision is an opportunity to build value. We actively seek out ways to improve the user experience, increase energy efficiency, reduce maintenance needs, conserve resources and "future-proof" the space through flexible, adaptable design.

Good design and stewardship of our client's resources go hand in hand. Both start with collaboration and communication, two qualities on which OPN has built its reputation. We will bring the same level of commitment and consistency to this project by taking a highly-collaborative approach to the assessment, programming, planning, and design of your facilities.

Thank you once again for considering OPN Architects and Story Construction on this project. We look forward to the opportunity to discuss this proposal in detail with you.

Sincerely,



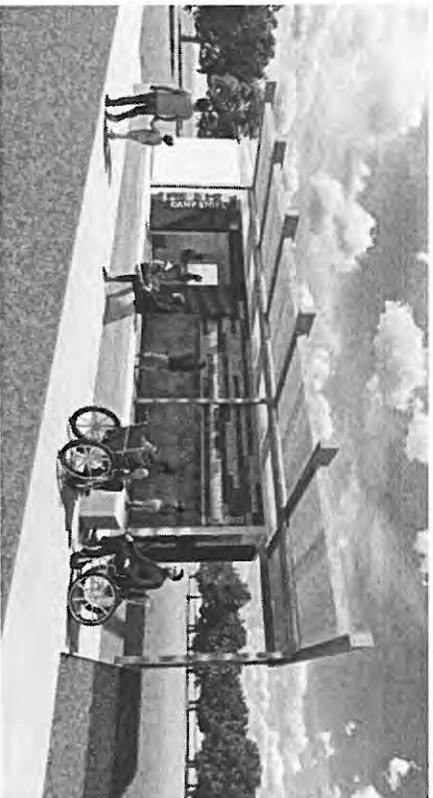
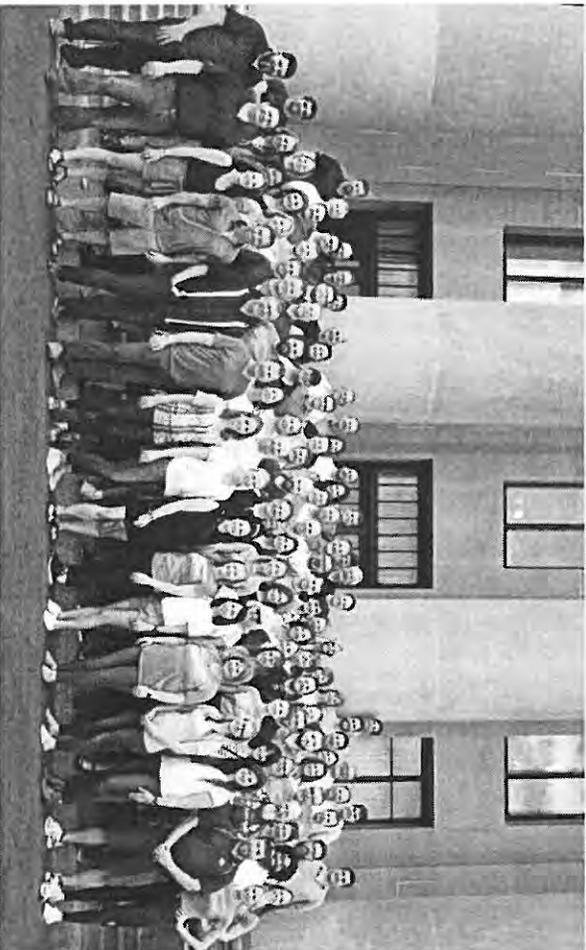
Danielle Hermann, AIA  
Principal, OPN Architects  
[dhermann@opnarchitects.com](mailto:dhermann@opnarchitects.com)



# **Project Team**

Resumes & Experience

## Firm Profile



**Easterseals Iowa | Camp Sunnyside Store**  
Des Moines, Iowa

### Who We Are

As a 100+ person firm with a 40-year track record of success, OPN Architects is one of the most successful architectural firms in the Midwest. We've won wide recognition for our design work and our success is the result of a deliberate, sustained commitment to an open culture that nurtures excellence and new ideas. We collaborate closely during planning and design phases in our office. We camp out in teaming rooms during intensive periods of research and design. We document our ideas with layers of trace paper, sticky notes, photos and boards, and workshop ideas together during weekly design critiques. We understand that physical space can foster or inhibit collaboration and innovation, and we believe passionately that success lies in bringing people and perspectives together. We encourage open dialogue and, as a team, we find the optimal design solution for our clients. Responsiveness, responsibility, and commitment to open dialogue are our most important attributes, and we believe these commitments are the reason for our high percentage of repeat clients. We work to create trusting, mutually beneficial relationships on each project simply because we believe it's the right thing to do.

### Community Involvement

At the center of our core values is our shared commitment to community involvement. OPN is deeply invested in the well-being of the community and often donates time, talent, and money to community organizations in need. Since the company's inception, OPN's leadership has been instrumental in supporting community initiatives. From serving with the United Way as Campaign Chairs and Board Members, to helping start charitable organizations such as 100-Plus Men and 100-Plus Women Who Care and the I Have a Dream Foundation, OPN's team members set the tone for the company's commitment to philanthropy. As a firm, we regularly undertake pro-bono projects that benefit our community. Office-wide, we annually support Habitat for Humanity, local food pantries, and United Way. Our designers serve on boards and committees for national and state-level professional organizations and have been recognized for their advocacy in architectural and civic life. In 2019, OPN received the Volunteer Organization of the Year award for our commitment to Easterseals Iowa.



**Origin:** 1979

**Current Size:** 101 Employees

**Organization:** OPN Architects is a partner-owned corporation

Find Us				
<b>Cedar Rapids</b>	200 Fifth Avenue SE Ste. 201 Cedar Rapids, Iowa 52401 (319) 363-6018	<b>Iowa City</b>	24 ½ S. Clinton Street Ste. 1 Iowa City, Iowa 52240 (319) 248-5667	
<b>Des Moines</b>	100 Court Avenue Ste. 100 Des Moines, Iowa 50309 (515) 309-0722	<b>Madison</b>	301 N. Broom Street Ste. 100 Madison, Wisconsin 53703 (608) 819-0260	
www.opnarchitects.com				
   /opnarchitects				
<b>06</b>	<b>Principals</b>	<b>03</b>	<b>Associate Principals</b>	<b>05</b>
<b>05</b>	<b>Associates</b>	<b>17</b>	<b>Project Architects</b>	<b>17</b>
<b>17</b>	<b>Architects</b>	<b>06</b>	<b>Job Captains</b>	<b>20</b>
<b>20</b>	<b>Architectural Interns</b>	<b>03</b>	<b>Senior Interior Designers</b>	<b>04</b>
<b>03</b>	<b>Interior Designers</b>	<b>01</b>	<b>Landscape Architect</b>	<b>05</b>
<b>04</b>	<b>Construction Administrators</b>	<b>01</b>	<b>Sustainability Director</b>	<b>01</b>
<b>01</b>	<b>BLM Manager</b>	<b>02</b>	<b>IT Personnel</b>	<b>01</b>
<b>02</b>	<b>Knowledge Specialist</b>	<b>02</b>	<b>Drafting Specialists</b>	<b>03</b>
<b>03</b>	<b>Marketing</b>	<b>05</b>	<b>Clerical/Administrative</b>	<b>101</b>
<b>101</b>	<b>Total Employees</b>			

**Size of Firm**

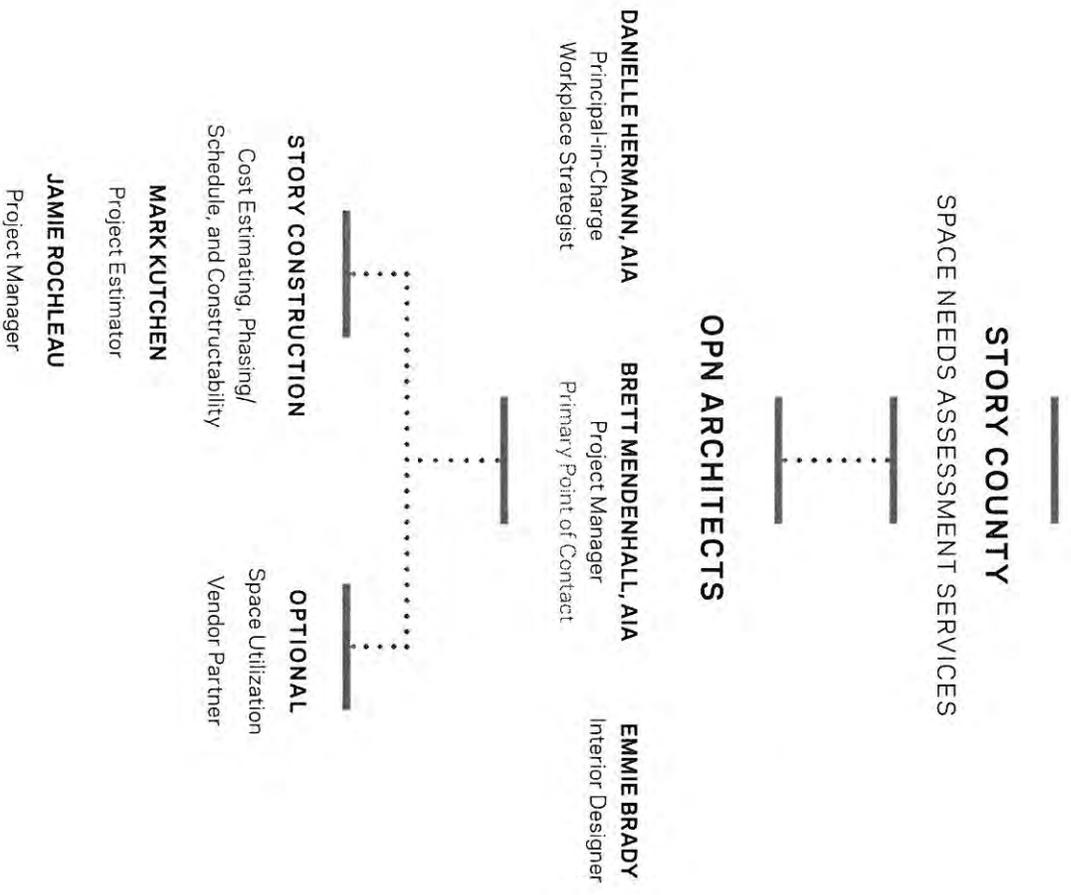
**Project Types**

**Services**

- Academic Libraries
- Adaptive Reuse
- K-12 Schools
- Civic
- Corporate
- Health Care
- Higher Education
- Historic Rehabilitation & Restoration
- Parks
- Public Libraries

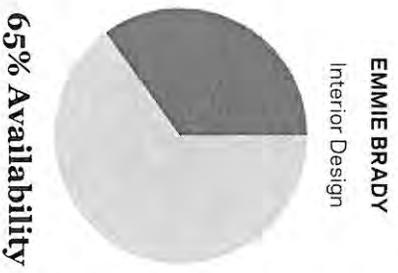
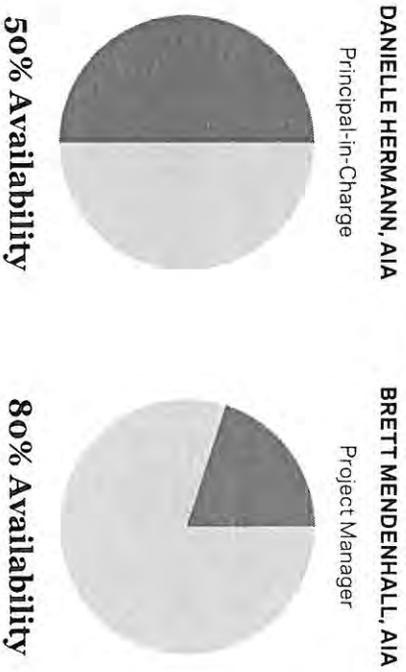
- Architecture
- Bond Issue Planning
- Building Information Modeling
- Detailed Budget & Cost Analysis
- Existing Facility Evaluation
- Fast Track Design
- Interior Design
- Landscape Architecture
- LEED Planning & Implementation
- Marketing & Promotional Materials
- Master Planning
- Renovation/Restoration
- Site Evaluation
- Sustainable Design

# Team Organizational Chart



# Availability

We understand that it's important for our team to be committed to your project. Your project opportunity comes at a perfect time for our team. We are available to start immediately upon project award and contract execution, and will be fully committed to the Story County Needs Assessment process should the opportunity arise.



## Team Resume



An architect with close to two decades of experience, Danielle became an associate principal at OPN in 2015. Though her background includes a broad range of project types, her work with corporate and civic environments stands out. Danielle executed the master plan for Principal that has transformed its global headquarters. She is recently led work on the Krause Gateway Center in collaboration with Renzo Piano Building Workshop. Danielle, along with three other female architects, founded Iowa Women in Architecture. In 2016, she was recognized with the AIA Iowa Young Architect award, followed by the AIA National Young Architect Award in 2017.

### Assessment & Planning Experience

#### State of Iowa

Terrace Hill Governor's Mansion  
Third Floor and Window Restoration  
Front Portico  
Commercial Kitchen  
Security Gate  
Des Moines, Iowa

#### City of West Des Moines

West Des Moines Animal Control Facility  
Planning and Feasibility Study  
Community Center  
Human Services Building  
West Des Moines, Iowa

#### Principal

Campus Master Plan  
750 Park Renovation  
711 High Street Headquarters Restoration and Rehabilitation  
801 Grand Renovation Floors 4-23  
Corp 2 650 8th St Renovation  
Campus Plaza Renovation  
Des Moines, Iowa

#### City of Ankeny

City Hall and Public Library Feasibility Study  
Public Library  
Ankeny, Iowa

#### Vertex

Corporate Headquarters Planning & Concept Design  
Ames, Iowa

#### City of Carroll

City Hall and Public Library Feasibility Study  
Carroll Public Library  
City Hall Renovation  
Carroll, Iowa

#### Iowa State University

Biorenewables Research Laboratory  
Ames, Iowa

#### Select Experience

**Madison County**  
Courthouse Renovation and Restoration  
Winterset, Iowa

#### City of Bloomfield

Downtown Square Rehabilitation  
Bloomfield, Iowa

#### Krause Gateway Center

Kum & Go Corporate Headquarters  
Des Moines, Iowa

#### Multi-State Lottery Association

Office Remodel  
Johnston, Iowa

#### Iowa State University

Hansen Agriculture Student Learning Center  
Landscape Architecture Building Renovation Study  
Memorial Union Renovation\*  
Ames, Iowa

#### University of Iowa

English Philosophy Building  
Stanley Hydraulics Laboratory  
Iowa City, Iowa

#### UnityPoint

Office Remodel  
West Des Moines, Iowa

#### Utility Company

Fort Dodge Service Center  
Altoona Service Center  
Dallas County Service Center

#### Interstate 35 Community Schools

Truro, Iowa

#### OPN Architects - Des Moines Studio

Des Moines, Iowa

\*Denotes work completed prior to joining OPN

### OPN Architects

#### Danielle Hermann, AIA

Associate Principal

Role: Principal-in-Charge

#### Education

Masters of Architecture  
Iowa State University, 2008  
Bachelor of Architecture  
Iowa State University, 2001

#### Licenses & Credentials

Licensed Architect: Iowa

#### Professional Affiliations

American Institute of Architects  
American Institute of Architects - Iowa Chapter, Past President, Board of Directors  
Iowa Women in Architecture, Co-founder

## Team Resume



### Brett Mendenhall, AIA

Associate

Role: Project Manager

#### Education

Bachelor of Architecture  
Iowa State University, 1984

#### Licenses & Credentials

Licensed Architect: Iowa

#### Professional Affiliations

American Institute of Architects  
Des Moines Art Center, Member  
Des Moines Civic Center, Member

Brett brings significant experience working with premiere architects on some of Iowa's most well-known buildings, including the Levitt Center for University Advancement, the Des Moines Public Library, the University of Iowa Art & Art History Building and Krause Gateway Center. Brett has significant experience in programming and planning efforts and organizing complex projects such as the City of Ankeny Facilities Studies, Ankeny City Hall and Public Library projects. Most recently, he's helped lead the planning and programming efforts for two new corporate headquarters projects: Iowa Bankers' Association in West Des Moines, Iowa, and BAE Systems in Cedar Rapids, Iowa.

#### Assessment & Planning Experience

##### City of Ankeny

City Administration Master Plan  
City Hall and Public Library  
Ankeny, Iowa

##### Clive Public Library

Needs Assessment Study and New Library  
Clive, Iowa

##### Iowa Banker's Association

New Corporate Headquarters Facility  
Planning & Design  
West Des Moines, Iowa

##### DuPont Pioneer

Beale Seed Quality Laboratory\*  
Beaver Creek Laboratory and Office  
Facilities I & II  
New Transformation Laboratory (unbuilt)\*

Reid B. Facility Remodeling\*  
Reid E. Research Complex\*  
Johnston, Iowa

##### DRA Properties

Park Site Office Building 1 & 2  
Prairie Trail Retail Building Concept Design  
Ankeny, Iowa

##### Iowa State University

Advanced Teaching and Research Building  
Biorenewables Complex  
Ames, Iowa

##### 6200 Park Avenue

Master Plan  
Des Moines, Iowa

##### State of Iowa\*

Capitol Expansion Space Planning  
Des Moines, Iowa

##### Select Experience

**BAE Systems**  
New Corporate Headquarters Facility  
Cedar Rapids, Iowa

##### Krause Gateway Center

Kum & Go Corporate Headquarters  
Des Moines, Iowa

##### Delta Dental of Iowa

Corporate Headquarters  
Corporate Headquarters Expansion  
Johnston, Iowa

##### Sherman Associates River Point West

50,000-Square-Foot Office Building  
70,000-Square-Foot Office Building  
Des Moines, Iowa

##### Wells Fargo Financial Headquarters\*

Skyview Building  
Northstar Building  
Des Moines, Iowa

##### Iowa State University

Hansen Agricultural Student Learning  
Center  
Bassey Hall Remodel\*  
Ames, Iowa

##### University of Iowa

Art & Art History Building\*  
C. Maxwell Stanley Hydraulics Laboratory  
Levitt Center for University Advancement\*  
Iowa City, Iowa

##### Des Moines Public Library\*

New Central Library  
Des Moines, Iowa

\*Denotes work completed prior to joining OPN

## Team Resume



### Emmie Brady

Interior Designer  
Role: Interior Designer

#### Education

Bachelor of Fine Arts in Interior Design  
Iowa State University, 2012

#### Professional Affiliations

International Interior Design Association

Emmie joined OPN Architects in 2018. A graduate of Iowa State University, Emmie began her career in Texas, where she worked on a variety of projects, including tiny homes, residential, small commercial, and senior living. At OPN, she supports teams on a variety of project types, including providing expertise in work place design, furnishings, and finishes.

#### Assessment & Planning Experience

**Carroll City Hall**  
Carroll, Iowa

#### Principal

711 High Auditorium Renovation  
750 Park Renovation  
801 Grand Renovation Floors 4-23  
6200 Park Renovation  
Des Moines, Iowa

#### Select Experience

**Multi-State Lottery Association**  
Office Remodel  
Johnston, Iowa

#### Krause Gateway Center

Corporate Headquarters  
Des Moines, Iowa

#### ESO

Des Moines, Iowa

#### Greene County Community School District

New High School  
Regional Academy  
Jefferson, Iowa

#### Summermoon Coffee\*

Kyle, Texas  
San Marcos, Texas  
Austin, Texas

#### Kunik Orthodontics\*

Austin, Texas  
milk+honey\*  
Houston, Texas

#### UT Delta Tau Delta, Austin, Texas\*

Austin, Texas

#### Coastal Condos\*

Port Aransas, Texas

#### Private Residence, Krause Lane\*

Bee Caves, Texas

#### Private Residence, Laurel Canyon\*

Austin, Texas

#### Private Residence, Matthews Drive\*

Austin, Texas

#### Private Residence, La Arboleda\*

Dripping Springs, Texas

\*Denotes work completed prior to joining OPN

## Subconsultant Profile



### Our Mission

#### Core Values

Honest  
Caring  
Integrity  
Hardworking  
Helpful  
Painful

#### Purpose

Building - because people matter.

#### Niche

Leading projects.

### General Information

#### Name/Address

Story Construction • 2810 Wakefield Circle, Ames, IA 50010

#### Founded

1934 • James Thompson & Sons

#### Employee-owned merit shop with staff of approximately 150

11 Project Managers • 22 Superintendents • 17 Project Engineers • 13 Foremen • 26 Craft Employees  
• 7 Estimators • 4 Architects/Designers • 1 VDC Engineer • 1 Safety Program Leader • 1 Training &  
Recruiting Program Leader • 1 Pre-Construction Manager • 18 Office Support • 5 Warehouse Support

#### Board of Directors

Mike Espeset • President | Pat Geary • Chief Operating Officer | Shane Hall • Chief Financial Officer  
| Mark Kutchen • Board Member

#### Corporation licensed in

Iowa • Illinois • Indiana • Kansas • Kentucky • Louisiana • Minnesota • Missouri  
South Dakota • Wisconsin

#### Construction Production 2.0

Story believes in growing opportunities for our people and partners who share our ideals through safe, high-quality performance.

#### Find us

515.232.4358 office  
515.232.0599 fax  
info@storycon.com

[www.storycon.com](http://www.storycon.com)



## Subconsultant Resume



### Mark Kutchen

Estimating Manager

Stockholder

Role: Estimator

#### Education

Bachelor of Science, Construction Engineering

Iowa State University

#### Licenses & Credentials

Certified Professional Estimator

Estimator of the Year - American Society of Professional Estimators, Des Moines Area Chapter - 2003

Mark has more than 22 years of experience in the construction industry working as an estimator and a project manager, as well as acquiring valuable field experience as a carpenter apprentice and assistant superintendent. Prior to joining Story Construction in 1996, Mark was an estimator and project manager for a Minnesota-based general contractor. He now leads an estimating team of six individuals with decades of combined experience in the industry.

#### Select Experience

**Ames Community School District**

New High School

Ames, Iowa

**Ankeny Community School District**

Ankeny, Iowa

**Department of Administrative Services**

Des Moines, Iowa

**City of Marshalltown**

Marshalltown, Iowa

**City of Bondurant**

Bondurant, Iowa

**City of Story City**

Story City, Iowa

**Indian Hills Community College**

Ottumwa, Iowa



### Jamie Rochleau, LEED AP

Project Manager

Stockholder

Role: Project Manager

#### Education

Bachelor of Science, Construction Manager

University of Northern Iowa

#### Licenses & Credentials

LEED Accredited Professional

#### Professional Affiliations

Associated General Contractors Institute

Master Builders of Iowa Project Manager Academy

With 24 years of experience in the construction industry - 17 of which he's spent with Story Construction - Jamie is a proven leader with experience in a wide variety of project types and sizes. He's recently managed projects from industrial equipment and machinery installation to K-12 renovations and new construction. This experience has given Jamie the ability to think outside the box when it comes to building solutions.

#### Select Experience

**Ankeny Community School District**

Ankeny High School Baseball & Softball Facilities Improvement

Southview Middle School Phase 2 Addition

Rock Creek Elementary Addition & Remodel

Northview Middle School

Ankeny, Iowa

**City of Story City**

Community Recreation Center

Story City, Iowa

**City of Ames**

Ames Racquet & Fitness Center North

Ames, Iowa

**City of Norwalk**

Maintenance Facility

Norwalk, Iowa



**Project  
Understanding  
& Concept Plan**

## Project Understanding

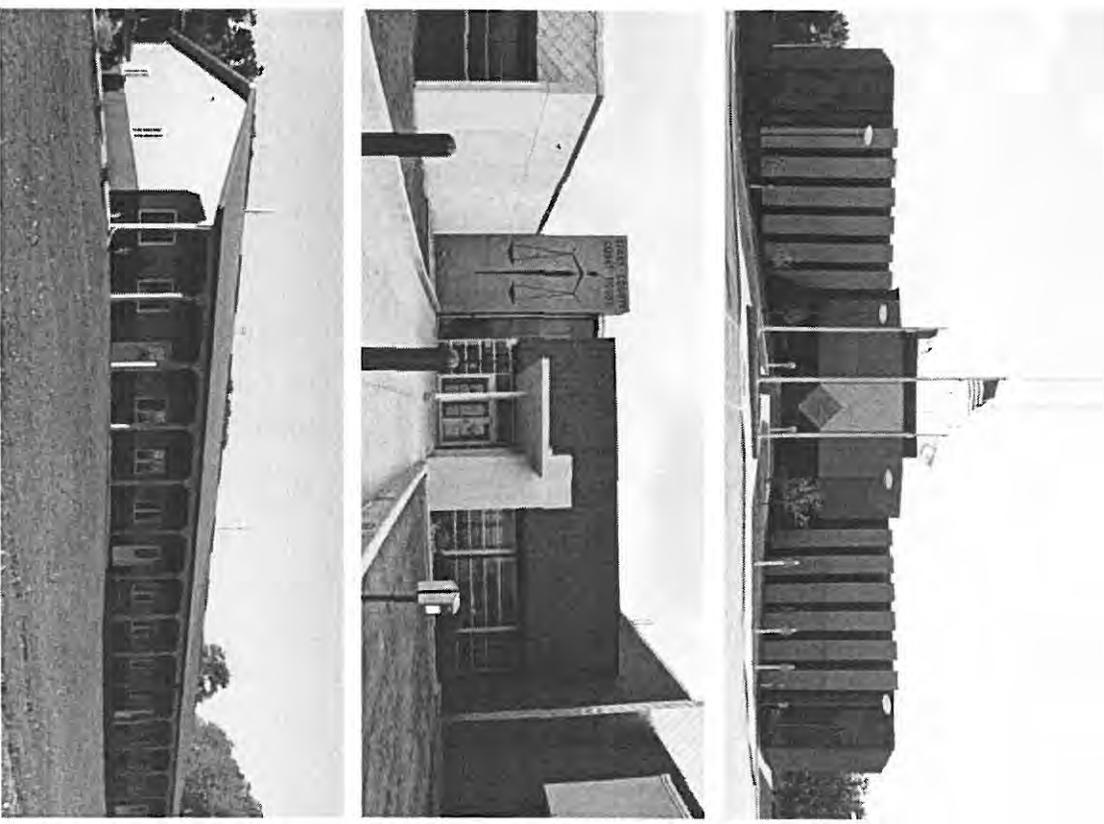
### We will work together to assess today's challenges and anticipate tomorrow's opportunities.

We understand that embarking on an effort to analyze and plan for the future of Story County and its facilities is a huge opportunity for both the County and the community. We know that our experience and expertise would be a perfect fit for your project. Our team is versed in facility assessments, space planning, concept design and helping our clients create a prioritized and navigable plan for the successful execution of your vision well into the future.

#### Our Team Will

- Conduct a comprehensive evaluation and assessment of Story County properties, including the Administration Building, Justice Center, Engineers Building, Human Services Center, Conservation/McFarland Park, and Animal Shelter to understand structure, utilization, and infrastructure systems. Evaluations will also address issues of security, privacy, storage, office and meeting space, as well as any identified code and ADA compliance deficiencies.
- Engage with the County, its departments, and identified stakeholders to gather information through interactive programming and planning sessions, as well as collaborative design charrettes.
- Analyze utilization of spaces and offer alternatives and recommendations that consider relocating, optimizing, expanding, or building new facilities to accommodate identified needs.
- Create graphics and imagery to support alternatives and recommendations that will assist with visually communicating design ideas to the County and the stakeholders.
- Provide holistic project cost opinions for each identified option or recommendation, as well as offer additional information on phasing and scheduling possibilities and advantages or disadvantages of each scenario being studied. Scenarios may also consider possible funding streams and timing that would inform phasing and execution of projects and construction.

Throughout this process we will engage with identified County stakeholders and department personnel to ensure that the proposed options work for you. Once the County has selected a path and is prepared to move forward with project execution, our team is ready to offer full design services, including schematic and design development, construction documents, additional cost estimation, assistance with public bidding and full construction administration services.



## Project Concept Plan & Methodology

We take a highly-collaborative and energetic approach to assessments, planning, and design. From day one, we'll begin a dialogue with you with the goal of establishing a broad-based vision for the Story County facilities. We will work with identified stakeholders to create a vision that will balance aspiration and transformation with a need for function and maintainable spaces in a fiscally achievable solution. We are confident that our team can help the county identify the multitude of programmatic opportunities, and merge these conversations into a cohesive plan that will help you move forward with confidence.

We understand that determining the appropriate direction for your facilities and having a clear understanding of your operational needs are extremely important to the success of your project. We are here to ensure that your needs are clearly identified at the onset of the project, consistently communicated and authenticated throughout, and delivered to align with the stated objectives. Additionally, we will ensure space maximization and utilization to accommodate your needs.

### Lay the Groundwork

We start by laying the groundwork together. Our team brings experience to the table, but we know every great effort must embody your aspirations. One of the best ways to do this is through dialogue. Before embarking on planning efforts, we will work with you to further develop goals and objectives, finalize the planning process and refine the schedule.

At our initial kick-off meeting, we will: introduce the team, establish a communication plan, identify charter goals. This conversation will also include pointed questions and discussions around architectural, emotive, and functional needs for your spaces.

### Task One: Existing Conditions Survey

Along with qualitative data, we will assemble and analyze quantitative data. This phase will involve building tours and field verifications. The physical condition of buildings and systems will be assessed. Assets and deficiencies of present facilities will be highlighted with respect to spatial use, infrastructure and building systems, and anticipated financial impact of potential solutions for short and long-range goals and objectives.

We'll study ways in which renovations can be prioritized and phased to align with funding and in order to minimize community and staff impact, and maintain building operations during project execution.



### Task Two: Visioning

Our design process is one that solicits input early in the visioning phases because doing so can make a project better representative of collective interests and help bring to light challenges that may impact a project in the future. Additionally, early engagement through a robust outreach program can help mitigate and manage potential opposition to a project.

Before design begins, we will conduct on-site listening sessions with identified groups to establish space requirements, functions, and any special nuances that may influence spatial needs. We understand that having a clear understanding of your operational needs is extremely important to the success of your project. However, also significant to this work is reviewing the mission, vision, values statements, demographic and economic information, previous planning and facilities studies, and historical and projected staffing data. We will focus on the needs specific to each department and user group, and compare against existing infrastructure.

At this point in the process, we will also hold obstacle and enable exercises, and other strategic relationship discussions, as well as review sustainability topics such as water, energy, health and happiness, materials, equity, beauty, and universal access.

# Project Concept Plan & Methodology

## Take Three: Conceptual Programming

We work closely with you to understand what works and what could work better. Tools used in the programming process include questionnaires, on-site work sessions and observation sessions. When combined, these tools provide a thorough understanding of the unique and changing requirements of your departments.

We'll analyze user demographics and evaluate how specific site, and other influences will affect the design. We'll spend time in the existing facilities to observe how areas are used, and we'll capture that information with photos, video and notes.

## Task Four: Concept Designs & Evaluation

During this phase, as design solutions start to coalesce, stakeholders are highly engaged and aware of progress throughout each step. Questions are discussed, alternatives considered, and resolutions reached. We pro-actively engage our clients in exploring creative solutions to the spatial issues that arise. We track space utilization metrics of prior projects and benchmarks to use as comparative data to test programming assumptions. Detailed program spreadsheets and diagrammatic sketches are then created using the information gathered in the programming process to quantify and verify the size and spatial relationships needed. The needs that have been identified are prioritized and the best use of the available space is determined to fit both today's needs and tomorrow's evolving needs.

We will review and evaluate existing physical, functional, aesthetic and environmental conditions of the facilities to determine appropriateness for future planning options.



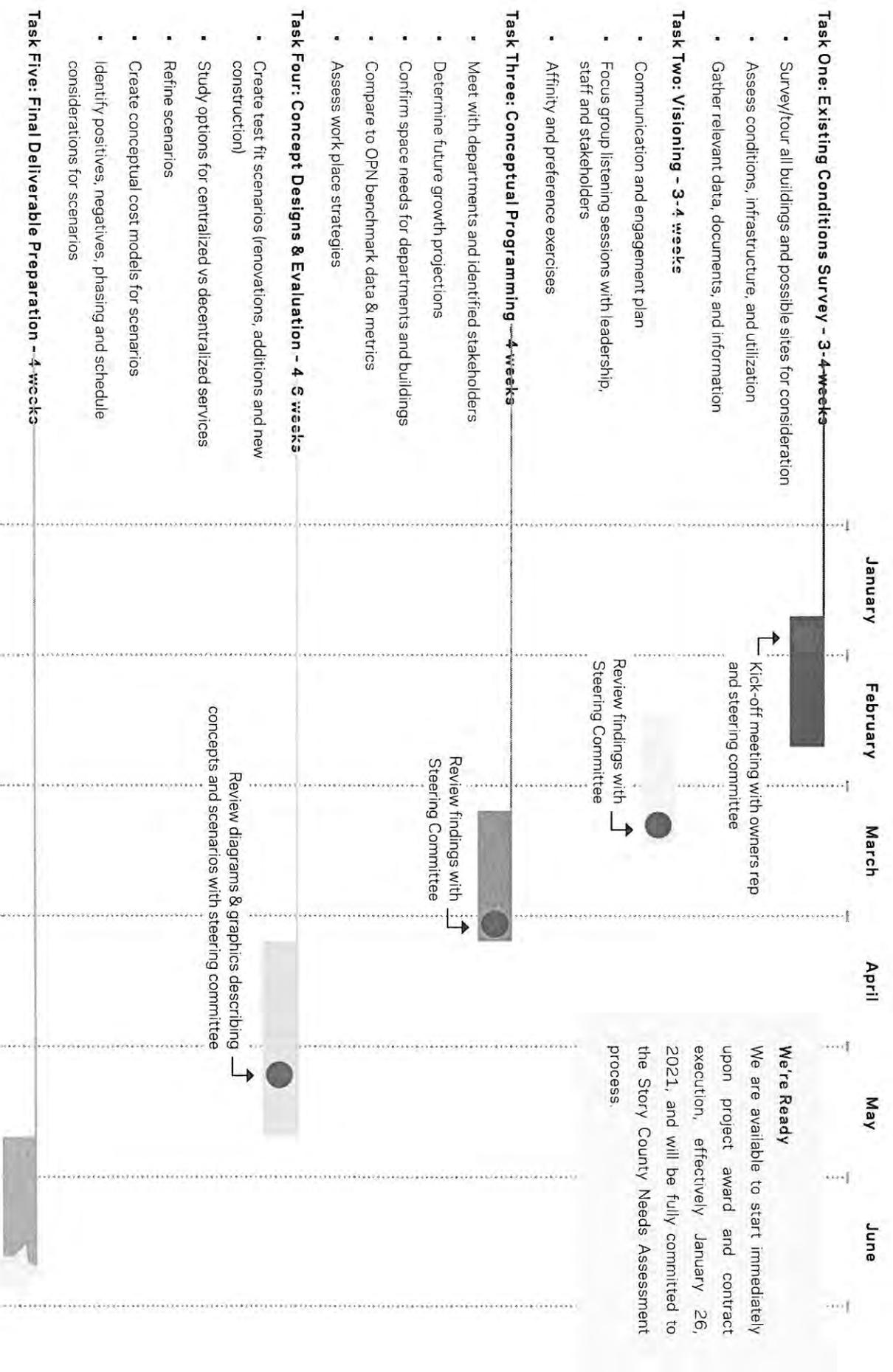
## Task Five: Final Deliverable

A final space needs analysis report will be provided in bound and electronic formats for the county's reference and use. The report will outline the facilities assessments and research, the visioning and programming objectives, the design concepts, and the budget and implementation strategies. The report will:

1. Propose a multi-year vision with short (5-year) and long term (10-year) projects that can serve as a road map for ongoing evolution and enhancement of the facilities over time in response to changing user needs and staff projections including specific plans for ongoing updates and performance monitoring throughout the lifespan of the plan.
2. Include an analysis of the specific issues and needs, strategies and opportunities, and challenges unique to each department, office or area of service.
3. Recommended solutions that will maximize efficiencies within county services, including a description of the project scope and needs as well as pros and cons and related cost and schedule implications.



# Schedule & Tasks



**We're Ready**  
 We are available to start immediately upon project award and contract execution, effectively January 26, 2021, and will be fully committed to the Story County Needs Assessment process.



**Distinguishing  
Services &  
Skills**

## Time & Budget Constraints

**We are proud of our track record of completing complex projects on time and within the budget.**

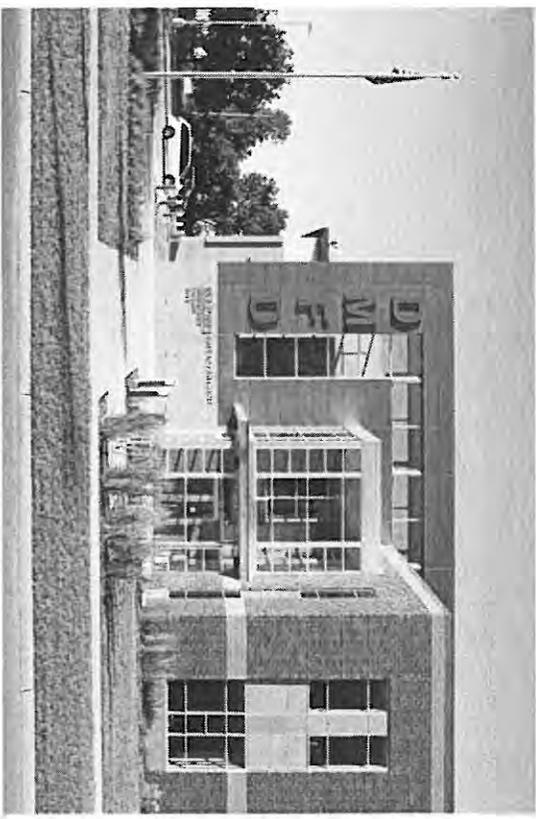
### Time Constraints

It is imperative to select a design team with experience managing phased, complex projects of this nature and size. Each team member and firm understands the paramount importance of schedule, and has excellent track records in quality control, which is maintained by keeping timing issues at the forefront of the project process and by resolving key issues at the appropriate times.

We believe a successful work plan must be developed in collaboration with all major stakeholders ahead of pre-design to ensure that everyone has the same expectations for project execution. OPN will work with the county's stakeholders and our consultant team to develop a complete and detailed work plan of all the tasks required to successfully complete this project. The work plan will inevitably evolve and be a living document that will be modified and updated as the project progresses, but it offers a series of checks and balances allowing adjustments to be made at appropriate intervals and ensuring the project is completed on-time.

### Cost Control

Our team is seasoned in working within budgets and regularly manages projects that range in budget from \$100,000 to \$200 million. We take the stewardship of Story County's resources very seriously. We regularly compare our costs to previous projects and review costs with contractors, subcontractors, and suppliers on specific materials and types of construction. Our internal processes combined with Story Construction's expertise provides you with a real-time understanding of construction costs. We understand that predicting and controlling costs is critical to project success, and we always strive to exceed expectations. Our team will work to make the best use of resources and maximize your budget.

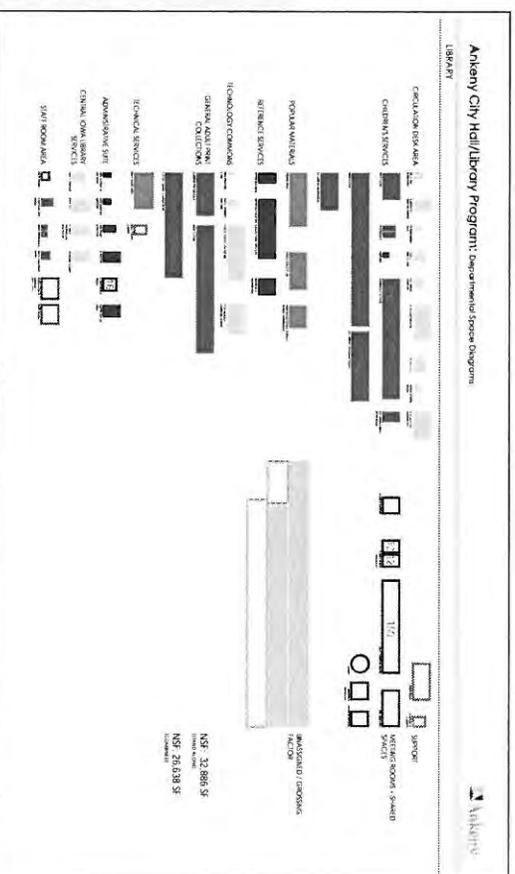
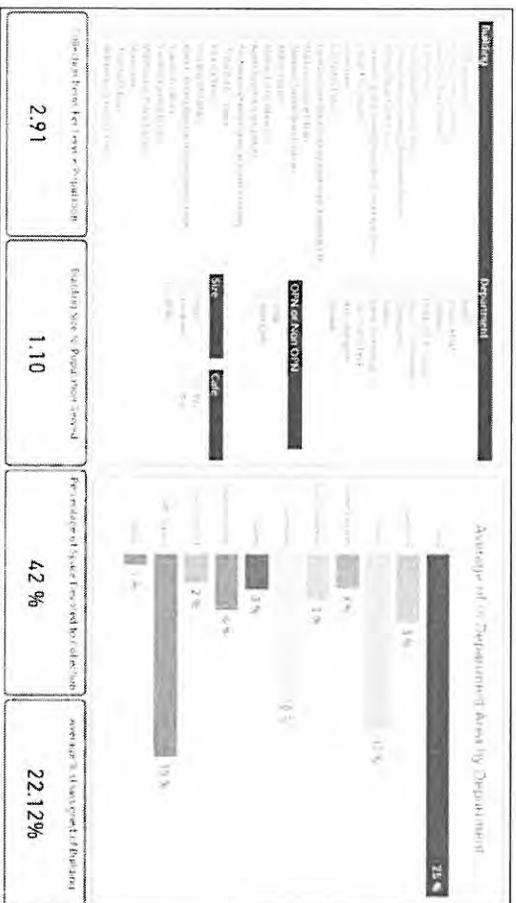


OPN bids average

**7% BELOW** estimate

for more than 150 projects  
over the past 5 years

## Data-Driven Planning



# Data-Driven Planning & Design



Many intuitive decisions are made during the planning and design process, but it is important we track data and utilize this in our decision-making too. OPN has a dedicated research specialist on staff to monitor and track space utilization, circulation figures, etc. for our projects. While this research is a work-in-progress, it provides real-world benchmarking and data-driven insights to inform our design and planning decisions. Rather than deriving our solutions from preconceived or abstract theories, we offer a process that is uniquely suited to your needs. Our design methodology includes strategies for understanding your internal processes, prioritizing decisions, and allocating resources to those efforts most likely to yield the maximum value. Creating engaging environments that encourage efficiency and productivity is the essence of our approach to your project. We will craft solutions that inspire our clients, create positive change, and set new paradigms for the future.

## Technology

### The best solution begins with listening to your needs, providing our insight and using the right tools to help develop those needs into attainable project goals.

Assessing and evaluating existing structures is a unique endeavor that often requires a multitude of tools and approaches to fully understand all conditions. At OPN, we bring a variety of the most advanced technologies to the table so that we can be prepared to address any condition in the most efficient and expedient manner. Below is a selection of our workflows and tools that we have to offer and that we feel set us apart from the competition.

#### 3D Scanning

Laser scanning offers a huge advantage over the traditional field verification process. In seconds a laser scan of a space or structure can collect 360 degree photographic and geometric data; a process that typically takes several minutes to hours when done by hand. Scans themselves are accurate to the millimeter, allowing our documents and designs to seamlessly integrate with existing buildings and infrastructure.

#### Drone Photography and Videography

OPN utilizes unmanned aerial vehicles as a way of surveying, documenting, and collecting aerial imagery and video. Our process involves assessing the needs of a project and determining the accessibility, safety, cost and scope. In collaboration with FAA guidelines, we create a project outline involving flight times, flight paths, scope of assessment, as well as a level of detail specification.

#### Project Visualization and VR/AR

OPN employs a number of methods to help clients visualize their project before it is constructed. One of those methods stands alone in its ability to convey our solutions and design intent with unparalleled speed and clarity to all project stakeholders. Virtual reality, or VR, and augmented reality, or AR, allows users to interact with a digital model by putting them "in the space" with the use of special goggles. The technology is still in its infancy yet we are finding it is the best way for our design teams and our clients to understand room layouts, the scale of spaces, material choices and lighting.



Click or Scan the QR code below to learn more about our range of tech-tools



- + Open your camera app
- + Hover over the QR Code
- + Click & Explore!



## In-House Interior Design Services



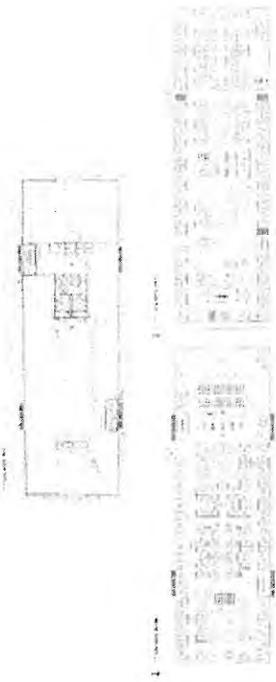
# in-house interior design team

As a multi-disciplinary firm with interior designers on staff, OPN offers truly integrated design services. Our trained and licensed interior designers bring a specific expertise in interior finishes, materials, and furnishings to your project. Throughout design, they are engaged in the process. Alongside architects and vendor partners they guide clients through visioning and programming to ensure they understand your functional needs and aesthetic preferences. As part of design development, they will create material boards and presentations to help you hone in on preferred palettes. Our interior designers can also assist in furniture selection and procurement by making suggestions that complement the interior architecture, verifying the layouts, quantities and styles before establishing a preliminary furniture estimate. During and after construction, we can provide full design services to create furniture plans and specifications for all products and finishes to be issued to vendors or we can work with your selected furniture supplier to coordinate a seamless and integrated end result.

**Project &  
Planning  
Experience**



## Project & Planning Experience



### Johnson County Facilities Analysis

Iowa City, Iowa

Year	Ongoing
Size	15,000 square-feet (3 buildings)
Cost	N/A

Johnson County's growth is outpacing projections. A growing population strains civic services. As a result, various offices within the County buildings have become both inefficient in layout and insufficient in size. The goal of this project was to perform a space analysis of the Johnson County Administration Building (JCAB), the Health and Human Services Building (HHSB), and the second floor storage spaces (used by the Auditor's Office and Facilities Department) of the Johnson County Ambulance and Medical Examiner Building (AME).

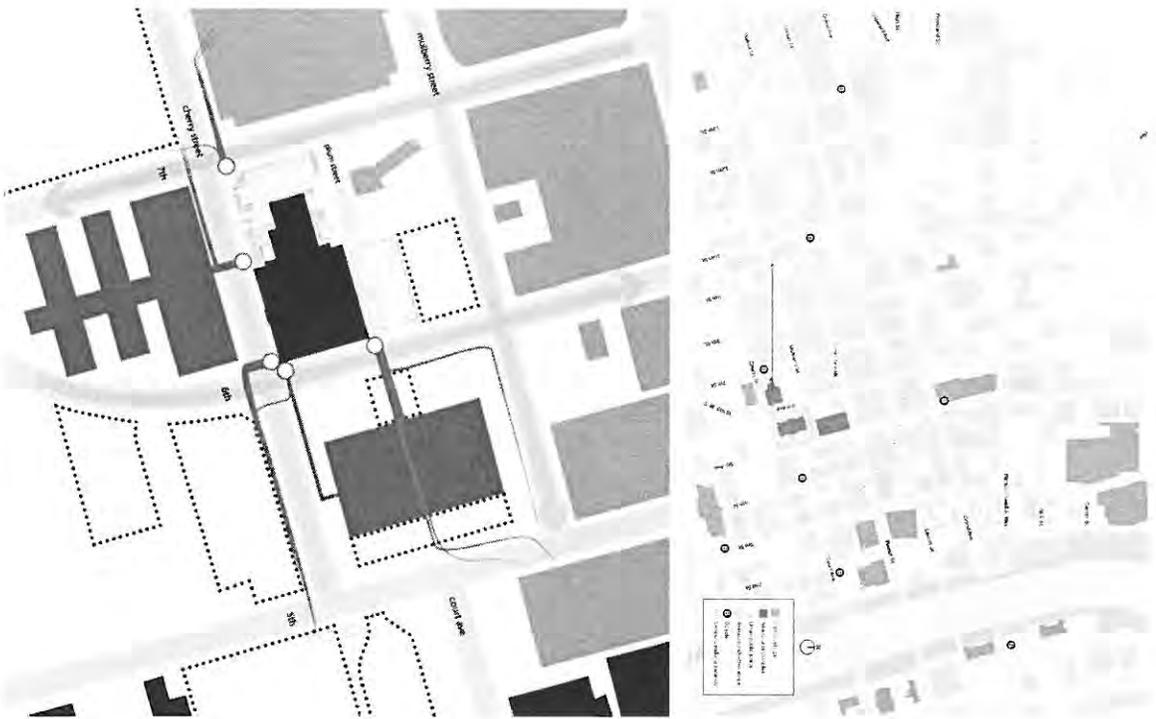
The study builds on Johnson County Community Service's Strategic Plan to provide a foundation for the design of a future office that is inspirational, collaborative, flexible, adaptable, and sustainable.

The analysis includes an assessment of the current space needs, as well as projected space needs for 20 years into the future.

In addition to physical assessments, the process included interviews with all department directors and elected officials who use the buildings to understand their current and future programmatic-related space needs and the space needs related to meeting rooms and public spaces. As a result, the new and innovative spaces proposed will offer quality service and support and will allow Johnson County Facilities' User Groups to maintain its tradition of service while enabling it to embrace change.



## Project & Planning Experience



### Polk County Courts Master Plan

Des Moines, Iowa

Year	2020 (project completion)
Size	406,260 square feet
Cost	\$81,000,000 (project cost)

In 2010, the local community voted to approve a referendum intended to address the existing overcrowded court system, building deficiencies, improve courthouse safety and security, and reduce the county's reliance on leased property for court-related functions. Nearly complete, the multi-phase Fifth Judicial District Master Plan ultimately realized three major projects:

#### Polk County Justice Center | 2016

A renovation of a former department store located in the heart of downtown Des Moines. The new Justice Center is home to the County Attorney's offices, juvenile court services, and 15 courtrooms, including: traffic, small claims, and juvenile courts, all with secure circulation.

#### Polk County Criminal Courts | 2019

The new Criminal Courts Facility transformed from an old 8-story County Jail. The building contains 6 high-volume courts and 4 criminal jury courtrooms, with the flexibility to add 5 more in the future. The building functions with

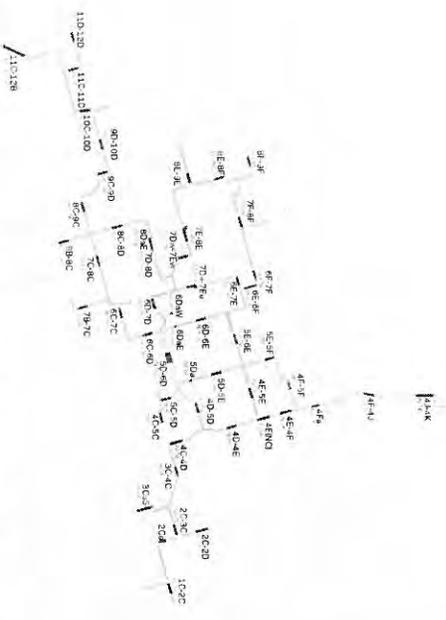
entirely separate and clear delineation between public, staff, and detainee spaces.

#### Polk County Historic Courthouse | 2020

Renovations at the historic courthouse are occurring in two phases. The first phase (2017) focused on revitalizing exterior limestone and metal. Phase 2 (2020) involves interior rehabilitation to bring the building back to its original grandeur.

Use of Indiana limestone, glass curtain walls, and zinc cladding at exteriors unify the urban courts exteriors and create a cohesive civic campus. These projects revitalized three underutilized, under-served buildings in an important re-developing area of downtown Des Moines. The courts are now accessible, transparent in their function, navigable, and welcoming.

# Project & Planning Experience



## Des Moines Skywalk Assessment

Des Moines, Iowa

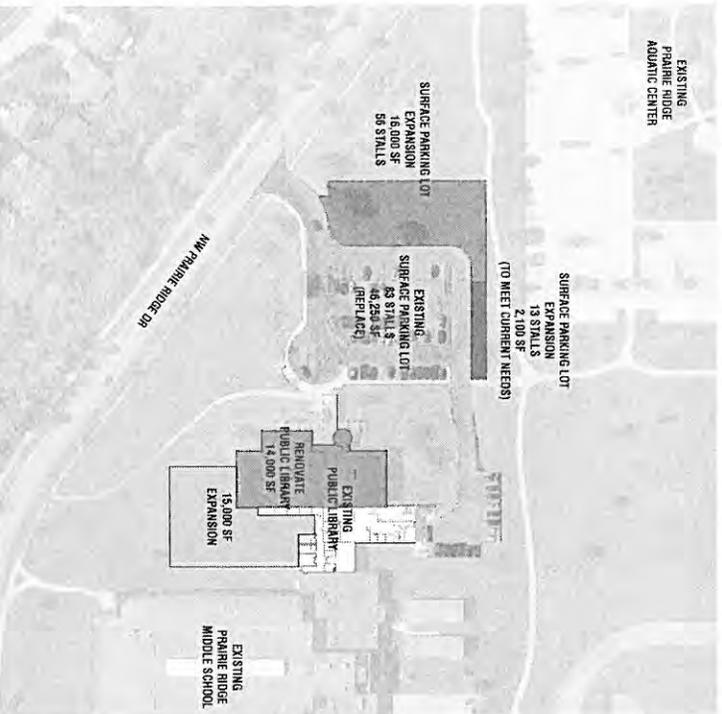
<b>Year</b>	2020 (assessment)
<b>Size</b>	53 skywalks
<b>Cost</b>	\$10,000 - \$352,000 (range of assessed value of work per skywalk)

The City of Des Moines selected OPN Architects to perform an analysis of the exterior integrity and envelope of each skywalk bridge. This included, but was not limited to, the roof, curtain walls, siding, building seals, and soffit. OPN investigated and evaluated the current exterior condition of each skywalk bridge and provided a detailed summary report enabling the city to make informed decisions about its future skywalk capital improvements budget and prioritize the construction/repairs at each skywalk.

Overall photos and dimensions were taken of each skywalk, which allowed for a larger perspective and identification of issues.

Color-coded heat maps were developed in order to represent the condition of the skywalks in a quick and digestible way to help easily identify skywalk issues. Upon completion of on site rating assessments, our team generated cost estimates for each bridge, which identify repair/replacement of architectural components/systems. OPN teamed with cost consultant Stecker-Harmesen to develop this data.

## Project & Planning Experience



### Ankeny Kirkendall Public Library and City Hall Assessment & Planning

Ankeny, Iowa

Year	2010
Size	55,000 square feet
Cost	\$15,000,000

OPN Architects was hired in 2010 to explore designs for a civic building for the City of Ankeny that would house City Hall and a library in the 1,200-acre Prairie Trail development. The vision for the 80-acre Town Center is built on the model of traditional Iowa town squares. Anchoring one side of the square will be a new structure to house the public library and city offices. The mixed-use facility was designed to incorporate civic, commercial, residential, educational, and retail components into a walkable, sustainable city center.

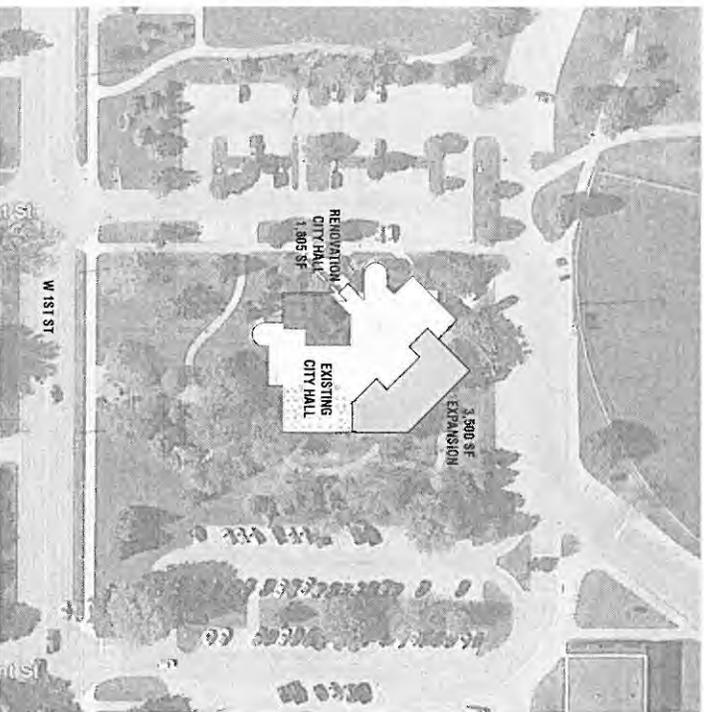
As part of the process, OPN engaged with all vested stakeholders in a series of public meetings and presentations. OPN presented concepts,

collected feedback from each group, distilled and incorporated feedback into the plans, and redistributed the results to all participants.

A facilities needs study was conducted in 2015 assessing all city-owned facilities including the existing library and city hall buildings, but due to funding, the project was shelved until 2016 when the city renewed efforts to bring a bond referendum to voters to fund the library in conjunction with civic trust funds and capital reserve funds.

OPN was brought back on board to design the library, which opened in late 2019 and also houses the city council chambers.

# Project & Planning Experience



## City of Ankeny Facilities Needs Study

Ankeny, Iowa

Year	2015
Size	N/A
Cost	N/A

The City of Ankeny hired OPN to complete a Civic Facility Needs Study to assess the conditions of numerous buildings occupied by Ankeny's work forces. The main purpose of this facilities study was to generate options and a recommendation concerning two buildings holding critical programming that were currently leased and up for renewal. The city explored options including relocating the 5 departments housed in the 2 leased facilities to other city-owned properties, purchasing a new building, or renewing existing leases.

As part of this study, OPN helped to assess the programming and spatial requirements of the following facilities: City Hall, Ankeny Public Library, Ankeny public services building, the parks and recreation building, the parks maintenance facility,

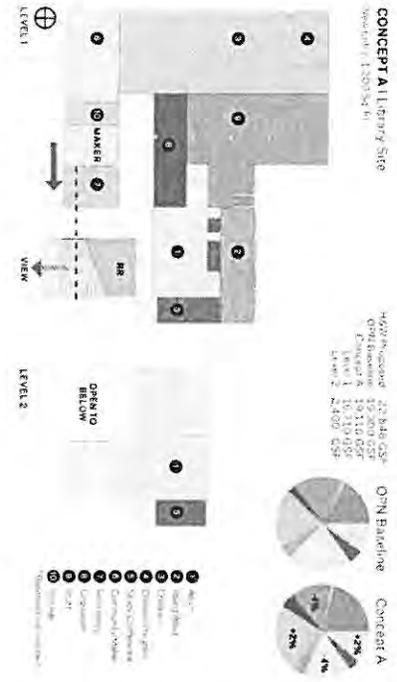
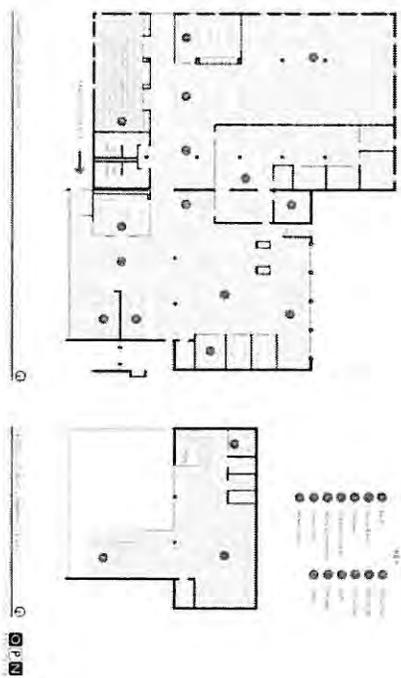
the former police station, the art center, the sewer treatment facility and an unused city building in the Uptown area, in addition to one potential acquisition building.

All strategies sought to keep public administrative facilities separate from maintenance facilities. Maintenance facility administration is located with maintenance staff. At the time of this study, it was also recommended that the Ankeny Art Center building remain as-is as the benefits of including the building as a possible relocation site did not outweigh what the Ankeny Arts Center has established for the community.

OPN's assessment proposed a total of 9 options for consideration. A projected construction cost estimate was included for each proposed strategy.



## Project & Planning Experience



### Carroll Public Library and City Hall Needs Assessment and Feasibility Study Carroll, Iowa

<b>Year</b>	2016/2017 (Feasibility study)
<b>Size</b>	20,000 square feet (Library) 9,000 square feet (City Hall)
<b>Cost</b>	\$6,800,000 (total estimated project cost)

In 2016, Commercial Savings Bank gifted the community of Carroll its former building allowing the city to expand and relocate their co-located city hall and library. OPN Architects was hired to conduct a feasibility study to provide a vision for the future of the Carroll Public Library and City Hall. This study included a needs assessment, review of existing facilities, and a concept-level cost estimate, which allowed the city to call a referendum in August 2017 to fund the relocation and expansion.

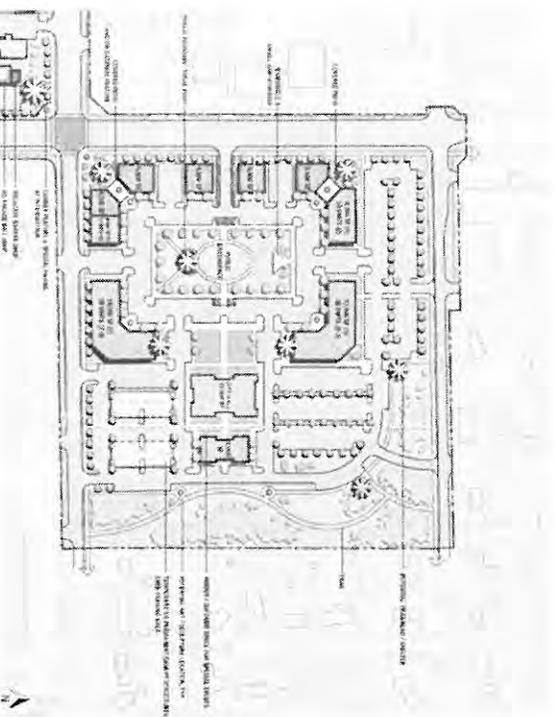
The preferred concept was the result of multiple design exercises with feedback from the community, patrons, and staff. The concept, approved by the city in May 2017 involved moving the existing City Hall offices and functions to the Commercial Savings Bank building. The existing library, built in 1975 as part of a community center project was renovated and expanded into the vacated space. A new entrance was also added to the building's north side.

The library became a two-story facility with an all-glass lobby and spaces designed for the community, not just the collection.

At the new City Hall, the single-floor design brought the City Council chambers onto the same floor as the city offices, making the building more convenient for visitors.

The preferred concept was the result of multiple design exercises with feedback from the community, patrons, and staff. The concept, approved by the city in May 2017 involved moving the existing City Hall offices and functions to the Commercial Savings Bank building. The existing library, built in 1975 as part of a community center project was renovated

# Project & Planning Experience



## City of Johnston - City Hall Planning & Feasibility Study Johnston, Iowa

<b>Year</b>	2020
<b>Size</b>	22,853 square feet
<b>Cost</b>	\$9,328,000

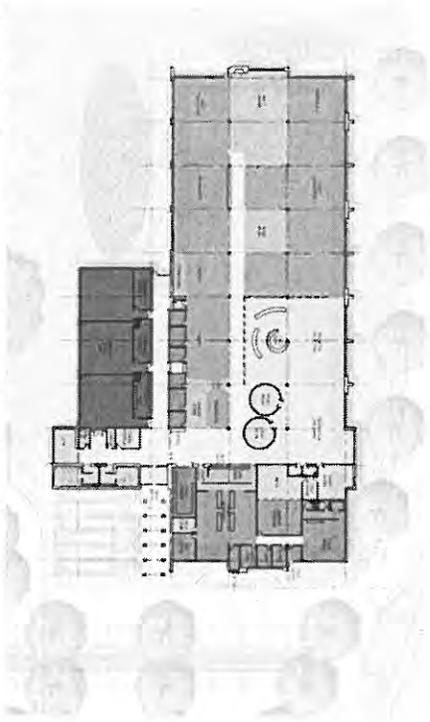
In May of 2017, the City of Johnston began a study to determine current and future space needs for City Hall. The process began with an analysis of space needs for Council Chambers, City Administration, and Community Development departments. The resulting building areas were developed into site test fits for three different locations.

Using the square footage determined during the space needs analysis, test fits and estimates of probable cost were developed for the three possible City Hall locations: Town Center, Library Campus and Wallace Elementary.

The three options were presented to Council during the November Council Session. The Town Center location emerged as the preferred option based on Council and City Staff feedback.

The Town Center location will help promote economic development and will act as an anchor to the new development. The following diagrams illustrate the three locations studied and include the cost opinions for each.

## Project & Planning Experience



### Clive Public Library Facility Planning and Design

Clive, Iowa

<b>Year</b>	2006
<b>Size</b>	52,000 square feet
<b>Cost</b>	\$11,600,000 (estimated)

OPN designed a 52,000 sf single story library for the City of Clive. The existing library shares a complex with the City Hall, and was built to temporarily fill the needs of the city. Clive's Masterplan estimated that a freestanding library would be needed in the community within a five year period. Since that time, the city had been looking into design solutions to accommodate the growing population of Clive.

The proposed library design was designed to be organized for maximum flexibility to accommodate every visitor. The programming of the Clive Public Library focuses heavily on growing families' needs. Attention to designating spaces for children, teens, teens and adults was a primary focus of the project.

For instance, the adult collection features a separate lounge, study room and periodicals section. The young adult area is adjacent from the children's collection, as to specify an area of study away from any noise or activity in the children's area.

The children's collection features two story rooms and an "Imaginarium Area" that is next to a craft room. This location allows librarians and staff easy access to materials during special activities for children.

Community rooms are available for public use, and are located next to the front entrance both for ease of access and to minimize disturbance to library patrons.

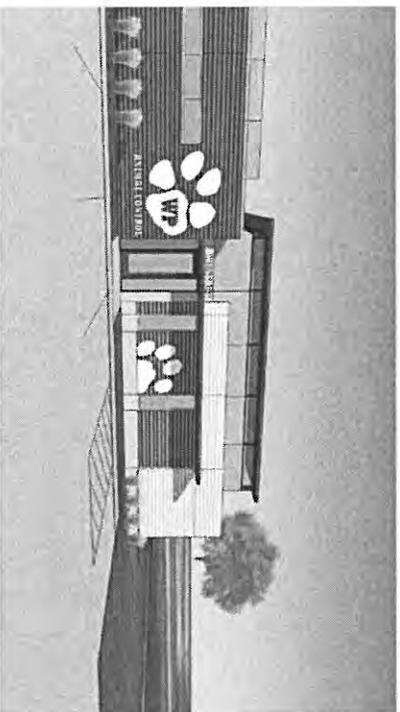
The project sought to pass a bond referendum to support the construction costs of this project. OPN assisted the Library through marketing support services to inform the public of the project plans and rally community support.

On July 18th you will have an important decision to make!

Clive's of Clive will go to the polls to determine if they will have a new library building. The vote will be held July 18th. Make an informed decision. [www.opnarchitects.com](http://www.opnarchitects.com)



## Project & Planning Experience



### WestPet Animal Control Facility Planning and Feasibility Study

West Des Moines, Iowa

<b>Year</b>	2012
<b>Size</b>	Phase I: 6,200 square feet; Phase II: 3,000 square feet
<b>Cost</b>	\$4,306,520 (initial construction budget)

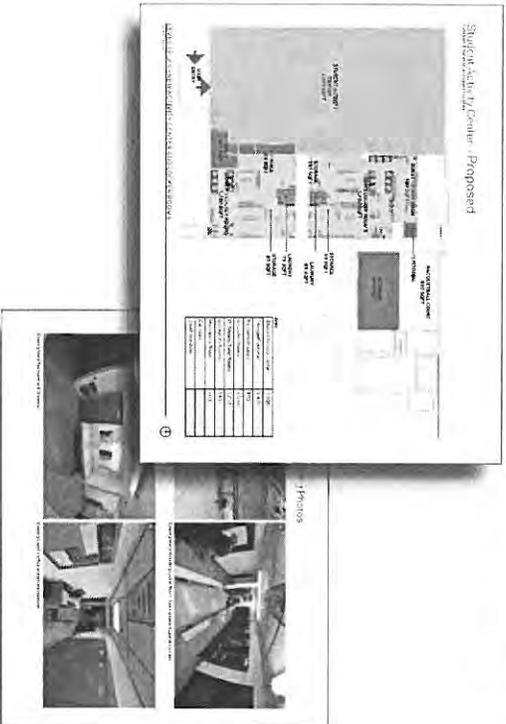
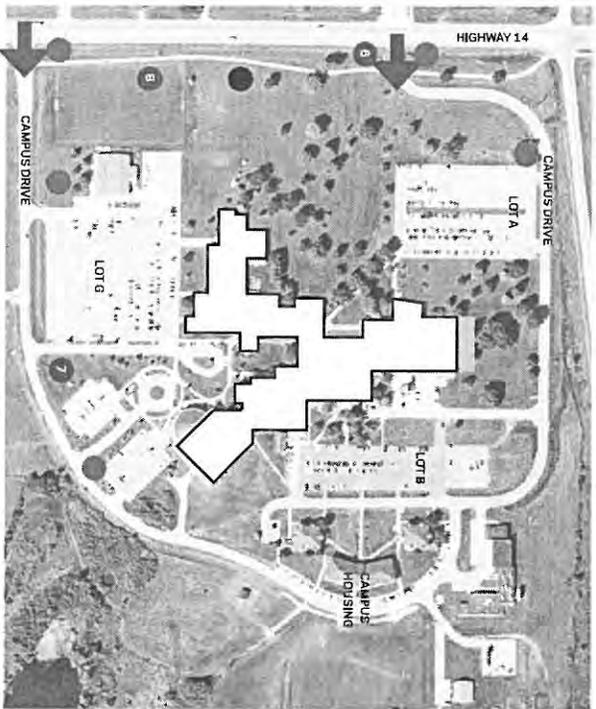
In 2012, the cities of West Des Moines, Clive, and Urbandale, Iowa, came together to form the WestPet partnership, a resource for pet licensing, lost pet services, and animal control. Built in the 1980s, the existing West Des Moines animal shelter was designed to support the then-community of approximately 20,000. This number has increased nearly sixfold, and the present-day commands are too much for the antiquated shelter.

WestPet hired OPN Architects to develop schematic designs for a new, modern animal shelter. This new shelter will provide a safe, comfortable, and adequately sized space for the partnership's services. The new building's program includes:

1,300-square-foot garage with storage space for cages and equipment; 2,750 square feet of animal holding space, divided between cats, dogs, and mammals, as well as various levels of health and safety; an animal work area; an animal evaluation area; an outdoor exercise yard; 425 square feet of administration and office space; and a welcoming front entry complete with reception and a main hall.

An expansion has been designed for future phases of the project, which will add three exercise yards, grooming spaces, and 1,500 square feet of additional animal holding space. The project is currently seeking funding.

# Project & Planning Experience



## Iowa Valley Community College District Masterplan

Marshalltown, Ellsworth, and Grinnell, Iowa

<b>Year</b>	2020
<b>Size</b>	3 Campuses
<b>Cost</b>	\$9,750,000 (estimated MCC scope) \$8,770,000 (estimated ECC scope) \$950,000 (estimated GCC scope)

OPN Architects began working with Iowa Valley Community College in March 2020 to master plan and lay out a road map for prioritizing projects on all three IVCCD Campuses: Marshalltown, Ellsworth and Grinnell. Existing conditions were documented and analyzed, and a list of projects was defined including probable costs and budgets. The plan outlined projects that could be consolidated into single design-bid-build deliveries to make the best use of the College's resources and minimize disruption to students.

The design team toured all campuses with the facilities director to understand context, departmental use, overall space utilization, level of finish, adjacencies, and building systems.

Planning efforts kicked off just prior to COVID-19 related shut downs state, so after the first in-person kick-off meeting, all user-group and planning sessions were handled virtually via video conferencing. User groups consisted of faculty and facilities members, building users, and leadership.

Each Campus was reviewed independently consolidating scopes of projects by geographical location to encourage competitively bid projects. Despite the three different campus locations being reviewed separately, a series of standards will be implemented at a district level to ensure that IVCCD feels like a connected campus.

### Selected Projects

#### Marshalltown

- Library & Success Center Consolidation & Renovation
- Science Lab Renovation and size Reduction
- Computer Labs Reconfiguration and Specialized for networking and competitive video gaming E-Sports Lab

#### Ellsworth

- Activity Center and Restroom/Locker Updates
- Additional/Updated Student Housing

#### Grinnell

- Reconfigure computer labs for state's only Gunsmith Technology program

# Project & Planning Experience

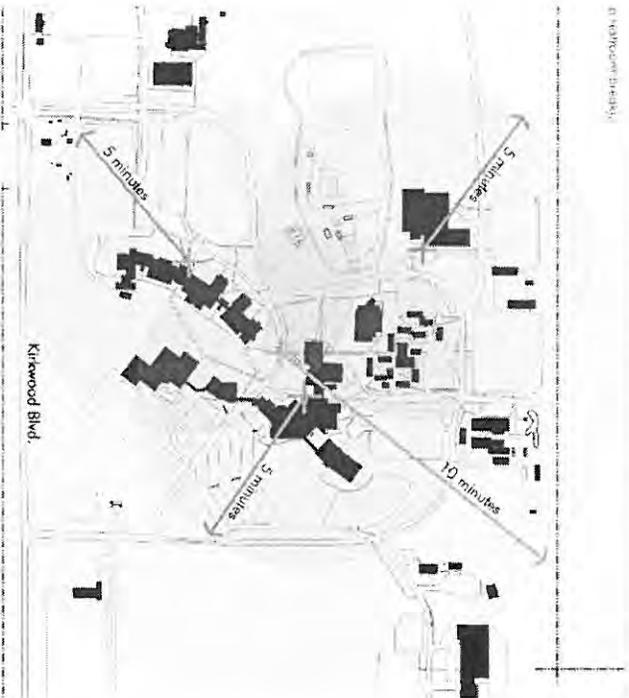
## Kirkwood Community College Masterplan

Cedar Rapids, Iowa

Year	2009
Size	1.65 million square feet
Cost	\$27 million



© Kirkwood Community College



OPN has been working with Kirkwood Community College for more than a decade. Kirkwood's campus covers 680 acres, including a 400-acre working farm on its main campus. The 27+ buildings hold more than 1.65 million square feet of interior learning space and a 15-acre athletic complex. The most recent Master Plan identified a number of new projects, and their potential locations on campus. The plan included broad-scope cost estimates, program summaries, and a tiered implementation schedule. The Master Plan was a significant tool for planning the use of \$27 million in funding and led to a clear implementation strategy of the following facilities:

### The Hotel at Kirkwood Center

An upscale 71-room hotel, complete with an elegant gourmet restaurant, is operated by a full professional staff, and assisted by our Hospitality Arts students.

### Healthcare Simulation Center

Health care students receive hands-on experience in crisis situations in the \$3.6 million emergency medicine simulation lab.

### Jones Regional Education Center

At approximately 30,000 square feet, the center houses state-of-the-art classrooms, career and technical labs for academic programs, and administrative offices.

### Benton/Cedar Academic Wing

The \$14 million academic wing added 90,000 square-feet of classrooms and offices for English, Institutional Effectiveness, Learning Services and Social Science departments.

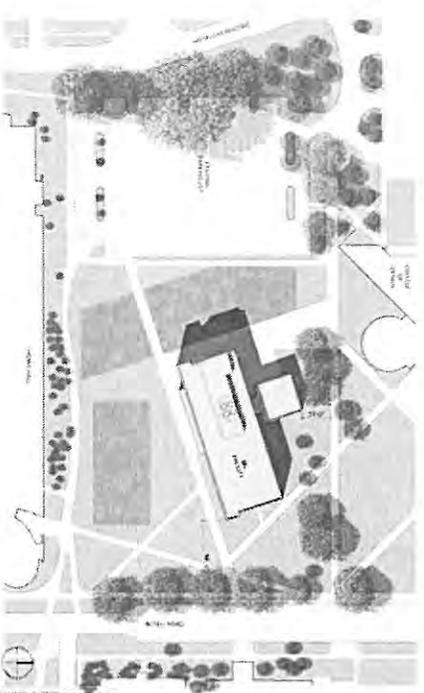
### Horticulture/Floriculture

The 32,000-square-foot horticulture building features state-of-the-art energy efficiency, including geothermal heating and cooling, fully automated controls, plus a roof system that catches rainwater for use in the greenhouses and landscaping areas.

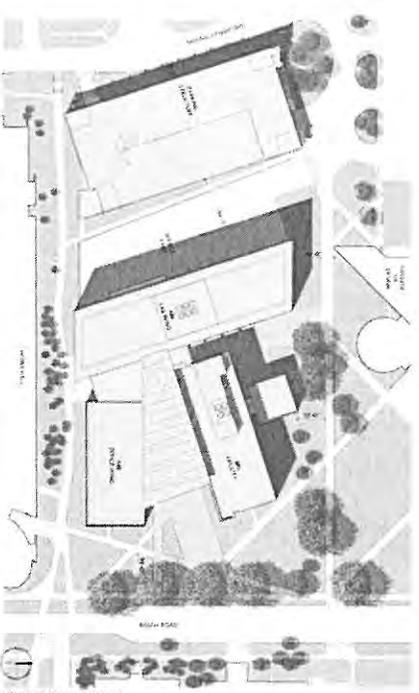
### Jones Hall

The center of industrial technology at Kirkwood, Jones Hall received an \$8.5 million makeover in 2008. 2011 brings another addition, with a wing to house parts of a wind turbine for the new Energy Production & Distribution program.

## Project & Planning Experience



Phase 1



Phase 2

### Biorenewables Complex ABE/BRL Planning and Design

Ames, Iowa

**BRL** 2010: 70,300 square feet;

\$24,231,750

**ABE** 2014: 184,500 square feet;

\$24,231,750

**LEED** Gold

The Biorenewables Complex at Iowa State University establishes an interdisciplinary node for 50 research and teaching laboratories engaged in the investigation of biorenewable resources — plants and crops that can be used to produce fuels, chemicals, materials, and energy. The project showcases the transformative potential of agricultural research as researchers work to feed the world and transform waste into fuel.

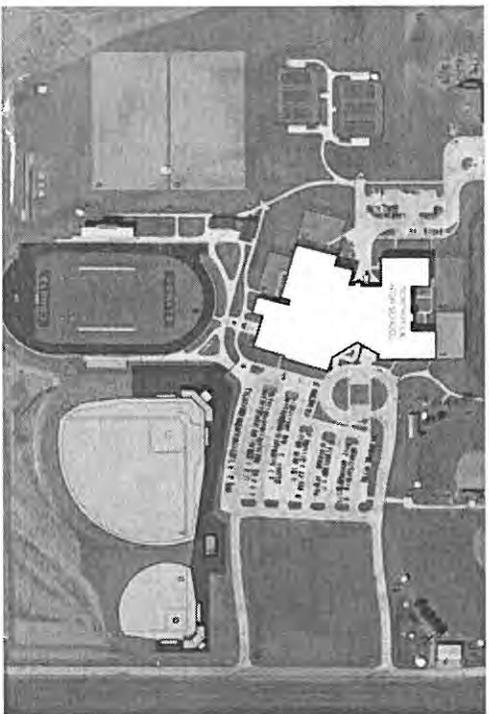
OPN, in partnership with ZGF, worked with the University to program and plan how the complex would be realized. Initially a concept was studied which would have included three buildings with

a stand-alone parking structure as support. As concepts were weighed and validated by the University, they opted to construct the complex in two phases instead.

Phase I saw the design and construction of the Biorenewable Research Laboratory (BRL). Phase II involved the construction of the Agriculture and Biosystems Engineering (ABE) building. The entire complex includes approximately 220,000 gross square feet of laboratories, classrooms, offices, and a central atrium that joins the two buildings.

*Designed in collaboration with ZGF Architects, LLP.*

## Project & Planning Experience



### North Polk Community Schools Masterplan

Allaman, Iowa

Year	2019
Size	N/A
Cost	\$45,106,400 (project cost)

In February 2019, the North Polk Community School District retained OPN Architects to help develop a Facilities Master Plan for the district. The focus of the work was to leverage past reports and studies completed by the district and couple that information with observations made by OPN and its Design Team through building tours and information gathering sessions with key stakeholders.

This work was separated into 3 Phases:

#### Gather and Analyze

The design team gathered and reviewed existing conditions data, including district structure and growth projections. The design team reviewed district-developed options for expansion, established interview schedules and formats for obtaining feedback, and conducted interviews the district administrators and school board members.

#### Concept Development

The design team, in conjunction with district leadership, developed and reviewed multiple options which led to the concepts documented in the Masterplan. Each option included high level program options for future space needs with existing building infrastructure, new build and demolition options.

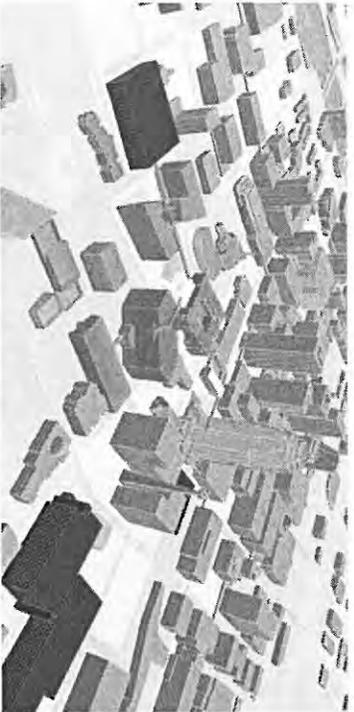
#### Report

The final report outlines a Phased Preliminary Order of Magnitude Capital Plan for North Polk Community Schools. The plan prioritizes concepts and project intent, and offers a timeline for implementation of each priority project. Plans are cross-referenced with funding sources and capacities over the course of ten years.

OPN Architects was retained to complete the design work for the first phase of the masterplan, and design work is currently underway.



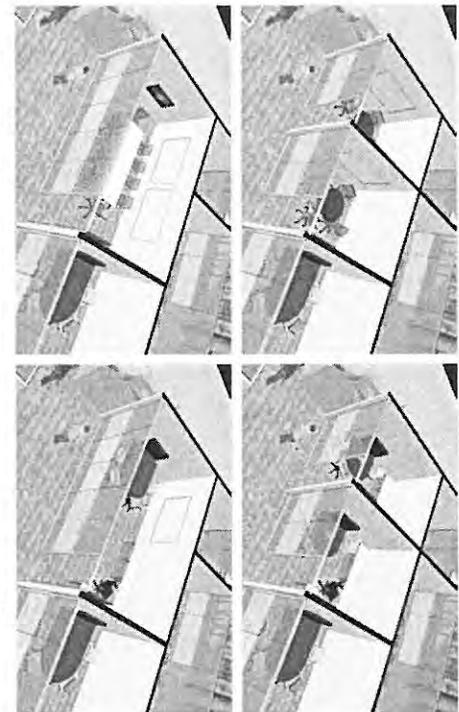
## Project & Planning Experience



### Principal Master Plan

Des Moines, Iowa

Year	2011 / 2012 (Master Plan) 2013-2020 (Design/Construction)
Size	2,300,000 square feet
Cost	\$400,000,000 (project cost)



In 2011, OPN started working with Principal to redesign its corporate headquarters in downtown Des Moines. Our work began as a straight-forward study of the campus environment with the goal of modernizing existing facilities and consolidating open space. With leadership from Principal, the design team embarked on an intensive discovery process. We began by analyzing the existing campus and buildings while concurrently conducting in-depth conversations with Principal about history, culture, work practices and the company's vision for the future. It quickly became clear that Principal had an opportunity to re-imagine its environment and work practices.

We know that the workplace of tomorrow will be remarkably different from office spaces of the past. Advances in technology that were inconceivable a

decade ago are radically changing the corporate landscape. Leadership at Principal embraced the prospect of designing its flagship campus to meet the demands of tomorrow. The team conducted an 18-month expedition to articulate a vision for the future. Twenty-two parallel work streams were established to examine facets of Principal as diverse as recruitment, flexibility, inclusiveness, collaboration, wayfinding, and the impacts of mobile technologies. The result was a comprehensive plan to modernize Principal's campus to meet the needs of the future.

Principal has since retained OPN Architects as the firm to implement the plan. The work addresses more than 2.3 million square feet of spaces, with the final phase set to wrap up in 2020.



## **Fees & References**

## Fees

### Professional Fee

Based upon the RFP published December 1, 2020 on the Story County website, we have developed our scope of services and professional fees upon the following criteria:

Site Locations housing approximately 270 employees in Story County owned facilities, including the Administration Building at 900 6th St. Nevada, the Justice Center at 1315 S. B Ave, Nevada, the Human Services Center at 126 S. Kellogg, Ames, Secondary Roads/Engineers Building at 837 N. Ave, Nevada, the Story County Animal Shelter at 975 W. Lincoln Hwy, Nevada, and Story County Conservation at 56461 180th St. Ames.

### Compensation

The professional fee for developing the scope of services outlined in this proposal will be a lump sum fixed fee of:

**Thirty-two Thousand, Five Hundred Dollars (\$32,500.00)**

Plus additional services or reimbursable expenses if necessary

### Terms and Conditions

This fee will cover services and activities required to accomplish the scope of work within a time frame of five months. Should the project timeframe extend beyond this, as a result of conditions not under the control of OPN, fees may be adjusted to align with the effort extended. Final accepted proposal will be solidified in the form of a contract between Story County and OPN Architects. Optional additional services can also be reviewed, should the City be interested in pursuing any.

The project will be invoiced monthly as a percentage of work completed and commensurate with the work plan schedule. Any services if required beyond those described within the Agreement will be reviewed with the client to understand impact to scope of work or related fees.

### Reimbursable Expenses

Reimbursable expenses are in addition to the above fee. Reimbursable expenses include: authorized out-of-town travel, courier services, express mail, plan review fees, reproduction of project documents, photography, out-of-house digital processing, physical models, meals and mileage at the government standard rate.

### Exclusions and Optional Additional Services

- Digital Utilization Tracking
- Digital Lidar Scanning of Existing Buildings
- High Resolution Rendering Images
- Virtual Fly-throughs (VR or AR)
- Site Surveying and Civil Engineering
- Landscape Design
- MEPT Engineering
- Structural Engineering
- FFE Design/Selection and Procurement Services

We understand that embarking on an effort to analyze and plan for the future of Story County and your facilities is a huge opportunity. We know that our experience and expertise would be a perfect fit for your project. Our team is versed in facility assessments, space planning, concept design and helping our clients create a prioritized and navigable plan for the successful execution of your vision well into the future. We would be honored to be a part of your project!

## References

### City of Carroll

Mike Pogge-Weaver, City Manager  
(712) 792-1000  
Rachel Van Erdewyk, Librarian  
(712) 792-3432

### City of West Des Moines

Linda Schemmel, AIA  
Development Coordinator,  
City of West Des Moines  
515) 222-3620

### City of Des Moines

Calvin Miller  
City of Des Moines, Skywalk Facility Manager  
(515) 283-4748  
cbmiller@dmgov.org

### City of Ankeny

Sara Mitchell  
Director of Library Services  
(515) 965-6460

“

### Polk County

“OPN has diligently worked with us to not only create a road map to execute work on the Polk County 5th District Courts in downtown Des Moines, but they have also been a trusted partner throughout the process. Each step of the way, OPN has engaged patrons and users to capture unique perspectives. They have been adept at fostering the process while keeping us, as the client, involved and informed by establishing milestone dates along the way and offering project updates which include current design challenges, cost estimates, and schedule updates. Through construction OPN has remained responsive to both our owner group and the construction team to maintain an accelerated schedule.”

— John Rowen, Director, Department of  
General Services, Polk County



[opnarchitects.com](http://opnarchitects.com)



Story County, Iowa  
Space Needs Assessment  
RFP for Architectural Design Services

December 28, 2020



December 28, 2020

Story County Board of Supervisors  
c/o Leanne Harter  
County Outreach and Special Projects Manager  
Story County Administration  
900 6th Street  
Nevada, IA 50201

Dear Ms. Harter,

Thank you for the opportunity to provide you with the attached Submission and Proposal. We are very excited about the possibility of working with Story County again and appreciate being able to provide you with our information. We feel our previous work on similar type projects, our strong design team, broad base of experience, and commitment to service would be valuable assets to Story County.

Our extensive experience will provide an ideal framework to address your needs. Every time we begin a project, regardless of apparent similarities, we find a unique set of circumstances including the needs of individual user groups, owner expectations, site constraints, and a variety of additional factors. Our strength is our ability to bring together these many different aspects and, through teamwork, arrive at a solution that is pleasing and successful to everyone involved. We urge you to contact our previous and current clients and discuss our approach to design and construction. We are proud to report that our typical workload of projects consists of nearly 90% repeat clients.

We are a small Iowa firm, and as such will work as hard as we possibly can to ensure a successful project for Story County. We would be very proud to help shape the future of your facilities.

If you have any questions, please feel free to call. We look forward to hearing from you.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jeffrey S. Harris', written in a cursive style.

Jeffrey S. Harris AIA  
Principal

Att: RFP Response



### 1. Vendor

Roseland Mackey Harris Architects, P.C.  
1615 Golden Aspen Drive, Suite 110  
Ames, IA 50010

Primary Contact:  
Jeffrey S Harris, AIA  
Principal

### 2. Project Manager

Jeff Harris will serve as Project Manager for this project with Story County. Mr. Harris has participated in programming and facility planning services in central Iowa for over 30 years. His experience includes countless projects for McFarland Clinic including renovations to accommodate department growth as well as wholly new facilities to combine multiple individual service providers under one new roof.

### 3. Services Required

RMH Architects proposes to provide a full existing facility assessment and programming for current and long-term facility needs in Story County. Our work will involve investigation, evaluation, and planning services for the six existing facilities utilized by Story County and approximately 20 county departments. At the completion of our services the county will have a long-term road map to plan facility capital improvements.

A brief outline of our services is as follows:

#### Investigation Phase                      3 - 4 Weeks

- Review existing conditions for all county departments and facilities
- Review current county properties to determine space use and efficiencies
- Meet with all Story County department leaders to review current and future staffing and anticipated facility needs
- Prepare departmental programming summaries to document current and future needs
- Review programs with each department and finalize 5- and 10-year summaries
- Present final programming document for each county department

#### Evaluation Phase                        3 - 4 Weeks

- Evaluate all existing county facilities for potential realignment of departmental spaces
- Review alternative space utilization strategies
- Evaluate space sharing possibilities between related or adjacent departments
- Review inter-department relationships to evaluate best case efficiency scenarios
- Analyze phasing of departmental growth strategies to minimize expansion needs and timing



Planning Phase 6 - 8 Weeks

- Prepare schematic planning solutions to address current and long-term needs utilizing existing county facilities
- Determine deficiencies with existing facilities with relation to current and future growth needs
- Prepare schematic planning solutions for proposed building modifications or additions to address current and long-term needs
- Review existing building infrastructure to support proposed alternations or additions
- Review schematic solutions with county departments and facility leaders
- Revise solutions based on county feedback
- Analyze and document pros and cons of all planned renovations or additions
- Investigate land availability for planned additions or new facilities
- Prepare budget estimates for potential projects in current dollars for utilization in county capital planning process

#### 4. Personnel/Firm Skills

RMH Architects has worked on more than 600,000 square feet of projects for a local health care clinic with over 200 physicians at multiple clinic sites within the state of Iowa. Our projects for a central Iowa hospital have included additions, remodelings and planning studies for a full facility replacement. As design consultants to a leading manufacturer and distributor of animal health care products in over 100 countries, we have honed our skills working on project teams with multiple design disciplines as we faced technically complex projects. All of this work has enriched our experience working with multiple user groups within much larger organizations.

We believe that attention to our client's needs is the basis for a successful project. During the design process, we thoroughly analyze each project to ensure all opportunities are explored for solutions that optimize the goals, objectives and budgets of our clients. We work with our clients to achieve their vision while maintaining their budget.

Our quality control methods focus on communication and coordination. Regular project team meetings would be scheduled to address issues appropriate to the current stage of the design process. Frequent check sets would be distributed between team members to facilitate this coordination process.

Our commitment to the consistency of the project team will contribute to a higher quality project.



#### Project Manager

Jeffrey S. Harris, AIA  
Professional Experience:  
Bachelor of Architecture  
Architect, Iowa License

Principal  
30 years  
1990, Iowa State University  
#3594 in 1995



Originally from Burlington, Iowa, Mr. Harris attended Iowa State University where he earned his Bachelor of Architecture degree in 1990. He began working at Roseland Architects in Ames as an intern architect that same year. Following the traditional internship and subsequent licensure he assumed the role of project architect with the firm in 1995. In early 2001 a professional corporation was formed with Mr. Harris as one of three principals in the new firm.

Mr. Harris is involved with every phase of project development from initial programming and site selection to construction administration and project close-out. As the firm is a horizontally organized office, he is actively engaged in projects from programming through construction documents, consultant selection and coordination, client contact and business development.

Mr. Harris would be responsible for project management and project documentation.

Mr. Harris has served on the Nevada Community School District Facilities Task Force, and for seven years on the Nevada Planning and Zoning Commission with three years as Chairman. He currently serves on the Board of Directors for the Volunteer Center of Story County as well as the Nevada Economic Development Commission.

#### Project Architect

Chris McIntosh, AIA  
Professional Experience:  
Bachelor of Architecture  
Architect, Iowa License

Project Architect  
6 years  
2008, Iowa State University  
#7504 in 2017



Chris joined the RMH Architects team in 2018 with a background in construction as well as design, and he enjoys planning projects that surpass expectations while honoring the process and craft of construction. Chris became passionate about buildings after being involved in the family construction business and has worked as a carpenter for several years in Ames and the surrounding communities. His interest in creative solutions led him to study design at Iowa State University, which stoked an enthusiasm for building science and preservation that has informed his approach to problem-solving and client service as a designer.



Chris began his professional career in Philadelphia, Pennsylvania managing institutional and hospitality projects for a custom millwork contractor, which required detailed knowledge of interior finishes and casework assemblies. He later applied this experience while working in New Jersey for architecture firms specializing in commercial design-build and single-family residential projects.

#### Interior Designer

Shelly Meinhard, NCIDQ Professional Experience	Interior Designer 27 years
Bachelor of Arts in Interior Design	1993, University of Northern Iowa
NCIDQ Certified	1998



Ms. Meinhard graduated in 1993 with a Bachelor of Arts in Interior Design from the University of Northern Iowa. She began working with the firm in 1995. In 1998 she passed the NCIDQ exam given to interior designers after meeting requirements for work experience and education. Her work includes a combination of meeting with clients to select interior finishes and assisting with the drafting of construction documents. She also specifies furnishings and assembles furniture proposal requests to assist our clients in receiving competitive bids. Ms. Meinhard also works on the design of residential projects as well as custom architectural casework.

#### 5a. Previous Story County Projects

##### Story County Community Life Building Re-Roofing

##### Roofing and Siding Replacement Project

Story County was seeking a replacement for an aging metal roof and siding system for the Community Life Building in Ames. RMH developed a plan to replace the existing roof and re-structure the roof to eliminate a number of existing problematic flat roof areas. The project was competitively bid and completed within a 6-month period to meet the county annual budgeting requirements.

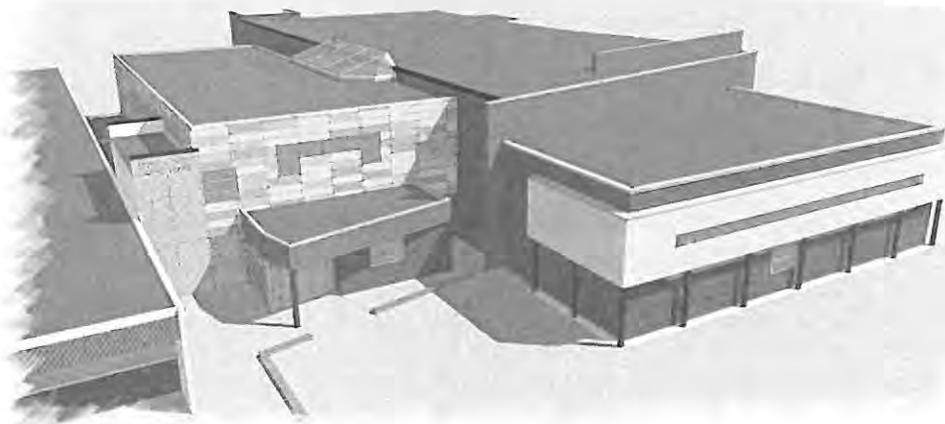




Story County Justice Center, Nevada

County Attorney Office Addition and Remodeling

Schematic design is complete for this addition to the Story County Justice Center in Nevada. The county was looking to consolidate the offices of the county attorney in one location within the Justice Center complex. RMH worked with client groups from the Attorney's Office and the Sheriff's Department to address space needs as well as process improvements for building security and lockdown. The project is currently on hold.



Story County Animal Shelter, Nevada

County Animal Control Facility Remodeling

Work was recently completed on this renovation to the Story County Animal Shelter. Animal care space was expanded into previously vacant tenant space in the facility. Individual spaces were established for feline and canine holding and adoption space as well as quarantine for new arrivals and sick animals. All HVAC systems were upgraded to meet current code for ventilation and temperature control. Electrical systems were also updated, and multiple tenant services combined.

Transitional Living - Crisis Stabilization Home Remodeling, Ames

Story County/MGMC In-Patient Short-Term Care Facility

Work was completed in 2018 on this remodeling project of an existing Story County group home. Interior finishes were upgraded throughout the home as well as modifications to improve staff spaces and resident rooms. Bathrooms were upgraded for accessibility and safety concerns. New millwork was provided in all patient rooms to eliminate additional safety concerns for both staff and residents.



Story County Justice Center - HVAC Improvement for Jail Housing Facility, Nevada

Jail HVAC Replacement Project

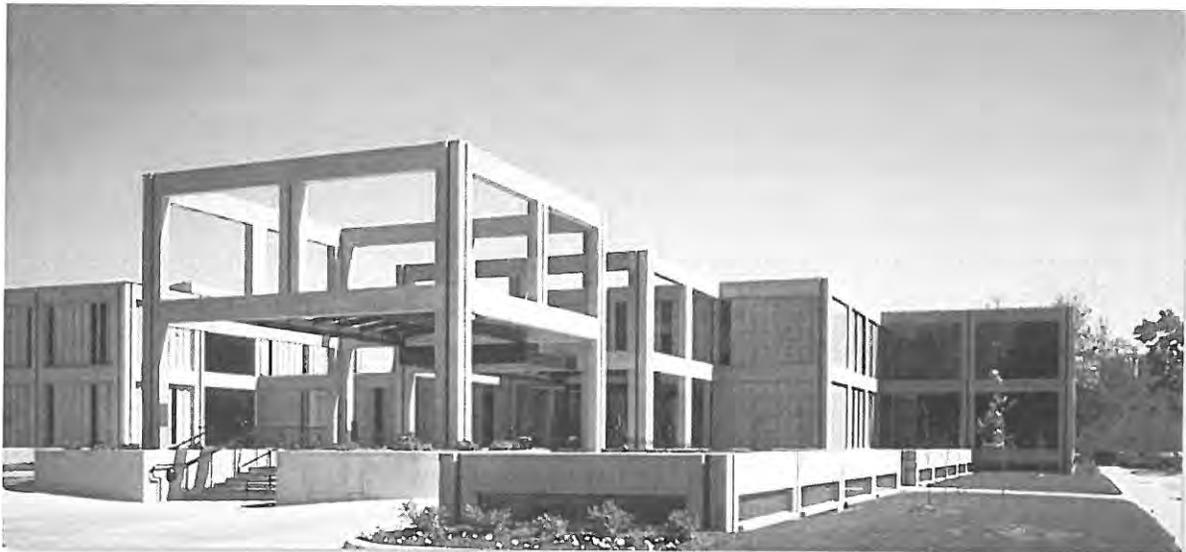
Work is nearing completion on Phase 1 of this equipment replacement and upgrade to all heating, ventilation and air conditioning equipment serving the Story County jail housing facility. Work was completed while the jail was occupied with limited disruption to day-to-day activities. Design work is currently underway to replace the remaining HVAC equipment throughout the remainder of the Justice Center facility.

5b. Previous Facility Assessment & Planning Projects

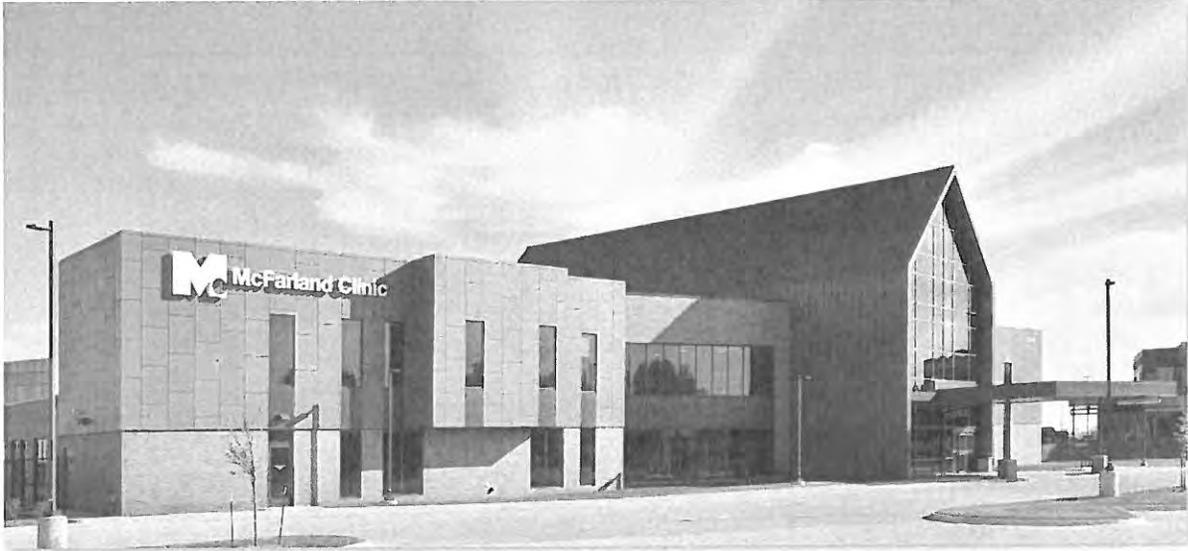
McFarland Clinic - Multiple Locations

From our beginning in 1987, RMH Architects has played a major role in the expansion of McFarland Clinic in Ames and much of central Iowa.

In Ames we have provided guidance and feasibility studies to expand the main campus as well as planned growth to new locations in the community. We were instrumental in the development of the 1215 Duff Campus expansion (1990), West Ames (1998 & 2001), North Ames (2008) and South Ames (2017) facilities. All of these projects have involved assessment of the clinic's current footprint and the most cost-effective methods of expansion of existing departments and branching out into new service areas. Over the course of the last 30 years, we have also worked on countless remodeling and internal transformation projects of numerous clinic departments.



1215 Duff Campus Expansion - 1990



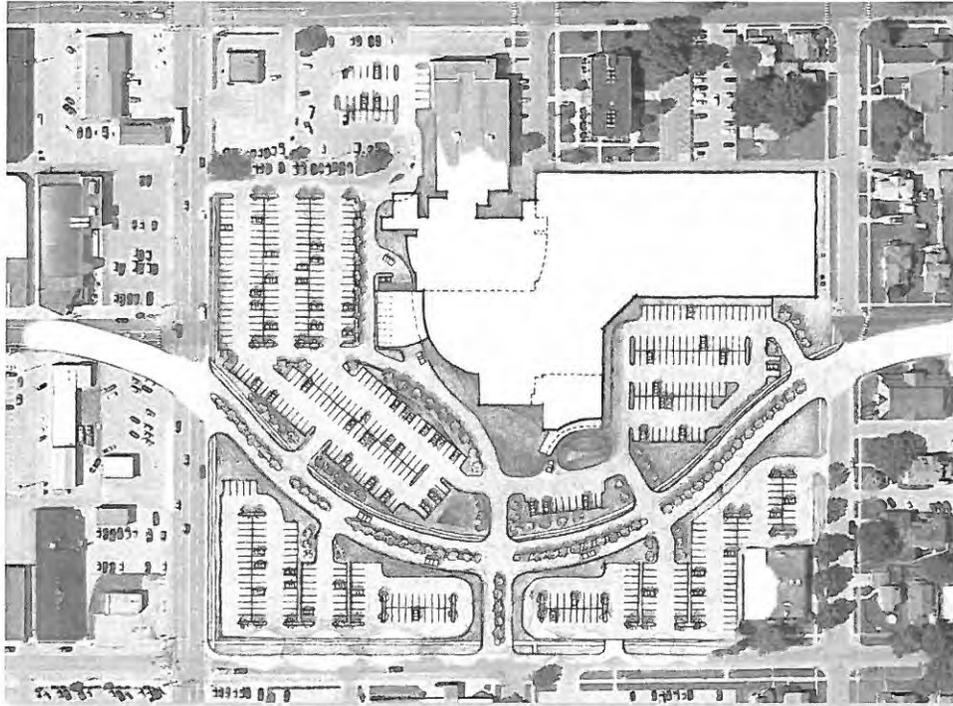
South Ames Clinic - 2017

In Marshalltown we guided the clinic through a major building project which combined the practices of 7 independent clinic buildings into a single location connected to Marshalltown Medical & Surgical Center. With the medical center's recent relocation from the downtown core, we are again leading the clinic through a 16-million-dollar relocation to a new facility on the south side of town which will be under construction this spring.



MMSC Multi-Specialty Clinic - 2000





Site Concept Drawing

Subsequent changes to hospital administration led in a different direction and the eventual relocation of the hospital away from the downtown core. Throughout the process RMH continued to advise MMSC and assist in planning.





## 6. Schedules and Deadlines

We work with our clients to make sure that we fully understand all their expectations, including schedules and deadlines. We understand the requirements of annual budget constraints and the importance of meeting deadlines to ensure funding for public projects. Should results of the design process result in the need for a schedule extension or reduction, we would discuss with you as soon as we can to minimize the impact on the project.

## 7. Availability of Key Personnel

RMH Architects has the resources, capabilities, and personnel commitment to complete the project efficiently. Our staff could begin work by February 1, 2021

## 8. Fee Structure

### Space Needs Assessment

▪ Investigation Phase	\$ 8,500
▪ Evaluation Phase	\$ 10,400
▪ Planning Phase	\$ 16,100

Design Services Total \$35,000



9. References

Roger Kluesner, COO  
McFarland Clinic, PC  
1215 Duff Avenue  
Ames, IA 50010  
515-239-4400

Thomas H. Pohlman, Chairman  
Ames National Corporation  
Fifth & Burnett  
Ames, IA 50010  
515-232-6251

Jami Larson, President  
Larson Development Corporation  
3321 Ridgetop Road  
Ames, IA 50014  
515-451-4350

Prepared by: Darren R. Moon, Story County Engineer's Office, 837 N Ave., Nevada, IA 50201 515-382-7355

## CONTRACT FOR HIGHWAY RIGHT OF WAY

PARCEL No: 14-28-100-300  
 PROJECT No: L-NA18--73-85  
 ROAD No: (248<sup>th</sup> ST.)

THIS AGREEMENT made and entered into this 4<sup>th</sup> day of January, A.D. 20 21 by and between  
**LAWRENCE J. FREVERT AND SUZANNE R. FREVERT**

Seller, and the Story County Secondary Roads Department, acting for the County of Story, Buyer.

1.a SELLER AGREES to sell and Buyer agrees to buy the following real estate, hereinafter referred to as the premises, situated in parts of the following (1/4 1/4 Sec./Twp./Rge.):

The South 12.00 feet of the North 45.00 feet of the East 75.00 feet of the West 625.00 feet of the SW $\frac{1}{4}$ , SE $\frac{1}{4}$  in Section 18, Township 83 North, Range 21 West of the 5th P.M., Story County, Iowa. Easement contains 0.08 acres of which 0.06 acres is existing R.O.W.

County of Story, State of Iowa, and more particularly described on Page 3 and which include the following buildings, improvements and other property:

See attached graphical representation

1.b SELLER ALSO GRANTS to Buyer a temporary easement as shown on the Temporary Easement Plot attached as Page 4, and as shown on the project plans for said highway improvement. Said temporary easement shall terminate upon completion of this highway project.

1.c The premises also include all estates, rights, title and interests, including all easements, and all advertising devices and the rights to erect such devices as are located thereon. SELLER CONSENTS to any change of grade of the highway and accepts payment under this contract for any and all damages arising therefrom. SELLER ACKNOWLEDGES full settlement and payment from the Buyer for all claims per the terms of this contract and discharges the Buyer from liability because of this contract and the construction of this public improvement project.

2. Possession of the premises is the essence of this contract and Buyer may enter and assume full use and enjoyment of the premises per the terms of this contract. Buyer may take immediate possession of premises upon the execution of the contract by both Seller and Buyer.

3. Buyer agrees to pay and SELLER AGREES to grant the right of possession, convey title, and to surrender physical possession of the premises as shown:

	Payment Amount	Agreed Performance
\$	<u>537.16</u>	on right of possession
\$		on conveyance of title
\$		on surrender of possession
\$		on possession and conveyance
\$	<u>537.16</u>	<b>TOTAL LUMP SUM</b>
<b>BREAKDOWN:</b>		
Land by Fee Title	ac.=acres      sq.ft.=square feet	<b>Buildings &amp; Improvements</b> \$
Underlying Fee Title	ac./sq.ft.      \$	Fence _____ rods woven      \$
Permanent Easement	ac./sq.ft.      \$ <u>93.12</u>	Fence _____ rods barb      \$
Temporary Easement	<u>0.02</u> ac./sq.ft.      \$ <u>419.04</u>	
Damages for:	<u>0.15</u> ac./sq.ft.      \$	
	<u>Future Abstract Entry in the amount of \$25.00</u>	\$

4. The Seller is responsible for any and all matters relating to any tenant on the land and hereby releases the Buyer from all tenant liabilities.

SELLER'S SIGNATURE AND CLAIMANT'S CERTIFICATION: Upon due approval and execution by the Buyer, we the undersigned claimants certify the total lump sum payment shown herein is just and unpaid.

X Steve Johnston as HE or POA  
X \_\_\_\_\_  
\_\_\_\_\_

- 5. Each page and each attachment is by this reference made part hereof and the entire agreement consists of 4 pages.
- 6. In the event that said premises is burdened by the lien of a mortgage, judgement or other encumbrance, Sellers agree to fully cooperate with Buyer in securing a release of such lien from said premises, and if necessary and proper, Sellers agree that any part of the sum owing to them under this contract may be paid to the holder of such lien for such release.
- 7. Buyer agrees that any drain tile that is located within the premises and is damaged by highway construction shall be repaired at no expense to Seller. Where Buyer specifically agrees to construct and maintain fence, the fence shall be constructed and maintained for vehicle access control purposes only at no expense to the Seller. Buyer shall have the right of entry upon Sellers remaining property along the right of way line, if necessary, for the purpose of connecting said drain tile and constructing and maintaining said fence. Seller may pasture against said fence at his own risk. Buyer will not be liable for fencing private property of maintaining the same to restrain livestock.
- 8. If the Seller holds title to the premises in joint tenancy with full rights of survivorship and not as tenants in common at the time of this contract, Buyer will pay any remaining proceeds to the survivor of that joint tenancy and will accept title solely from that survivor, provided the joint tenancy has not been destroyed by operation of law or acts of the Seller.
- 9. These premises are being acquired for public purposes and this transfer is exempt from the requirements for the filing of a Declaration of Value by the Code of Iowa.
- 10. Seller states and warrants that, to the best of Seller's knowledge, there are no burial site, well, solid waste disposal site, hazardous substance, nor underground storage tank on the premises described and sought herein except,
- 11. This Written contract constitutes the entire agreement between Buyer and Seller and there is no agreement to do or not to do any act or deed except as specifically provided for herein.

**Additional Right of Way Agreements:**

**SELLER'S ACKNOWLEDGMENT**

STATE OF IOWA: ss On this 4<sup>th</sup> day of January, 2021, before me, the undersigned, personally appeared Steve Johnston

Known to me to be the identical persons named in and who executed the foregoing instrument and acknowledged that they executed the same as their voluntary act and deed.



Tyler Sparks  
Notary Public in and for the State of Iowa

**BUYER'S APPROVAL**

Darren Moon 1-4-21

Recommended by: Darren Moon P.E., Story County Engineer (Date)

L. K. Hadden 1-12-21

Approved by: Chairperson, Story County Board of Supervisors (Date)

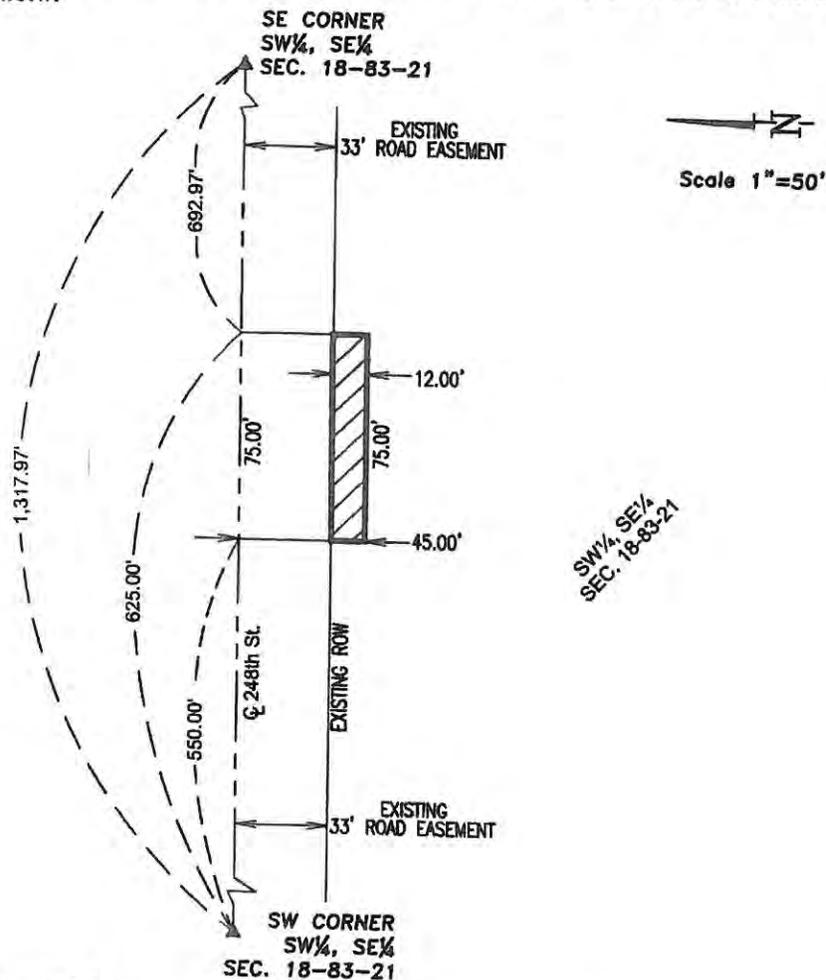
\*Exhibit A\*

# STORY COUNTY SECONDARY ROADS EASEMENT ACQUISITION

PROJECT NO. L-NA18--73-85 PARCEL NO. 12-18-400-300  
SECTION 18, TOWNSHIP 83N, RANGE 21W, OF THE 5TH P.M., STORY COUNTY, IOWA.  
ACQUIRED FROM LAWRENCE J. FREVERT AND SUZANNE R. FREVERT

EXISTING R.O.W. 0.06 ACRES NEW R.O.W. 0.02 ACRES TOTAL R.O.W. 0.08 ACRES

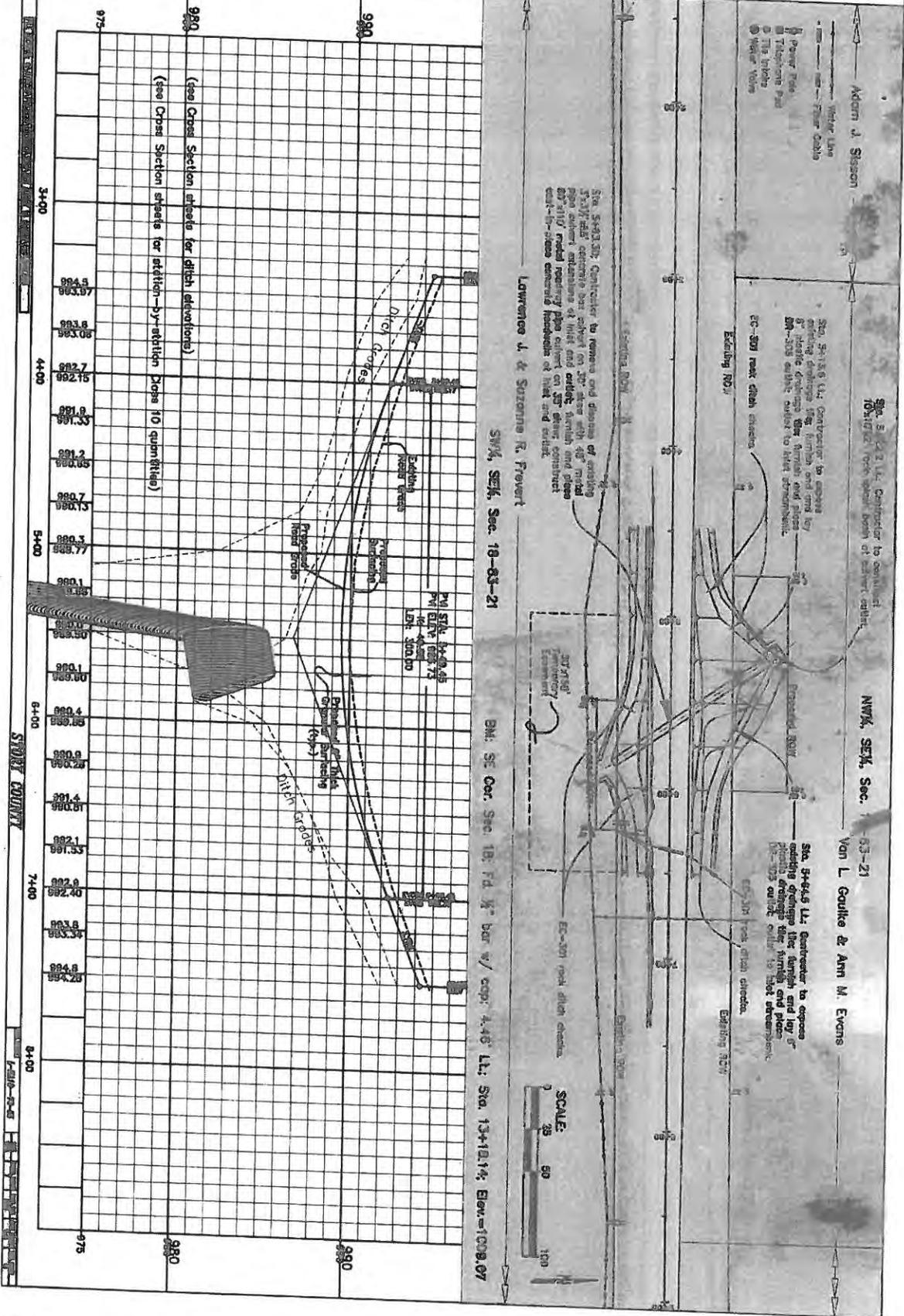
The South 12.00 feet of the North 45.00 feet of the East 75.00 feet of the West 625.00 feet of the SW $\frac{1}{4}$ , SE $\frac{1}{4}$  in Section 18, Township 83 North, Range 21 West of the 5th P.M., Story County, Iowa. Easement contains 0.08 acres of which 0.06 acres is existing R.O.W.



DATE DRAWN 11/8/19

**PLAN AND PROFILE SHEET**

**PROJ. No. L-NA18--73-55**



Adm'n. Station  
 - - - - - Water Line  
 - - - - - Power Cable  
 - - - - - Telephone Pipe  
 - - - - - Gas Pipes  
 - - - - - Sewer Pipes

Sta. 5+43.35 Contractor to remove and dispose of existing 12" dia. pipe and install 18" dia. pipe with 45' manhole. Stationing and plan shall be as shown on plan sheets for this project. Stationing shall be as shown on plan sheets for this project.

Sta. 5+13.64 Contractor to construct existing drainage for 18" dia. pipe and install 18" dia. pipe with 45' manhole. Stationing and plan shall be as shown on plan sheets for this project.

Sta. 3+46.51 Contractor to construct existing drainage for 18" dia. pipe and install 18" dia. pipe with 45' manhole. Stationing and plan shall be as shown on plan sheets for this project.

Lawrence J. & Suzanne R. Frewert  
 CIVIL ENGINEERS  
 Sec. 18-83-21

BN: SE Cor. Sec. 18; Rd. 1/2" bar w/ cap; 4.46' LT; Sta. 13+12.14; Elev. 1009.07

SCALE:  
 1" = 25'  
 1" = 50'  
 1" = 100'

STREET COUNTY

L-NA18-73-55



Memorandum

To: Story County Board of Supervisors  
Through: Michael D. Cox, Director  
From: Ryan Wiemold, Parks Superintendent  
Date: January 12, 2021  
Re: Consideration of Change Order No. 02 between Howrey Construction, Inc and Story County Conservation for the Tedesco Environmental Learning Corridor Bid Package #3- Trail Extension For the Decreased Amount of \$21,428.75.

This change order reflects decreased costs due over estimation of quantities to be used during the project. These savings were mostly due to the success of temporary seedings and therefore a lesser need for constructed temporary stabilization methods.

This will close out the project and be a **decrease of \$21,428.75** bringing the final contract sum to \$1,002,589.00.

The Story County Conservation Board recommends approval.

  
Approval

\_\_\_\_\_  
Disapproval

1-12-21  
Date

\_\_\_\_\_  
Date

# CHANGE ORDER

DATE:  
December 11, 2020

**PROJECT:**  
Tedesco Environmental Learning Corridor  
Bid Package #3 – Trail Extension  
416259-0

**CHANGE ORDER NUMBER:**  
02

**OWNER:**  
Story County Conservation  
56461 180<sup>th</sup> Street  
Ames, IA 50010

**CONSULTANT:**  
Shive-Hattery, Inc.  
4125 Westown Pkwy, Suite 100  
West Des Moines, IA 50266

**CONTRACTOR:**  
Howrey Construction  
316 Austin Street  
Rockwell City, IA 50579

**THE CONTRACT IS MODIFIED AS FOLLOWS UPON EXECUTION OF THIS CHANGE ORDER:**

The quantities for the following items are being adjusted to reflect the amounts actually installed for the project:

Bid Item	Description	Quantity Change	Unit Price	Total Adjustment
24	Driveway, Granular	-30.54 TON	\$40.00/TON	-\$1,221.60
34	Temporary RECP, Type 2C	-1,000 SY	\$0.75/SY	-\$750.00
35	Wattle, Straw, 6" Diameter	-1,000 LF	\$2.00/LF	-\$2,000.00
36	Rip Rap, Class E	-57.60 TON	\$55.00/TON	-\$3,168.00
37	Rip Rap, Erosion Stone	-38.44 TON	\$35.00/TON	-\$1,345.40
38	Silt Fence	-3,410.71 LF	\$1.75/LF	-\$5,968.75
39	Erosion Control Mulching, Hydromulching	-4.5 AC	\$1,550.00/AC	-\$6,975.00
<b>TOTAL</b>				<b>-\$21,428.75</b>

Original Contract Sum	\$	1,021,881.75
Net Change by previously authorized Change Orders	\$	2,136.00
Contract Sum prior to this Change Order	\$	1,024,017.75
Amount that this Change Order will decrease the Contract Sum	\$	21,428.75
New Contract Sum including this Change Order	\$	1,002,589.00

The Contract Time will be increased by zero (0) days.  
The date of Substantial Completion will remain September 30, 2020.

**THIS DOCUMENT IS NOT VALID UNTIL SIGNED BY CONSULTANT, CONTRACTOR, AND OWNER.**

Shive-Hattery, Inc.

CONSULTANT

*Luke Monat*

SIGNATURE

Luke Monat, P.E.

PRINTED NAME

12/11/2020

DATE

Howrey Construction

CONTRACTOR

*Brian Madsen*

SIGNATURE

Brian Madsen

PRINTED NAME

12/15/20

DATE

Story County Board of Supervisors

OWNER

*Lisa K. Heddens*

SIGNATURE

Lisa K. Heddens

PRINTED NAME

1-12-21

DATE



**STORY COUNTY  
CONSERVATION**

Story County Conservation Board - McFarland Park 56461 180<sup>th</sup> St. - Ames, Iowa 50010-9451  
Phone (515) 232-2516 - Fax (515)232-6989 - Email: conservation@storycounty.com  
www.storycountyconservation.org

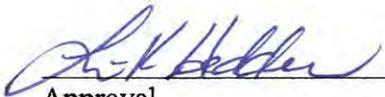
**Memorandum**

To: Story County Board of Supervisors  
Through: Michael D. Cox, Director  
From: Patrick Shehan, Special Projects Ranger  
Date: January 12, 2021  
Re: Consideration of Change Order No. 02 between Howrey Construction, Inc and Story County Conservation for the Heart of Iowa Nature Trail Phase 2 paving project from Huxley to the South Skunk River Bridge in the Decreased Amount of \$3,900.00.

This change order reflects decreased costs due to the observation by the Engineer that the contractor was not using the specified materials. This is a deduction change order that allows the Contractor to use State certified material that differ from material specified in the plans.

This will be a **decrease to the contract of \$3,900.00.**

The Story County Conservation Board recommends approval.

  
Approval

\_\_\_\_\_  
Disapproval

1-12-21  
Date

\_\_\_\_\_  
Date

APPROVED DENIED

By: AKH  
Date: 1-12-21

**CHANGE ORDER**  
For Local Public Agency Projects

No.: 02

Non-Substantial:

Substantial:

Administering Office  
Concurrence Date

Accounting ID No. (5-digit number): 36826

Project Number: TAP-R-C085(154)--8T-85

Contract Work Type: PCC SIDEWALK/TRAIL

Local Public Agency: STORY COUNTY

Contractor: HOWREY CONSTRUCTION, INC.

Date Prepared: August 18, 2020

You are hereby authorized to make the following changes to the contract documents.

A - Description of change to be made:

0080 - 2502-8212036: SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA. - Removal of as bid dual walled perforated pipe quantity not to be installed on the project.

8002 - 2502-8212036: SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA. - Addition of single walled pipe quantity to be used on the project.

B - Reason for change:

0080 - 2502-8212036: SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA. - The ERI identifies a, "dual wall HDPE corrugated pipe with a smooth interior and corrugated exterior". Quantity not installed per plan.

8002 - 2502-8212036: SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA. - Quantity of DOT approved perforated single walled HDPE pipe installed in lieu of dual walled pipe.

C - Settlement for cost(s) of change as follows with items addressed in Sections F and/or G:

0080 - 2502-8212036: SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA. - Quantity to be removed at as-bid unit prices.

8002 - 2502-8212036: SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA. - Proposed unit price includes all labor and material to install item per standard specifications and plan details.

D - Justification for cost(s) (See I.M. 3.805, Attachment D, Chapter 2.36, for acceptable justification):

0080 - 2502-8212036: SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA. - Quantity to be removed at as-bid unit prices.

8002 - 2502-8212036: SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA. - Proposed unit price is \$10.20. Price change represents approximately \$0.25 decrease in prime mark up, \$0.70 decrease in material cost and \$0.35 decrease in labor to install.

E - Contract time adjustment:

No Working Days added

Working Days added: \_\_\_\_\_

Unknown at this time

Justification for selection:

F - Items included in contract:

Participating			Item Description	For deductions enter as "-x.xx"		Amount .xx
Federal-aid	State-aid	Line Number		Unit Price .xx	Quantity .xxx	
x		0080	SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA.	\$11.50	-3,000.000	-\$34,500.00
				Add Row	Delete Row	TOTAL
						-\$34,500.00

G - Items not included in contract:

Participating			Item Number	Item Description	For deductions enter as "-x.xx"		Amount .xx
Federal-aid	State-aid	Change Number			Unit Price .xx	Quantity .xxx	
x		8002	2502-8212036	SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA.	\$10.20	3,000.000	\$30,600.00
				Add Row	Delete Row	TOTAL	
						\$30,600.00	

H. Signatures

Signatures will be applied through DocExpress.

# HOWREY CONSTRUCTION

316 Austin Street, Rockwell City, IA 50579  
Phone (712) 297-8182 Fax (712) 297-7307

August 18, 2020

Snyder & Associates  
Spencer Wignall  
2727 SW Snyder Blvd  
Ankeny, IA 50023

RE: TAP-R-C085(154)--8T-85  
Change Order #2

Spencer,

See costs itemized below for the single walled HDPE pipe decrease for the above-mentioned project. Also enclosed is the material cert for both the single and dual walled pipe and couplers. Quantity is estimated.

Item Description	Quantity	Unit	Unit Price	Total Price
SUBDRAIN, LONGITUDINAL, 6 IN. DIA.	3000	LF	\$11.50	\$34,500.00
PRIME MARKUP	3000	LF	-\$0.25	-\$750.00
MATERIAL	3000	LF	-\$0.70	-\$2,100.00
LABOR	3000	LF	-\$0.35	-\$1,050.00
			<b>\$10.20</b>	<b>\$30,600.00</b>

Thank you,

Brian Madsen, Project Manager  
Howrey Construction, Inc.

Enclosures.



THE MOST ADVANCED NAME IN DRAINAGE SYSTEMS



8-10-2020

Midwest Pipe Supply  
11196 265<sup>th</sup> St.  
Clear Lake, IA 50428

Re: Advanced Drainage Systems, Inc.  
Certification of Compliance

This will certify that the 4" 100mm through 15" 375mm I.D. corrugated (Type "C" or "CP") polyethylene pipe and fittings manufactured by Advanced Drainage Systems, Inc. comply with the requirements specified in the latest revision of AASHTO M 252 and M294 Standard Specification for Corrugated Polyethylene Drainage Pipe.

Project No.: TAP-R-C085(154)- -8T-85  
Location: Story County, Iowa

Quantity: 06150020IB	6" AASHTO M252 HWY Dual Wall 20'	200'
064101500	6" AASHTO M252 HWY SW	4,500'
06410625	6" AASHTO M252 HWY SW	625'
0615AAOS	6" Internal Couplers	27

Sincerely

Alan Dahlen  
Plant Manager  
ADS Eagle Grove, Iowa



Story County Conservation Board - McFarland Park 56461 180<sup>th</sup> St. - Ames, Iowa 50010-9451  
Phone (515) 232-2516 - Fax (515)232-6989 - Email: conservation@storycounty.com  
www.storycountyconservation.org

Memorandum

To: Story County Board of Supervisors

Through: Michael D. Cox, Director

From: Patrick Shehan, Special Projects Ranger

Date: January 12, 2021

Re: Consideration of Change Order No. 03 between Howrey Construction, Inc and Story County Conservation for the Heart of Iowa Nature Trail Phase 2 paving project from Huxley to the South Skunk River Bridge in the Increased Amount of \$630.35.

This change order reflects the issue of a Huxley Utility water valve box being located, under the to be paved trail, by its Owner after design coordination efforts but prior to trail paving. The trail paving then covered the water valve box. It was agreed that the cost for correction would be divided among the parties. The cost to install the preferred repair is \$630.35.

This will be an **increase to the project of \$630.35.**

The Story County Conservation Board recommends approval.

  
Approval

\_\_\_\_\_  
Disapproval

1-12-21  
Date

\_\_\_\_\_  
Date

**CHANGE ORDER**  
For Local Public Agency Projects

No.: 03

Non-Substantial:

Substantial:

Administering Office  
Concurrence Date

Accounting ID No. (5-digit number): 36826

Project Number: TAP-R-C085(154)--8T-85

Contract Work Type: PCC SIDEWALK/TRAILS

Local Public Agency: STORY COUNTY

Contractor: HOWREY CONSTRUCTION INC.

Date Prepared: December 7, 2020

You are hereby authorized to make the following changes to the contract documents.

A - Description of change to be made:

Item 8002 - 6100-2533010 {EXTRA WORK} MOBILIZATION, ADDITIONAL: Additional mobilization to perform rework  
Payment will not participate in federal funds.

**APPROVED**  
Board Member Initials: \_\_\_\_\_  
Meeting Date: 1-12-21  
Follow-up action: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

B - Reason for change:

Item 8002 - 6100-2533010 {EXTRA WORK} MOBILIZATION, ADDITIONAL: A patch was installed in the trail to expose a utility valve box and set it at grade. The patch was acceptable per spec. However the size and dimensions of the patch are not in keeping with the jointing pattern on the rest of the trail. The County has requested that the contractor remove and reinstall the patch at Engineer specified dimensions. The County and Contractor have agreed to this additional mobilization fee.

C - Settlement for cost(s) of change as follows with items addressed in Sections F and/or G:

Item 8002 - 6100-2533010 {EXTRA WORK} MOBILIZATION, ADDITIONAL: The additional fee includes all time and material to mobilize to the site to perform removal and replacement of the trail patch and ensure proper traffic control.

D - Justification for cost(s) (See I.M. 6.000, Attachment D, Chapter 2.36, for acceptable justification):

Item 8002 - 6100-2533010 {EXTRA WORK} MOBILIZATION, ADDITIONAL: The additional fee includes all time and material to mobilize to the site to perform removal and replacement of the trail patch and ensure proper traffic control.

E - Contract time adjustment:  No Working Days added  Working Days added: \_\_\_\_\_  Unknown at this time

Justification for selection:

Work was identified as part of the punch list. The punch list was issued on 11-06-2020. The completion of the this work is scheduled for 12-09-2020 and the 30 day period for completion of punch list items has been extended by the engineer until 12-10-2020.

F - Items included in contract:

Participating			For deductions enter as "-x.xx"			
Federal-aid	State-aid	Line Number	Item Description	Unit Price .xx	Quantity .xxx	Amount .xx
<input type="button" value="Add Row"/>				<input type="button" value="Delete Row"/>		<b>TOTAL</b>

G - Items not included in contract:

Participating			For deductions enter as "-x.xx"				
Federal-aid	State-aid	Change Number	Item Number	Item Description	Unit Price .xx	Quantity .xxx	Amount .xx
		8002	6100-2533010	{EXTRA WORK} MOBILIZATION, ADDITIONAL	\$630.35	1.000	\$630.35
<input type="button" value="Add Row"/>				<input type="button" value="Delete Row"/>		<b>TOTAL</b>	<b>\$630.35</b>

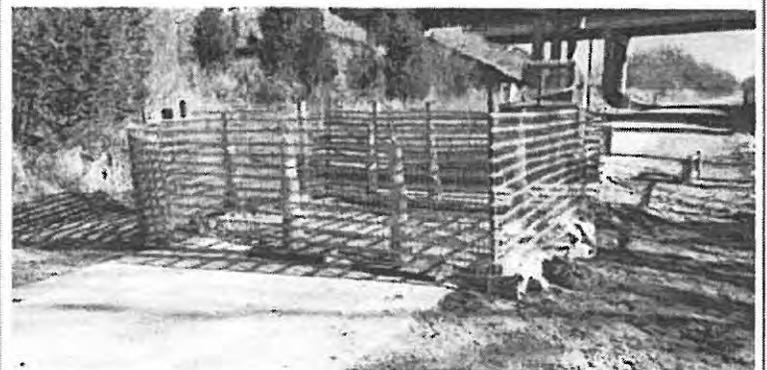
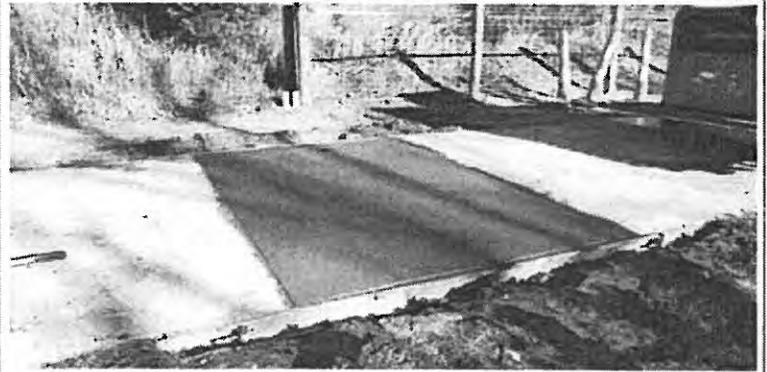
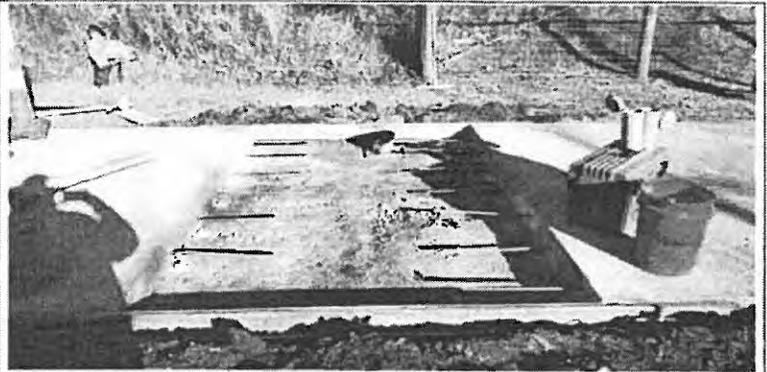
H. Signatures

Signatures will be applied through DocExpress.

Item Description	Quantity	Unit	Unit Price	Total Price
Sawing (Double Cut)	40	LF	\$5.00	\$200.00
Trucking Removal	1	HR	\$125.00	\$125.00
PCC Concrete - M4	2	CY	\$145.00	\$290.00
Small Load Fee	1	LS	\$80.00	\$80.00
Rebar	1	LS	\$100.00	\$100.00
Skidloader (Equipment Only)	2	HR	\$135.00	\$270.00
Operator C	3.5	HR	\$90.00	\$315.00
Concrete Finisher	3.5	HR	\$69.00	\$241.50
Winter Coverage	7.4	SY	\$1.00	\$7.40
			<b>Total:</b>	<b>\$1,628.90</b>



Acceptable repair to expose water valve box.



Preferred repair to repair water valve box.

**Applicant License Application ( LC0046229 )**

<b>Name of Applicant:</b> <u>Indian Creek Country Club</u>		
<b>Name of Business (DBA):</b> <u>Indian Creek Country Club</u>		
<b>Address of Premises:</b> <u>63012 260th Street</u>		
<b>City</b> <u>Nevada</u>	<b>County:</b> <u>Story</u>	<b>Zip:</b> <u>50201</u>
<b>Business</b>	<u>(515) 382-9070</u>	
<b>Mailing</b>	<u>63012 260th Street</u>	
<b>City</b> <u>Nevada</u>	<b>State</b> <u>IA</u>	<b>Zip:</b> <u>50201</u>

**Contact Person**

<b>Name</b> <u>Sherry Newsome</u>	
<b>Phone:</b> <u>(515) 382-9070</u>	<b>Email</b> <u>golf9@netins.net</u>

**Classification** Class C Liquor License (LC) (Commercial)

**Term:** 12 months

**Effective Date:** 03/18/2020 <sup>21</sup>

**Expiration Date:** 03/17/2021 <sup>22</sup>

**Privileges:**

- Class C Liquor License (LC) (Commercial)
- Outdoor Service
- Sunday Sales

**APPROVED**      **DENIED**  
**Board Member Initials:** AKH  
**Meeting Date:** 1-12-21  
**Follow-up action:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Status of Business**

<b>BusinessType:</b> <u>Privately Held Corporation</u>	
<b>Corporate ID Number:</b> <u>XXXXXXXXXX</u>	<b>Federal Employer ID</b> <u>XXXXXXXXXX</u>

**Ownership**

**Sherry Newsome**

**First Name:** Sherry      **Last Name:** Newsome  
**City:** Nevada      **State:** Iowa      **Zip:** 50201  
**Position:** Director  
**% of Ownership:** 0.01%      **U.S. Citizen:** Yes

**Bernie Stephenson**

**First Name:** Bernie      **Last Name:** Stephenson  
**City:** Nevada      **State:** Iowa      **Zip:** 50201  
**Position:** President  
**% of Ownership:** 0.02%      **U.S. Citizen:** Yes

**Jon Augustus**

**First Name:** Jon      **Last Name:** Augustus  
**City:** Nevada      **State:** Iowa      **Zip:** 50201

Position: Secretary/Treasurer

% of Ownership: 0.01%

U.S. Citizen: Yes

**Scott Sporrer**

First Name: Scott

Last Name: Sporrer

City: Nevada

State: Iowa

Zip: 50201

Position: Director

% of Ownership: 0.01%

U.S. Citizen: Yes

**Zack Spykerman**

First Name: Zack

Last Name: Spykerman

City: Nevada

State: Iowa

Zip: 50201

Position: Director

% of Ownership: 0.01%

U.S. Citizen: Yes

**Kevin Linder**

First Name: Kevin

Last Name: Linder

City: Nevada

State: Iowa

Zip: 50201

Position: Director

% of Ownership: 0.01%

U.S. Citizen: Yes

**Jill Rhodes**

First Name: Jill

Last Name: Rhodes

City: Nevada

State: Iowa

Zip: 50201

Position: Director

% of Ownership: 0.01%

U.S. Citizen: Yes

#### Insurance Company Information

Insurance Company: Nationwide Insurance Company

Policy Effective Date: 03/18/2020

Policy Expiration 03/18/2021

Bond Effective

Dram Cancel Date:

Outdoor Service Effective

Outdoor Service Expiration

Temp Transfer Effective

Temp Transfer Expiration Date:

COUNTY AUDITOR'S REPORT OF FEES COLLECTED

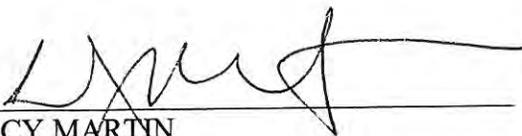
STATE OF IOWA }  
STORY COUNTY }

TO THE BOARD OF SUPERVISORS OF STORY COUNTY:

Pursuant to the Code of Iowa, Chapter 331.902, Collection and Disposition of Fees collected, I, Lucy Martin, Auditor of the above named County and State, do hereby certify that the following is a true and correct statement of fees collected by me in my office for the quarter ending December 31, 2020 and the same has been paid to the Story County Treasurer.

For Elections for Other Entities Elections		\$ 52,334.37
Misc Elections	60.00	
CARES Act	49,600.00	
City/School Elections		
Special Elections	2,674.37	
For Other Office Fees		\$ 4,633.37
Plat Books	894.31	
Computer Lists	36.00	
Fiscal Agent Fees	3,682.81	
Map Copies		
Copies	15.25	
Miscellaneous	5.00	
TOTAL		\$ 59,967.74

Treasurer's Receipts for the above are attached.

  
\_\_\_\_\_  
LUCY MARTIN  
Story County Auditor  
January 6, 2021

**APPROVED**      **DENIED**  
Board Member Initials: SLH  
Meeting Date: 1-12-21  
Follow-up action: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Story County Sheriff's Report  
Total Income Earned  
For the Quarter Ending December 31, 2019**

Civil Fees (01000-01000-4400-05)	\$26,270.78
Civil Fees (Credit Card)	1,598.65
Permits to Carry Concealed Weapon (01000-01000-4410-05)	\$12,620.00
Permits to Carry Concealed Weapon (Credit Card)	\$7,020.00
Interest (01000-00054-6000-05)	\$6.65
Work Release (01000-01000-4400-05)	\$112.55

**Total** **\$47,628.63**

**Total Paid to Story County Treasurer** **\$47,628.63**

**APPROVED**      **DENIED**

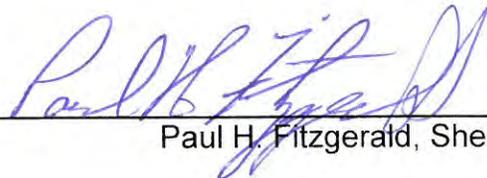
Board Member Initials: AKH

Meeting Date: 1-12-21

Follow-up action: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

  
Paul H. Fitzgerald, Sheriff

Dated 12/31/2019  
PHF:kan



**Story County Commission of Veterans Affairs**  
**Brett D. McLain, Director**  
 Story County Human Services Center  
 126 S. Kellogg Ave. Suite 001, Ames, Iowa 50010  
 Ph. 515-956-2626 Fax 515-956-2627  
 www.storycountyiaowa.gov  
 veteransaffairs@storycountyiaowa.gov

**REPORT OF VETERANS AFFAIRS COMMISSION**

STATE OF IOWA,  
STORY COUNTY

We, the undersigned, members of the Veterans Affairs Commission, hereby certify that the following is a correct statement of the claim numbers and amount of assistance given to persons entitled to relief under Chapter 35B.10 Disbursement-inspection of records of the Code of Iowa, for the **Second Quarter FY 20-21: October 1, 2020 – December 31, 2020.**

STORY CO. VA CLAIM #	ASSISTANCE	AMOUNT
T - 0454	Funeral Assistance	\$2,033.00
R - 4941	Rent	\$300.11
R - 6283	Funeral Assistance	\$2,033.00

**Total \$4,366.11**

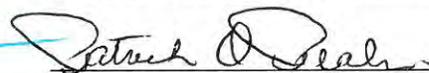
  
Brett McLain, Director

  
Monty Woodward, Chairman

  
Luke Vance, Secretary

  
Nicolas Briseno, Vice Chairman

  
Amy Rosenberg, Member

  
Patrick Peakin, Member

**APPROVED**       **DENIED**  
 Board Member Initials: AKH  
 Meeting Date: 1-12-21  
 Follow-up action: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_



Story County Conservation Board - McFarland Park 56461 180<sup>th</sup> St. - Ames, Iowa 50010-9451  
Phone (515) 232-2516 - Fax (515)232-6989 - Email: conservation@storycounty.com  
www.storycountyconservation.org

Memorandum

To: Story County Board of Supervisors  
Through: Michael D. Cox, Director  
From: Patrick Shehan, Special Projects Ranger  
Date: January 12, 2021  
Re: Consideration of Change Order No. 03 between Howrey Construction, Inc and Story County Conservation for the Heart of Iowa Nature Trail Phase 1 paving project from R-38 to 265<sup>th</sup> Avenue in a net of \$0.

This change order is a balancing change order used to close out the contract. It allows the construction administration to process the final pay voucher with a work completed value that will match the remaining contract value. It is used during the State Audit to validate that the contract is paid in full and no outstanding funds or claims remain on the project. This will be a net of \$0.

The Story County Conservation Board recommends approval.

  
Approval

\_\_\_\_\_  
Disapproval

1-12-21  
Date

\_\_\_\_\_  
Date

**CHANGE ORDER**  
For Local Public Agency Projects

No.: 03

Non-Substantial:

Substantial:

Administering Office  
Concurrence Date

Accounting ID No. (5-digit number):35862

Project Number: TAP-R-C085(151)--8T-85

Contract Work Type: PCC SIDEWALK/TRAILS

Local Public Agency: STORY COUNTY

Contractor: HOWREY CONSTRUCTION INC.

Date Prepared: December 7, 2020

You are hereby authorized to make the following changes to the contract documents.

**A - Description of change to be made:**

- ITEM 0100 - 2416-1180030 CULVERT, CONCRETE ROADWAY PIPE, 30 IN. DIA. - The measured quantity was MORE than the bid quantity.
- ITEM 0110 - 2502-8212306 SUBDRAIN, STD, PERFORATED, 6" - The measured quantity was LESS than the bid quantity.
- ITEM 0140 - 2511-0302600 RECREATIONAL TRAIL, PCC, 6" - The measured quantity was MORE than the bid quantity.
- ITEM 0200 - 2528-8445113 FLAGGERS - The measured quantity was LESS than the bid quantity.
- ITEM 0230 - 2601-2634105 MULCHING, BONDED FIBER MATRIX - The measured quantity was LESS than the bid quantity.
- ITEM 0250 - 2601-2636043 SEED AND FERTILIZE (RURAL) - The measured quantity was LESS than the bid quantity.
- ITEM 0260 - 2601-2642100 STABILIZING CROP - SEEDING AND FERTILIZING - The measured quantity was MORE than the bid quantity.
- ITEM 0270 - 2602-0000309 PERIMETER AND SLOPE SEDIMENT CNTL DEVICE, 9" - The measured quantity was LESS than the bid quantity.
- ITEM 0280 - 2602-0000350 REMOVAL OF PERIMETER AND SLOPE SEDIMENT CNTL DEV - The measured quantity was LESS than the bid quantity.
- ITEM 0300 - 2602-0010020 MOBILIZATION, EMERGENCY EROSION CONTROL - The measured quantity was LESS than the bid quantity.

**B - Reason for change:**

- ITEM 0100 - 2416-1180030 CULVERT, CONCRETE ROADWAY PIPE, 30 IN. DIA. - Additional pipe needed to build 4:1 foreslopes and backslopes.
- ITEM 0110 - 2502-8212306 SUBDRAIN, STD, PERFORATED, 6" - Reflects measured quantity.
- ITEM 0140 - 2511-0302600 RECREATIONAL TRAIL, PCC, 6" - Reflects measured quantity.
- ITEM 0200 - 2528-8445113 FLAGGERS - Item not used on project.
- ITEM 0230 - 2601-2634105 MULCHING, BONDED FIBER MATRIX - Reflects measured quantity.
- ITEM 0250 - 2601-2636043 SEED AND FERTILIZE (RURAL) - Reflects measured quantity.
- ITEM 0260 - 2601-2642100 STABILIZING CROP - SEEDING AND FERTILIZING - Reflects measured quantity.
- ITEM 0270 - 2602-0000309 PERIMETER AND SLOPE SEDIMENT CNTL DEVICE, 9" - Reflects measured quantity.
- ITEM 0280 - 2602-0000350 REMOVAL OF PERIMETER AND SLOPE SEDIMENT CNTL DEV - Reflects measured quantity.
- ITEM 0300 - 2602-0010020 MOBILIZATION, EMERGENCY EROSION CONTROL - Item not used on project.

**C - Settlement for cost(s) of change as follows with items addressed in Sections F and/or G:**

- ITEM 0100 - 2416-1180030 CULVERT, CONCRETE ROADWAY PIPE, 30 IN. DIA. - Bid unit price.
- ITEM 0110 - 2502-8212306 SUBDRAIN, STD, PERFORATED, 6" - Bid unit price.
- ITEM 0140 - 2511-0302600 RECREATIONAL TRAIL, PCC, 6" - Bid unit price.
- ITEM 0200 - 2528-8445113 FLAGGERS - Bid unit price.
- ITEM 0230 - 2601-2634105 MULCHING, BONDED FIBER MATRIX - Bid unit price.
- ITEM 0250 - 2601-2636043 SEED AND FERTILIZE (RURAL) - Bid unit price.
- ITEM 0260 - 2601-2642100 STABILIZING CROP - SEEDING AND FERTILIZING - Bid unit price.
- ITEM 0270 - 2602-0000309 PERIMETER AND SLOPE SEDIMENT CNTL DEVICE, 9" - Bid unit price.
- ITEM 0280 - 2602-0000350 REMOVAL OF PERIMETER AND SLOPE SEDIMENT CNTL DEV - Bid unit price.
- ITEM 0300 - 2602-0010020 MOBILIZATION, EMERGENCY EROSION CONTROL - Bid unit price.

**D - Justification for cost(s) (See I.M. 6.000, Attachment D, Chapter 2.36, for acceptable justification):**

- ITEM 0100 - 2416-1180030 CULVERT, CONCRETE ROADWAY PIPE, 30 IN. DIA. - Bid unit price.



Form 831240 (12-20)

- ITEM 0110 - 2502-8212306 SUBDRAIN, STD, PERFORATED, 6" - Bid unit price.
- ITEM 0140 - 2511-0302600 RECREATIONAL TRAIL, PCC, 6" - Bid unit price.
- ITEM 0200 - 2528-8445113 FLAGGERS - Bid unit price.
- ITEM 0230 - 2601-2634105 MULCHING, BONDED FIBER MATRIX - Bid unit price.
- ITEM 0250 - 2601-2636043 SEED AND FERTILIZE (RURAL) - Bid unit price.
- ITEM 0260 - 2601-2642100 STABILIZING CROP - SEEDING AND FERTILIZING - Bid unit price.
- ITEM 0270 - 2602-0000309 PERIMETER AND SLOPE SEDIMENT CNTL DEVICE, 9" - Bid unit price.
- ITEM 0280 - 2602-0000350 REMOVAL OF PERIMETER AND SLOPE SEDIMENT CNTL DEV - Bid unit price.
- ITEM 0300 - 2602-0010020 MOBILIZATION, EMERGENCY EROSION CONTROL - Bid unit price.

E - Contract time adjustment:     No Working Days added                       Working Days added: \_\_\_\_\_  Unknown at this time

Justification for selection:

**APPROVED                      DENIED**

Board Member Initials: AKH

Meeting Date: 1-12-21

Follow-up action: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

F - Items included in contract:

Participating				For deductions enter as "-x.xx"			
Federal-aid	State-aid	Line Number	Item Description	Unit Price .xx	Quantity .xxx	Amount .xx	
X		0100	CULVERT, CONCRETE ROADWAY PIPE, 30 IN. DIA.	\$160.00	16.000	\$2,560.00	
X		0110	SUBDRAIN, STD, PERFORATED, 6"	\$10.50	-20.000	-\$210.00	
X		0140	RECREATIONAL TRAIL, PCC, 6"	\$28.35	18.300	\$518.80	
X		0200	FLAGGERS	\$480.00	-10.000	-\$4,800.00	
X		0230	MULCHING, BONDED FIBER MATRIX	\$2,050.00	-1.760	-\$3,608.00	
X		0250	SEED AND FERTILIZE (RURAL)	\$1,850.00	-1.290	-\$2,386.50	
X		0260	STABILIZING CROP - SEEDING AND FERTILIZING	\$1,250.00	0.210	\$262.50	
X		0270	PERIMETER AND SLOPE SEDIMENT CNTL DEVICE, 9"	\$2.00	-700.000	-\$1,400.00	
X		0280	REMOVAL OF PERIMETER AND SLOPE SEDIMENT CNTL DEV	\$0.50	-700.000	-\$350.00	
X		0300	MOBILIZATION, EMERGENCY EROSION CONTROL	\$1,000.00	-1.000	-\$1,000.00	
				Add Row	Delete Row	TOTAL	-\$10,413.19

G - Items not included in contract:

Participating				For deductions enter as "-x.xx"			
Federal-aid	State-aid	Change Number	Item Number	Item Description	Unit Price .xx	Quantity .xxx	Amount .xx
				Add Row	Delete Row	TOTAL	

H. Signatures

Signatures will be applied through DocExpress.

# STORY COUNTY

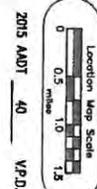
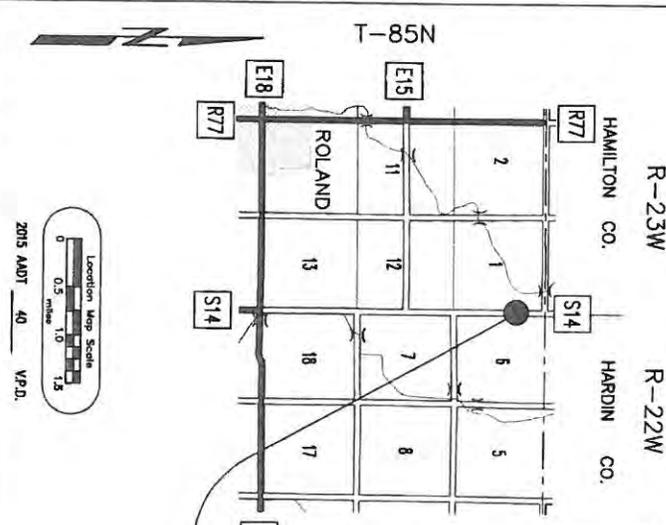
# BRIDGE REPLACEMENT Proj. No. L-WAR6--73-55

Letting Date **Feb. 9, 2021**

**PROJECT TRAFFIC CONTROL PLAN**  
THIS ROAD WILL BE CLOSED TO THROUGH TRAFFIC DURING CONSTRUCTION. LOCAL TRAFFIC TO ADJACENT PROPERTIES WILL BE MAINTAINED AS PROVIDED HEREON. TRAFFIC CONTROL DEVICES TO BE INSTALLED SHALL BE SPECIFICALLY TRAFFIC CONTROL DEVICES OF THE CURRENT STANDARD SPECIFICATIONS. TRAFFIC CONTROL DEVICES SHALL BE INSTALLED WITHIN THE LIMITS OF THIS PROJECT SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, EDITION 2003, CHAPTER 6E. ALL TRAFFIC CONTROL DEVICES SHALL BE RENEWED, ERECTED, AND MAINTAINED BY THE CONTRACTOR.

**UTILITIES INFORMATION**  
UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR SHOWN TO BE WITHIN THE CONSTRUCTION LIMITS SHALL BE NOTIFIED BY THE CONTRACTOR OF THE CONSTRUCTION STARTING DATE AND SCHEDULED WORK IN THE AREA.  
UNDERGROUND UTILITIES: 800-282-1901  
MIDLAND POWER COOP: 515-396-4111

CONTRACTOR SHALL CALL ONE CALL AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. ONE CALL 1-800-292-8888



## IOWA DEPARTMENT OF TRANSPORTATION Highway Division PLANS OF PROPOSED IMPROVEMENT ON THE SECONDARY ROAD SYSTEM STORY COUNTY BRIDGE REPLACEMENT

On 620th Ave.: over small stream,  
on West Line of Section 6-85-22.

Refer to Proposal Form for a list of applicable specifications.

Scales: As Noted

**CONTRACTOR'S OBLIGATION**  
CONTRACTOR SHALL BE RESPONSIBLE FOR THE REQUIREMENTS OF U.S. ARMY CORPS OF ENGINEERS AND STATE ENGINEER, DESIGNS, ILL. A COPY OF THIS PERMIT IS AVAILABLE FROM THE U.S. ARMY CORPS OF ENGINEERS (www.usace.army.mil) AND THE STATE ENGINEER (www.iowadot.com). CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST TO TEST THE SITE WITHOUT PREVIOUS NOTICE.

**IOWA ONE CALL**  
1-800-292-8989  
www.iowadot.com  
Call before you dig

SEND SHOP DRAWINGS TO:  
STORY COUNTY ENGINEER  
837 N AVE.  
NEVADA, IOWA 50201

**PROJECT LOCATION**  
STA 9+41.85; ON 620TH AVE.;  
0.46 MILES SOUTH OF THE  
NORTHWEST CORNER OF  
SECTION 6-85-22.  
DESIGN FOR:  
TWIN 60" x 66"  
METAL PIPE CULVERTS  
ON 0° SKEW



I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.  
Taylor Sparks  
Date: 1-5-21  
The expiration date is December 31, 2022.  
Printed or dated covered by this seal (Date expiration unless specified here)

Accepted by  
Cassie Wilson  
Story County Engineer  
Date: 1-6-21  
Approved Story County Board of Supervisors  
[Signature]

Number	Date	Description
BR-101	04-18-17	PIPE CULVERT (BEDDING AND BACKFILL)
BR-102	04-21-18	PIPE CULVERT (COVER AND CAMBER)
BR-103	04-21-18	PIPE CULVERT (INSTALLATION DETAILS)
BR-104	04-19-18	DEPTH OF COVER TABLES FOR CONCRETE AND CORRUGATED PIPE
BR-302	10-20-15	SUBURBAN STANDARD (FARM TILE REPLACEMENT)
BR-305	04-17-18	SUBURBAN OUTLETS (STANDARD SUBURBAN, PRESSURE RELEASE AND SPECIAL)
EC-204	04-19-16	PERMITTER AND SLOPE SEDIMENT CONTROL DEVICES
EC-207	10-18-16	ROCK EROSION CONTROL (REC)
EW-101	10-17-17	EMBANKMENT AND RESULTING ENHANCEMENTS
EW-102	10-20-15	ALLOWABLE PLACEMENT OF UNSATURABLE SOILS IN EMBANKMENTS
EW-501	10-20-15	RURAL ENTRANCE
TC-282	04-18-16	ROUTES CLOSED TO TRAFFIC

MILEAGE SUMMARY			
Div.	Location	Ln. Ft.	Miles
1	STW 84-75.00 TO STA. 104-90.00	175.00	0.033
Total		175.00	0.033

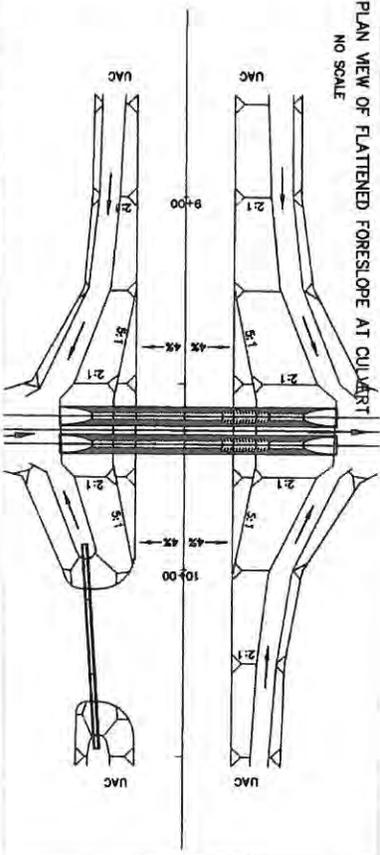
INDEX OF SHEETS	
No.	Description
A-01	TITLE SHEET
C-01	QUANTITY INFORMATION SHEET
C-02	GENERAL NOTES SHEET
C-03	TABULATIONS SHEET
C-04	CULVERT DETAIL SHEET
C-05	HORIZONTAL DETAIL SHEET
D-01	PLAN AND PROFILE SHEET
W-01	CROSS SECTIONS
W-02	W-02
W-03	W-03

ESTIMATED PROJECT QUANTITIES OF QUANTITIES  
(1 DIVISION PROJECT)

100-14  
07-15-97

ITEM	ITEM CODE	ITEM	UNIT	TOTAL
1	2101-0880001	CLEARING AND GRUBBING	ACRE	0.3
2	2102-2625001	EMBANKMENT-IN-PLACE CONTRACTOR FURNISHED	CY	77.7
3	2102-2710070	EXCAVATION, CL 10, ROADWAY AND BORROW	CY	242.3
4	2104-2710020	EXCAVATION, CLASS 10, CHANNEL	CY	16.0
5	2107-0425020	COMPACT BACKFILL ADJACENT TO STRUCTURE	CY	26.4
6	2401-6745650	REMOVAL OF EXISTING STRUCTURE	LS	1.0
7	2402-2720100	EXCAVATION, CLASS 20, FOR ROADWAY PIPE CULVERT	CY	209.6
8	2403-0100000	STRUCTURAL CONCRETE (MISCELLANEOUS)	CY	11.3
9	2404-7775000	REINFORCING STEEL	LB	220.0
10	2417-1040024	CULVERT, CORRUGATED METAL ENTRANCE PIPE, 24 IN. DIA.	LF	50.0
11	2417-1080060	CULVERT, CORRUGATED METAL ROADWAY PIPE, 60 IN. DIA.	LF	132.0
12	2502-8215810	SUBDRAIN, TILE, 10 IN. DIA.	LF	65.0
13	2502-8221305	SUBDRAIN OUTLET, DR-305	EACH	4.0
14	2507-3250005	ENGINEER FABRIC	SY	95.1
15	2507-6800061	REVEITEMT, CLASS E	TON	69.0
16	2518-6910000	SAFETY CLOSURE	EACH	4.0
17	2528-8445110	TRAFFIC CONTROL	LS	1.0
18	2533-4980005	MOBILIZATION	LS	1.0
19	2599-9999003	REVEITEMT, REMOVE STOCKPILE AND DISPOSE	CY	55.5

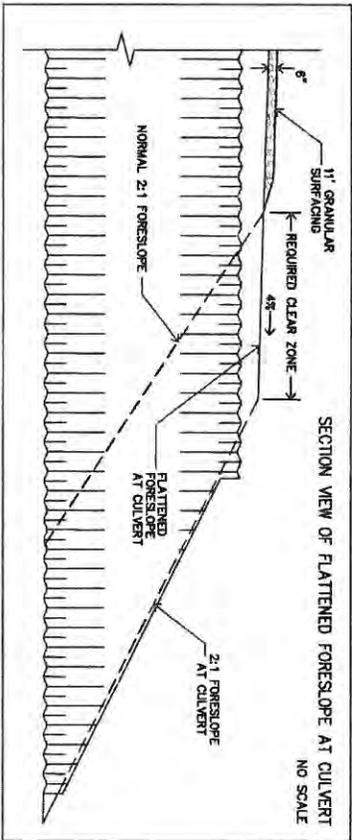
PLAN VIEW OF FLATTENED FORESLOPE AT CULVERT



ESTIMATE REFERENCE INFORMATION

- Entire project to be cleared and grubbed from BOP to EOP and from ROW line to ROW line.
- Quantity to backfill roadway area, 24' wide by 35' in length, over the top of the pipes.
- Plan quantity is based on approximately 216.7 CY of fill (30% sink factor) and 242.3 CY of cut. Fill quantity includes 78.5 CY to rebuild field entrance, and of the fill quantity, 77.7 CY shall come from the Embankment-in-place. A non-compact material, being the primary area, contractor may use any excess material on topsoiling. Type A non-compact material, 100% shall be used for the embankment. Topsoil shall be spread to a minimum 4" on all disturbed areas from station points to edge of road. Slopes to be finished smooth to allow for seeding. Seeding done by county.
- Item for the excavation for the outlet splash basin. Quantity estimated at 16.0 cy for excavating a 18'x12'-2" basin at the outlet. Suitable excavated material may be used to supplement the Class 10 Roadway quantity, with the approval of the Engineer.
- Contractor shall compact granular backfill using methods and precautions outlined in Section 2402.03 H. The granular backfilling material is estimated to be approximately 57 tons. See Sheet A133 specifications and shall be considered incidental to this item. See Sheet C02 for backfilling limits and dimensions.
- The existing structure is a single span 15'x24' treated timber bridge on a G' skew with treated timber abutment piling and wingwalls. Materials from the old structure shall become the property of the Contractor according to article 1104.08 of the Standard Specifications, and removed from the site. Burying removal materials on site will not be allowed.
- Item for the excavation for culvert and bedding material. Suitable material may be used to backfill culvert and supplement Class 10 roadway quantity with approval from the Engineer.
- 8-9. The concrete and steel items are for headwall tie-downs at both the inlet and the outlet. See Sheet C05 for details, dimension, and quantity breakdown.
- Structure shall be two metal pipe culverts, side-by-side, with ends beveled to fit the slope. See beveled end fabrication method. Structure shall be supported by the contractor as per plan. Approximately 46 tons of 1" rock is required under the box for bedding. The bedding is incidental to bid this item.
- Items for relocation of field tile; may also be used for the relocation of existing road tiles. Road tiles are common design features and are usually encountered during construction. Existing road tiles that are found during the preliminary survey are identified on these plans; however, occasionally, existing road tiles may not be found during the survey and only discovered during construction activities.
- 14-15. Items for the construction of rock splash basin at the outlet and rock slope protection of inlet. See tabulation 100-23 on Sheet C03 for stationing and quantities, and Standard Road Plan EC-201 for details.
- See Tabulation 108-13A on Sheet C03 for stationing and quantities.
- See Standard Road Plan TC-252 for details.
- Item for the removal, stockpiling, and disposal of existing broken concrete, stone revetment, and poured concrete. Preliminary survey measurements and estimates shall be used to estimate quantities. Contractor shall be paid actual quantity by measuring the stockpile and computing the volume. Basis of Payment shall be in cubic yards as computed by measurements.

SECTION VIEW OF FLATTENED FORESLOPE AT CULVERT



GENERAL NOTES

GENERAL NOTES:

Contractor to construct twin 60"x66" corrugated metal pipe culverts on a  $\sigma$  stem, on 620th Ave. over an unrunned field drainage, and grade approaches.

It shall be the contractor's responsibility to provide waste areas or disposal sites for excess material (excavated material or broken concrete) which is not desirable to be incorporated into the work involved on this project. These areas shall not impact wetlands or "Waters Of The U.S." No payment for overhaul will be allowed for material hauled to these sites. No material shall be placed within the right-of-way, unless specifically stated in the plans.

Construction activities, equipment, and materials shall be kept out of the streams, wetlands, or other bodies of water to the maximum extent practicable.

CONTRACTOR'S WORK AREA:

The Contractor's work and material storage area shall be defined by the Contractor and noted to the Engineer. Any area outside the Contractor's work and material storage area that is disturbed by the Contractor shall be repaired to its original condition by the Contractor and no additional payment shall be made for this work.

UTILITY NOTES:

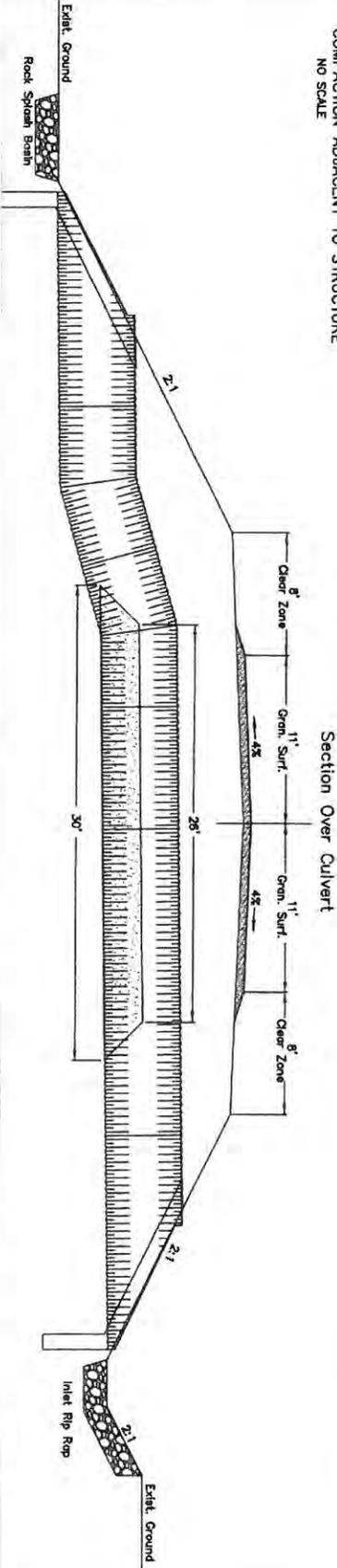
The Contractor shall call One Call at least 48 hours prior to beginning work. Utility companies found to be located within the construction area are listed on the title sheet of these plans. See Section 1107.15 of the current Iowa DOT Standard Specifications For Highway And Bridge Construction, regarding utility related responsibilities.

SHOP DRAWING NOTES:

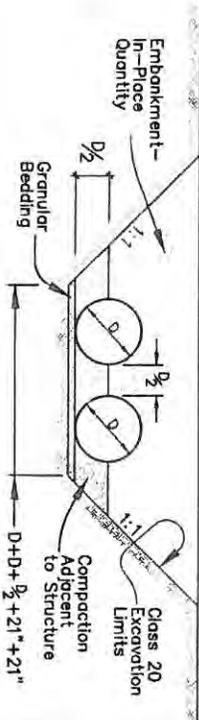
Working drawings and calculations shall be furnished by the Contractor and certified by a licensed engineer in the State of Iowa, and shall be submitted to the Story County Engineer for review and approval. Refer to Section 1105.03 for additional information.

Story County to stake culvert control and right-of-way, maintain detour signing, furnish and place granular surfacing on roadway, apply seeding and mulching, and place erosion control measures. It is presumed that there is no asbestos at this site. However, should the occasion arise that asbestos is discovered during bridge demolition, then demolition shall cease and the the County will contract with a licensed asbestos contractor to remove any asbestos.

COMPACTION ADJACENT TO STRUCTURE  
NO SCALE



SECTION VIEW AT CULVERT  
NO SCALE



EMERALD ASH BORER NOTE:

Any living, dead, cut or fallen material of the ash (Fraxinus spp.) including trees, nursery stock, logs, firewood, stumps, roots, branches, and composted or uncomposted ash chips can be freely moved within the yellow areas of the map, recent Federal EAB Quarantine & Authorized Tonnage.

[https://www.aphis.usda.gov/danl\\_health/danl\\_ashl\\_info/emerald\\_ash\\_b/demolish/sep\\_quarantine\\_map.pdf](https://www.aphis.usda.gov/danl_health/danl_ashl_info/emerald_ash_b/demolish/sep_quarantine_map.pdf).

Obtain appropriate Compliance Agreements from USDA APHIS PPO prior to moving any of the above listed ash articles to areas outside the yellow zone on the map. For questions, concerns, and general assistance, contact:

USDA APHIS PPO, Iowa office, 515-414-3295

Or

Iowa Department of Agriculture & Land Stewardship

515-725-1470

[Entomology@iowadnr.gov](mailto:Entomology@iowadnr.gov)

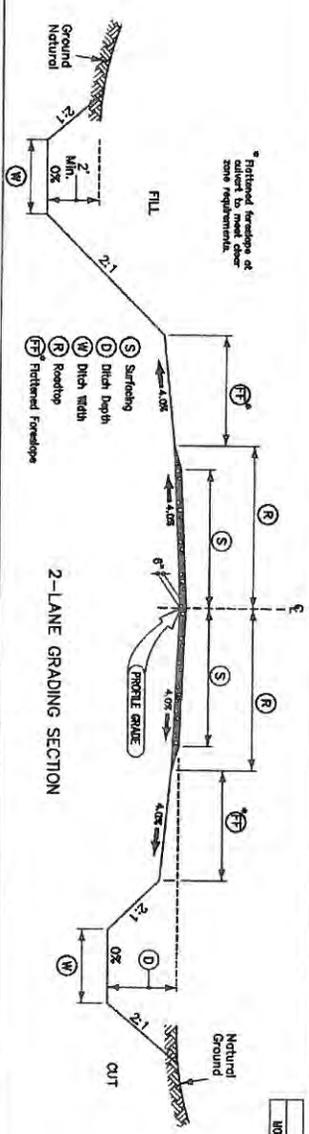
INDIANA BAT HABITAT:

See Iowa DOT Specification Section 2101.01

Normal section shown may be modified appropriately in areas of superimposed structures, or other conditions not depicted by this Diagram.

See Plan & Profile sheets and cross sections for additional details of structure and location.

ROAD IDENTIFICATION	SIDE	STATION TO STATION	DIMENSIONS				
			PF	D	W	R	S
620th Ave.	LT.	8+72.0	0	6	6	13	11
620th Ave.	LT.	8+72.3	0	6	6	13	11
620th Ave.	LT.	8+71.8	0	6	6	13	11
620th Ave.	LT.	8+71.6	0	6	6	13	11
620th Ave.	LT.	10+01.6	0	6	6	13	11
620th Ave.	LT.	10+50.0	0	6	6	13	11
620th Ave.	RT.	8+75.0	0	6	6	13	11
620th Ave.	RT.	8+24.3	0	6	6	13	11
620th Ave.	RT.	8+54.3	0	6	6	13	11
620th Ave.	RT.	8+71.6	0	6	6	13	11
620th Ave.	RT.	10+01.6	0	6	6	13	11
620th Ave.	RT.	10+50.0	0	6	6	13	11



DRAINAGE STRUCTURES BY CULVERT CONTRACTOR

Location	Size	Kind	Length In. Ft.	New Conrt.	No. of Aprons	Flow Line Elevation		Dimensions - Lin. Ft.		By Road Contractor		Remarks
						Left	Right	Total	Extensions	Skew Ahead	Ditch Location	
9+81.96	60"	Tyris CIP	66.0			1096.10	1098.60	1096.35	1098.05	40.2	38.6	
10+281.2	24"	CMP Entrance	60.0			1074.40	1072.90	21.3	28.7			209.6 of Class 20 Esosak Field entrance pipe.

ROCK EROSION CONTROL

Road Identification	Location	Begin Station	End Station	Side	Type	Rock Erosion Control (REC)					Material Bid Quantities			Remarks
						Type 1	Type 2	Type 3	Type 4	Type 5	Erosion Stone	Class E	Eng. Fabric	
620th Ave.		9+452.8	9+70.8	48' LT.	L						27.0	39.1		Spilash Basin at culvert outlet. (EC-301, Type 4)
620th Ave.		9+50.9	9+74.9	44' RT.	W						42.0	56.0		Slope Protection at culvert inlet. (EC-301, Type 5)

LIST OF SUBDRAIN WORK

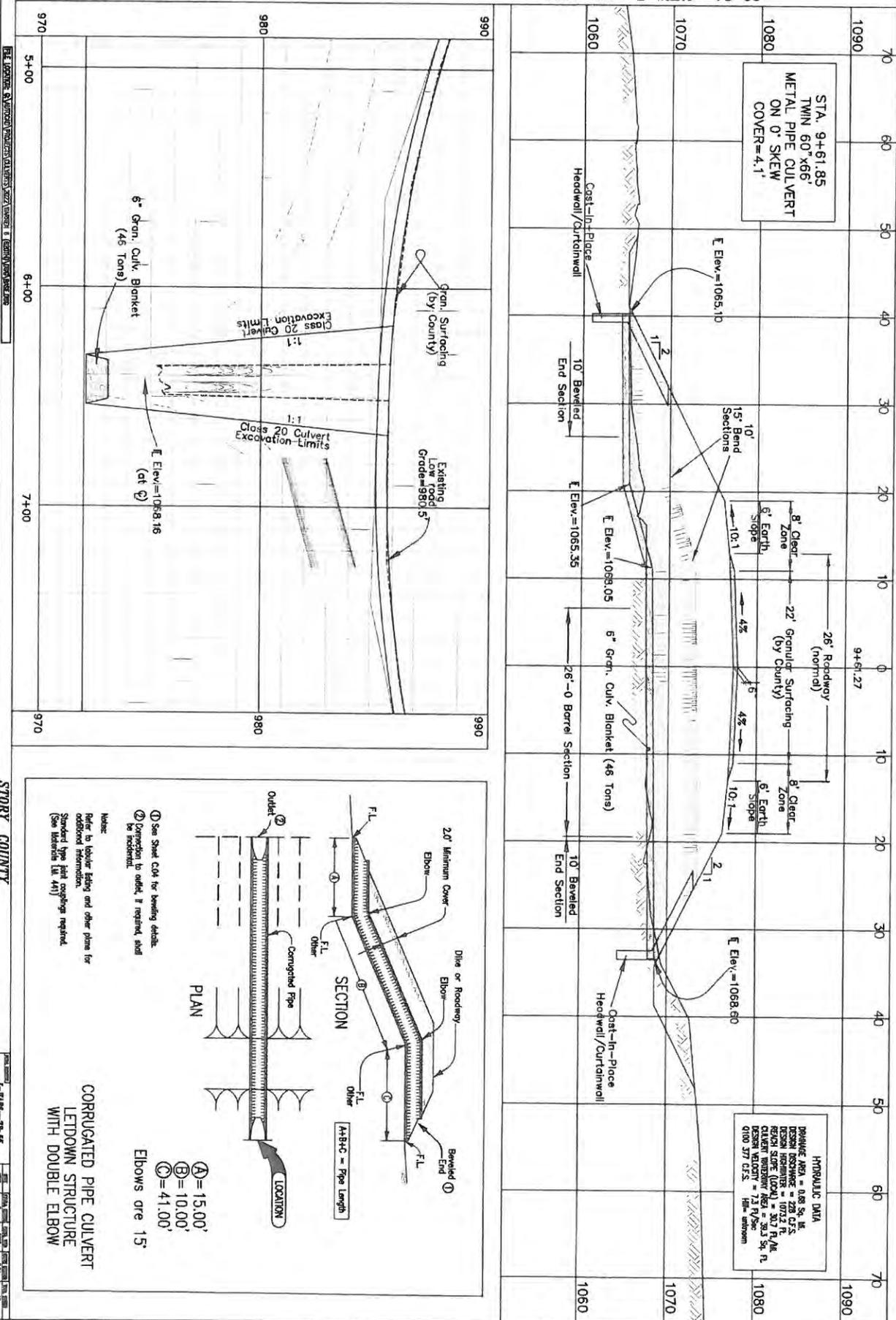
No.	Station to Station	Type of Installation	Pipe	Acorns		Outlets		Remarks				
				No.	Type	No.	Type					
1	9+56.5 LT.	DR-301, DR-302, DR-303	Concrete C.I.P. C.I.P. Correl. or Plastic	10	65	DR-201	DR-203	DR-304	DR-305	DR-121	DR-305	Field drainage tile relocation

TABLATION OF SAFETY CLOSURES

STATION	ROAD QTY.	HAZARD QTY.	REMARKS
8+00	1	1	
8+78	1	1	
10+50	1	1	
11+00	2	2	
TOTAL			4.00

**CULVERT DETAIL SHEET**

PROJ No. L-WAR6--73-55



STA. 9+61.85  
TWIN 60"x66"  
METAL PIPE CULVERT  
ON 0° SKEW  
COVER=4.1'

HYDRAULIC DATA  
DESIGN VELOCITY = 0.815 m/s  
DESIGN DISCHARGE = 228 cfs  
DESIGN HEADWATER = 107.2 ft  
DESIGN SLOPE (LOCK) = 3.02 F/M  
CULVERT INVERT = 32.35 ft  
CULVERT LENGTH = 141.1 ft  
CULVERT AREA = 141.1 sq ft

SEE EXISTING SURVEY PLANS FOR EXISTING SURFACE GRADES & ELEVATIONS

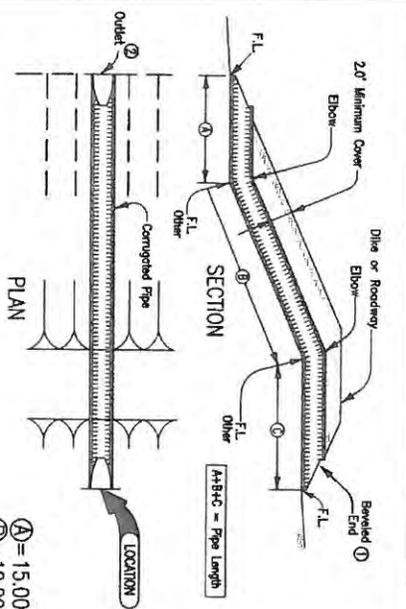
STORY COUNTY

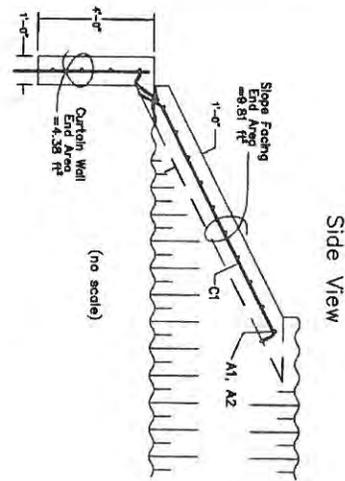
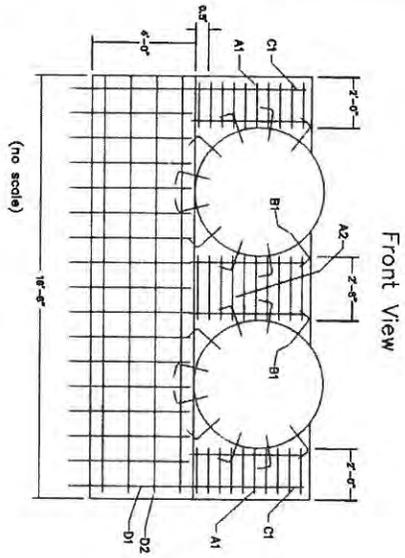
SEE EXISTING SURVEY PLANS FOR EXISTING SURFACE GRADES & ELEVATIONS

- ① See Steel Code for bending details.
  - ② Compensate to outside, if required, shall be incidental.
- Notes:  
Refer to labor listing and other plans for additional information.  
Standard type fastenings required.  
(See Schedule III, 441)

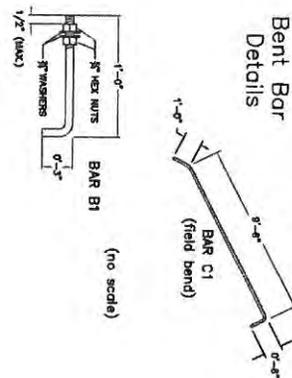
CORRUGATED PIPE CULVERT  
LET-DOWN STRUCTURE  
WITH DOUBLE ELBOW

Elbows are 15°  
A = 15.00'  
B = 10.00'  
C = 41.00'  
A+B+C = Pipe Length





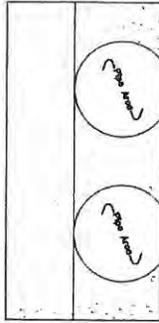
Bent Bar Details



CONCRETE QUANTITY ITEMIZATION

Slope Facing Concrete Quantity  
 8.97' x 18.5' x 27" = 6.00 cy  
 (see plan and) = 5.00 cy  
 Total = 11.00 cy

Curbs and Concrete Quantity  
 4.39' x 18.5' x 27" = 2.68 cy  
 Total = 13.68 cy

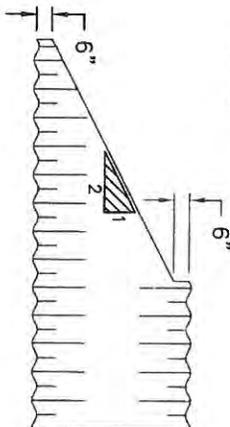


REINFORCING STEEL ITEMIZATION

LOCATION	MARK	NO.	SIZE	SPACING	LENGTH	WEIGHT
CURTAIN WALL	D1	18	#4	1'-0"	4'-6"	54.1
	D2	8	#4	1'-0"	8'-6"	45.4
SLOPE COLLAR	A1	30	#4	1'-0"	1'-6"	40.1
	C1	6	#4	1'-0"	11'-0"	58.8
LONGITUDINAL	B1	20	3/4"	1'-0"	1'-3"	16.7
HOOK BOLTS		80	3/4"			3.5
HEX NUTS		80	3/4"			1.5
WASHERS		80	3/4"			1.5
TOTAL:						220.1

(for both headwalls)

STEP BEVELED END SECTION



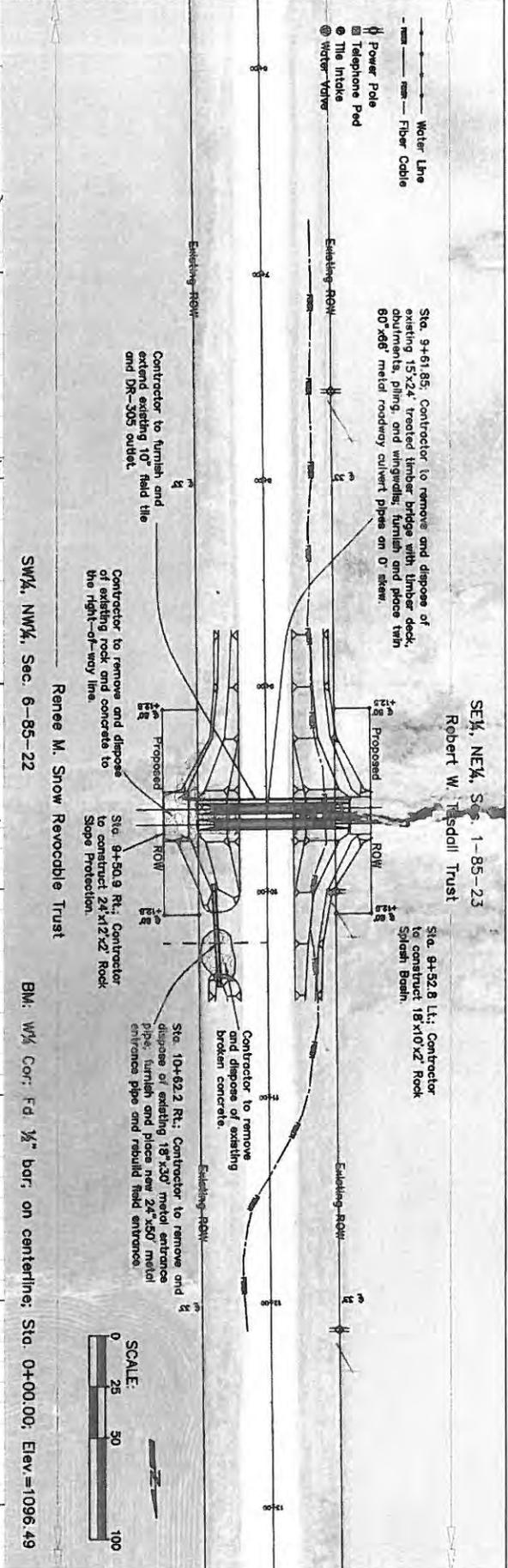
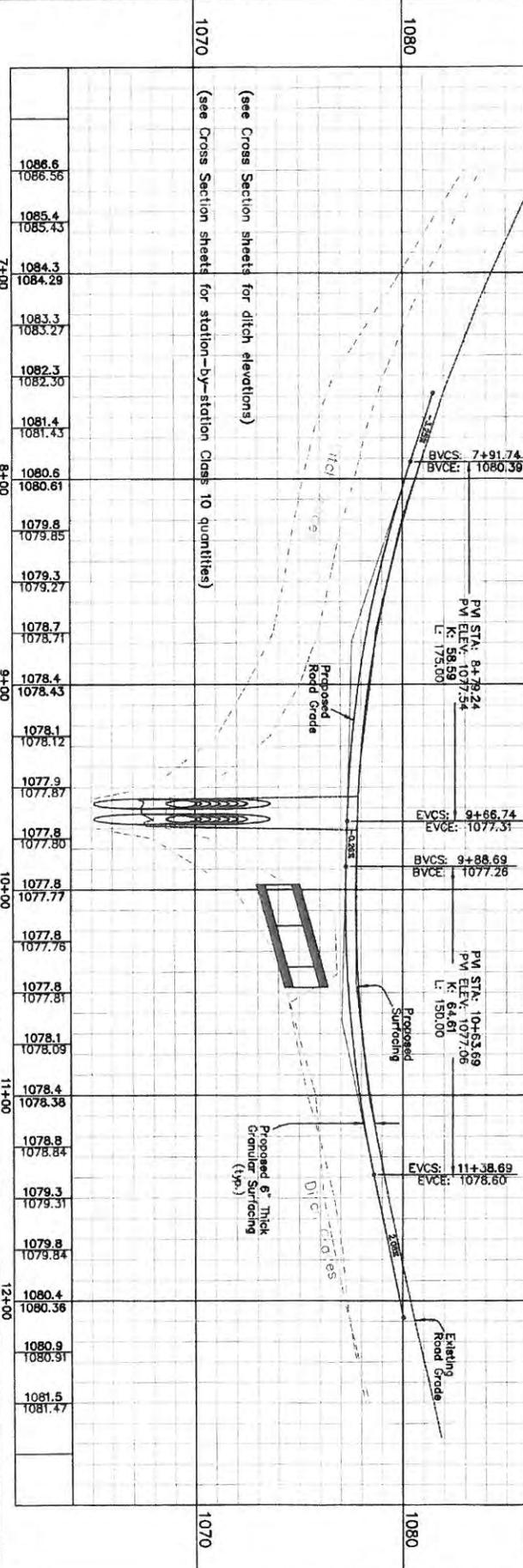
PLAN AND PROFILE SHEET

PROJ No. L-WAR6--73-55

THE LOWLANDS OF ANNEBOROUGH, HANCOCK, QUINCY, AND YORK COUNTIES, SOUTH CAROLINA

STORY COUNTY

12-21-00



CROSS SECTIONS SHEET

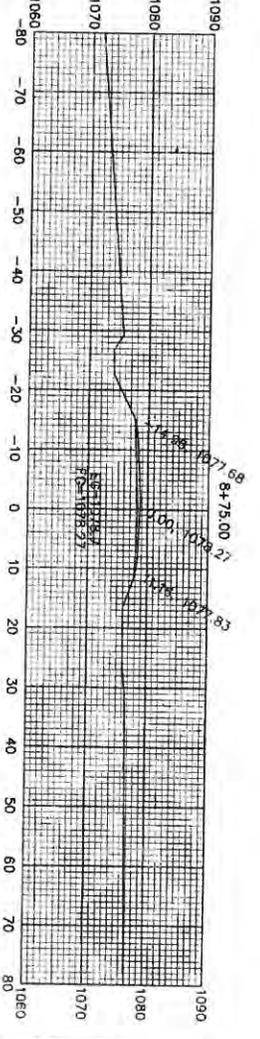
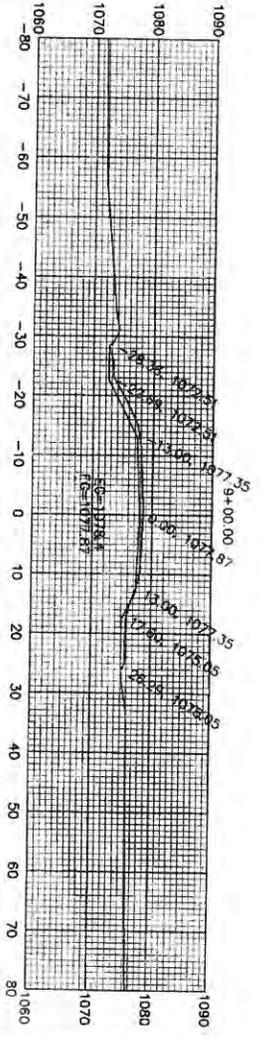
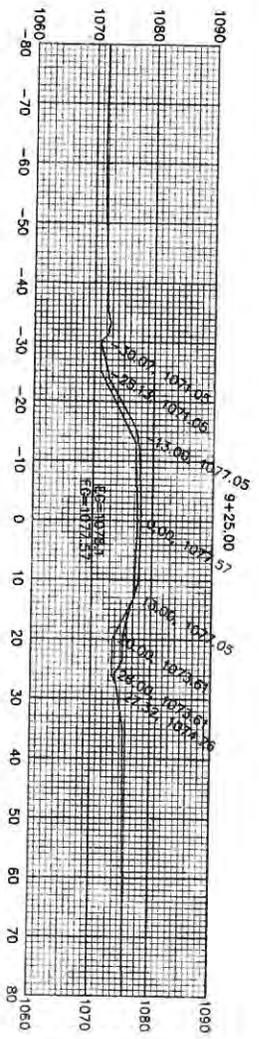
PROJ No. L-WAR6--73-55

FILE LOCATION: D:\PROJECTS\WARREN\WARREN\DRAWINGS\1. GENERAL\GEN\STW-55

STORY COUNTY

L-WAR6--73-55

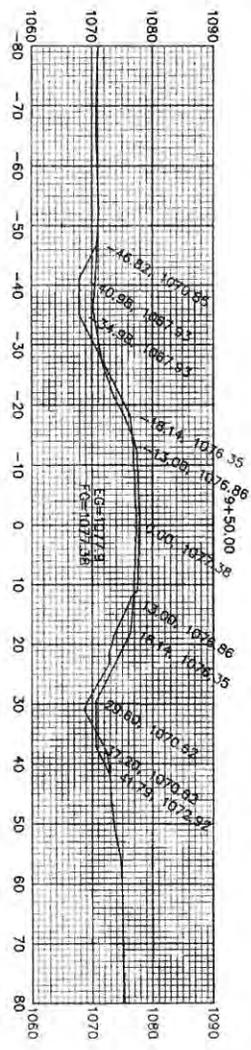
DATE: 11/15/73



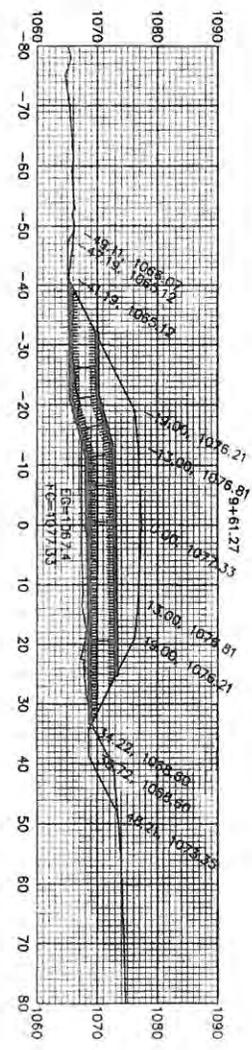
THE LOCATION OF ALL POINTS AND ELEVATIONS SHOWN ON THIS SHEET ARE BASED ON THE

STORY COUNTY

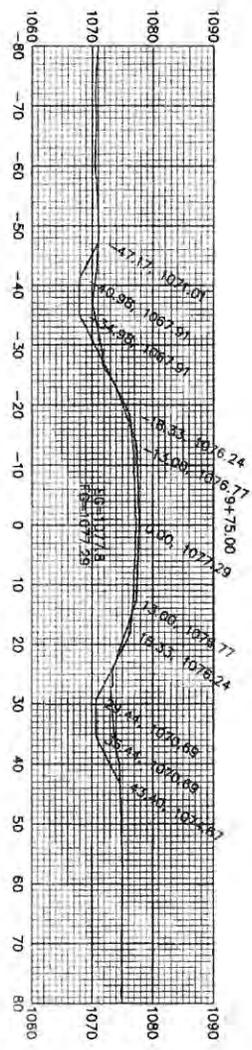
DATE: 10/1/55  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: 1" = 40'



Sta. 9+50.00
Cut Area 50.99
Fill Area 40.91
Cut Vol 44.14
Fill Vol 24.63



Sta. 9+61.27
Cut Area 31.29
Fill Area 530.88
Cut Vol 17.18
Fill Vol 155.19



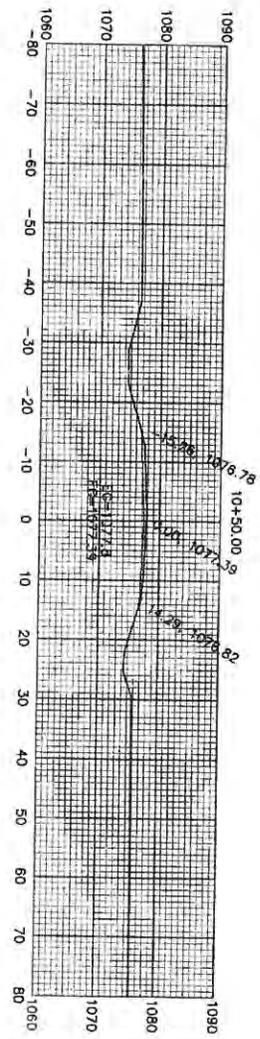
Sta. 9+75.00
Cut Area 85.67
Fill Area 6.21
Cut Vol 29.73
Fill Vol 177.48

FILE LOCATION: S:\PROJECTS\PROJECTS\WARREN & GORTON\WARREN.DWG

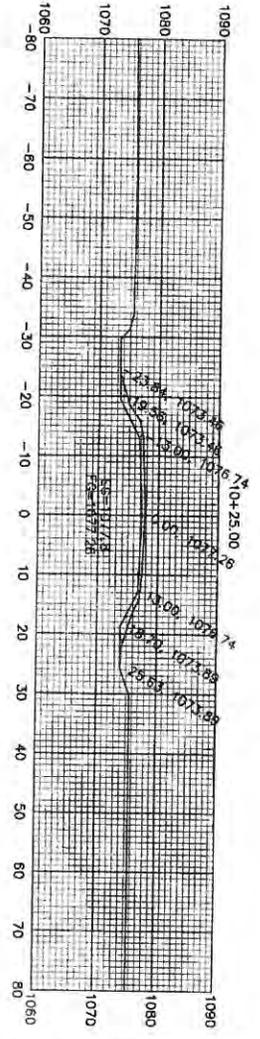
STORY COUNTY

L-WAR6--73-55

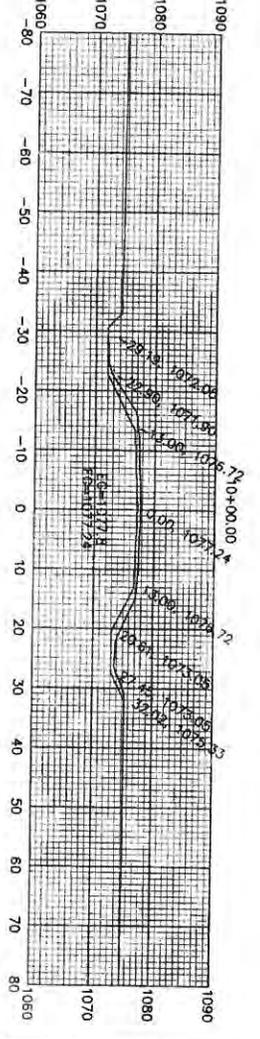
DATE: 10/10/88



Sta. 10+50.00	
Cut Area	12.67
Fill Area	0.00
Cut Vol	20.83
Fill Vol	0.00



Sta. 10+25.00	
Cut Area	32.34
Fill Area	0.00
Cut Vol	35.89
Fill Vol	0.00



Sta. 10+00.00	
Cut Area	45.18
Fill Area	0.00
Cut Vol	60.58
Fill Vol	3.74



ESTIMATED PROJECT QUANTITIES OF QUANTITIES  
(1 DIVISION PROJECT)

100-1A  
07-15-97

ITEM	ITEM CODE	ITEM	UNIT	TOTAL
1	2101-0850001	CLEARING AND GRUBBING	ACRE	0.4
2	2102-2710070	EXCAVATION, CLASS 10, ROADWAY AND BORROW	CY	316.9
3	2104-2710020	EXCAVATION, CLASS 10, CHANNEL	CY	28.9
4	2107-0425020	COMPACT BACKFILL ADJACENT TO STRUCTURE	CY	16.8
5	2401-6745650	REMOVAL OF EXISTING STRUCTURES	LS	1.0
6	2402-2720000	EXCAVATION, CLASS 20	CY	240
7	2403-0100000	STRUCTURAL CONCRETE (MISCELLANEOUS)	CY	6.4
8	2404-7775000	REINFORCING STEEL	LB	221
9	2417-1060060	CULVERT, CORRUGATED METAL ROADWAY PIPE, 60 IN. DIA.	LF	110.0
10	2502-8212106	SUBDRAIN, PLASTIC PIPE, 6 IN.	LF	60.0
11	2502-8221305	SUBDRAIN OUTLET, DR-305	EACH	2.0
12	2507-3250005	ENGINEERING FABRIC	SY	89.4
13	2507-6800061	REVENMENT, CLASS E	TON	42.5
14	2518-6910000	SAFETY CLOSURE	EACH	4.0
15	2528-8445110	TRAFFIC CONTROL	LS	1.0
16	2533-4980005	MOBILIZATION	LS	1.0

GENERAL NOTES

Story County to stake culvert control and right-of-way, maintain detour signing, furnish and place granular surfacing on roadway, apply seeding and mulching, and place erosion control measures.

CONTRACTOR'S NOTES:

It shall be the Contractor's responsibility to provide waste areas or disposal sites for excess material (excavated material, broken concrete, etc.) which is not desirable to be incorporated into the work involved on this project. These areas shall not impact wetlands or "Waters of the U.S." No payment for overhaul will be allowed for material hauled to these sites. No material shall be placed within the right-of-way, unless specifically stated in the plans. Contractor shall maintain access to individual properties during construction. This work shall be considered incidental to this project.

EMERALD ASH BORER:

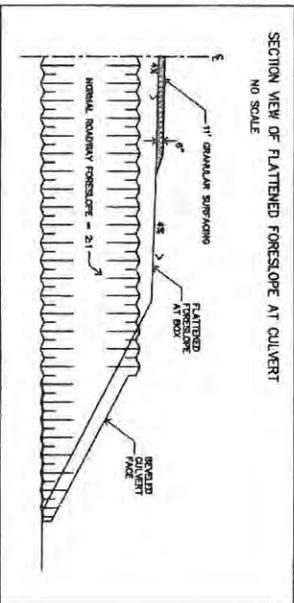
Dispose of all wood material generated as a result of clearing and/or grubbing according to the Iowa Department of Agriculture and Land Stewardship's Emerald Ash Borer (EAB) Quarantine Order. For more information refer to [http://www.iowadnrpests.com/eab\\_regulations.html](http://www.iowadnrpests.com/eab_regulations.html).

INDIANA BAT NOTES:

See Iowa DOT Specification Section 2101.01 on tree removal.

ESTIMATE REFERENCE INFORMATION

ITEM NO.	DESCRIPTION
1.	The entire project shall be cleared and grubbed from BOP to EOP and from ROW line to ROW line.
2.	Plan quantity is based on approximately 316.9 CY of fill (30% shrink factor) and 289.9 CY of cut. Contractor shall furnish 27.0 CY of suitable borrow material to achieve dirt balance. Type A composition required. No payment for overhaul will be made. Approximately 92.7 CY of this item includes the stripping, stockpiling, and spreading Topsoil. Topsoil to be spread smooth to a minimum of 4" on all disturbed areas from catch points to edge of road. Slopes to be finished smooth to allow for seeding. See Cross Section sheets for station-by-station dirt quantities.
3.	Item for excavating a 10'x10'x2' rock splash basin at the outlet, and matching the inlet channel. Quantity includes 6.9 CY for the outlet splash basin. Suitable excavated material may be used as fill for any channel relocation or drained and wasted on roadway foreslopes with the approval from the Engineer.
4.	Contractor shall compact granular backfill using methods and precautions outlined in Section 2402.03 H. All backfilling material is estimated to be approximately 35 tons, and shall meet Section 413 specifications and shall be considered incidental to this item. See Sheet C:04 for backfilling limits and dimensions.
5.	The existing structure is a 3'x3'x55' (on 30' skew) concrete box culvert that has been extended with a 48'x20' metal pipe culvert on the inlet and a 48'x14' metal pipe culvert at the outlet. Materials from the old structures shall become the property of the Contractor and removed from site according to article 1104.06 of the Standard Specifications.
6.	Item for excavation for culvert placement. Suitable material may be used to backfill culvert and supplement Class 10 roadway quantity with approval from the Engineer.
7-B.	The concrete and steel items are for headwall tie-downs at both the inlet and the outlet. See Sheet C:04 for details, dimensions, and quantity breakdown.
9.	The 60' metal culvert shall be fabricated and placed according to details and dimensions in these plans. See Tabulation 10A-4 on Sheet C:02, and Sheets C:04 and C:05 for fabrication details. There are approximately 33.0 tons of granular material required under the culvert for bedding. The bedding is incidental to this bid item.
10-11.	Items for the relocation of existing road ties. Road ties are common design features and are usually encountered during construction. Existing road ties that are found during the preliminary survey are identified on these plans; however, occasionally, existing road ties may not be found during the survey and only discovered during construction activities. This bid item includes all bends, fittings, and adapters.
12-13.	Items for the construction of a rock splash basin at the outlet and rock ditch checks. See Tabulation 100-23 on Sheet C:02 for stationing and quantities, and Standard Road Plan EC-301 for details.
14.	See Tabulation 108-13A on Sheet C:03 for stationing and quantities.
15.	See Standard Road Plan TC-252 for details.



STORY COUNTY

PLANNING & DESIGN DIVISION

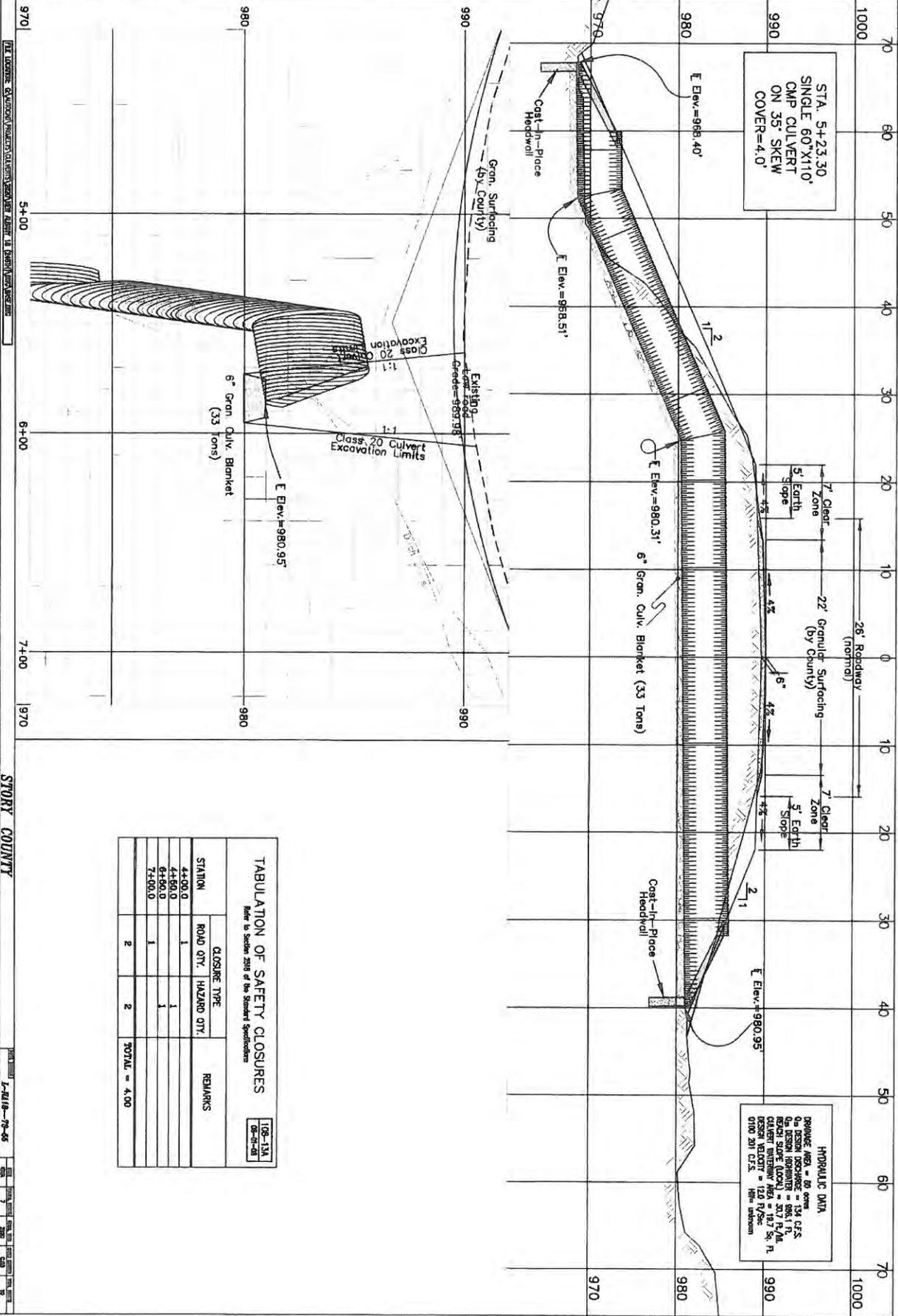
PROJECT: L-NA18-73-55

DATE: 07/15/97



CULVERT DETAIL SHEET

PROJ No. L-NA18--73-55



STA. 5+23.30  
SINGLE 60"x110"  
CMP CULVERT  
ON 35' SKEW  
COVER=4.0'

HYDRAULIC DATA  
 DESIGN AREA = 60 acres  
 DESIGN DISCHARGE = 134 CFS  
 DESIGN VELOCITY = 5.61 F/Sec  
 DESIGN FLOW AREA = 23.7 Sq. Ft.  
 DESIGN CHANNEL AREA = 18.7 Sq. Ft.  
 DESIGN VELOCITY = 12.0 F/Sec  
 0100 201 CFS. Min. Inflow

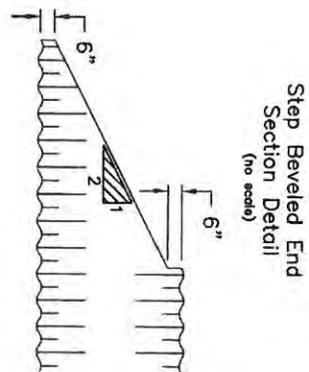
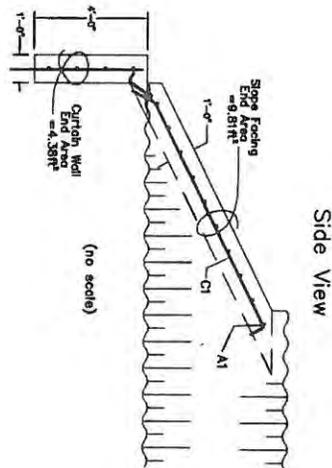
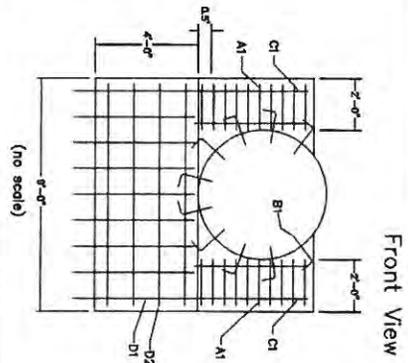
TABULATION OF SAFETY CLOSURES  
 Refer to Section 2016 of the Standard Specifications

STATION	CLOSURE TYPE		REMARKS
	ROAD QTY.	HAZARD QTY.	
4+00.0	1	1	
4+50.0	1	1	
6+50.0	1	1	
7+00.0	1	1	
	2	2	TOTAL = 4.00

STORY COUNTY

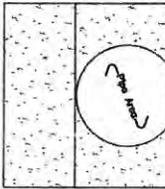
7-21/18-73-45

108-13A	108-13B	108-13C	108-13D	108-13E	108-13F	108-13G	108-13H	108-13I	108-13J	108-13K	108-13L	108-13M	108-13N	108-13O	108-13P	108-13Q	108-13R	108-13S	108-13T	108-13U	108-13V	108-13W	108-13X	108-13Y	108-13Z
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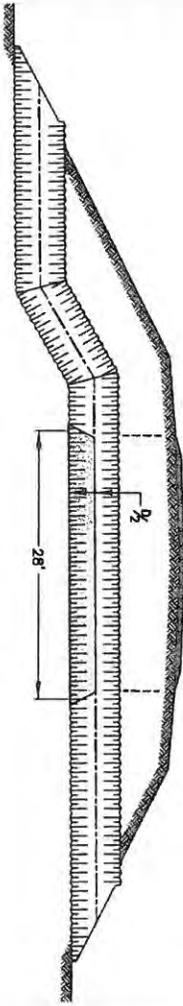


CONCRETE QUANTITY ITEMIZATION

Slope Facing Concrete Quantity  
 8.87 ft<sup>3</sup> @ 140 lb/cy = 1.24 cy  
 1.74 cy  
 Curtain Wall Concrete Quantity  
 4.28 ft<sup>3</sup> @ 140 lb/cy = 0.31 cy  
 Total = (1.74+0.31) = 2.05 cy  
 @ 2 = 4.10 cu yds



COMPACTION ADJACENT TO STRUCTURE  
 NO SCALE

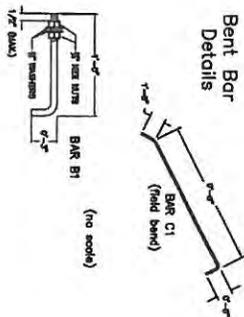
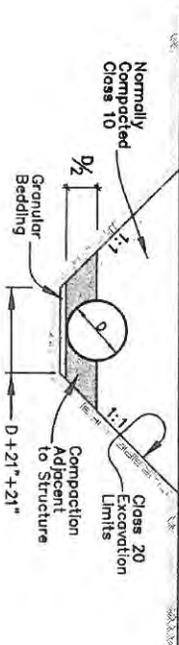


REINFORCING STEEL ITEMIZATION

LOCATION	MARK	NO.	SIZE	SPACING	LENGTH	WEIGHT
CURTAIN WALL	vertical	D1	#4	1'-0"	4'-6"	54.3
	horizontal	D2	#4	1'-0"	8'-6"	45.5
SLOPE COLLAR	transverse	A1	#4	1'-0"	1'-6"	40.2
	longitudinal	C1	#4	1'-0"	11'-0"	59.0
HOOK BOLTS		B1	20	1'-0"	1'-3"	16.7
			80	3/4"		3.5
HEX NUTS			80	3/4"		3.5
			80	3/4"		1.5
TOTAL:						220.8

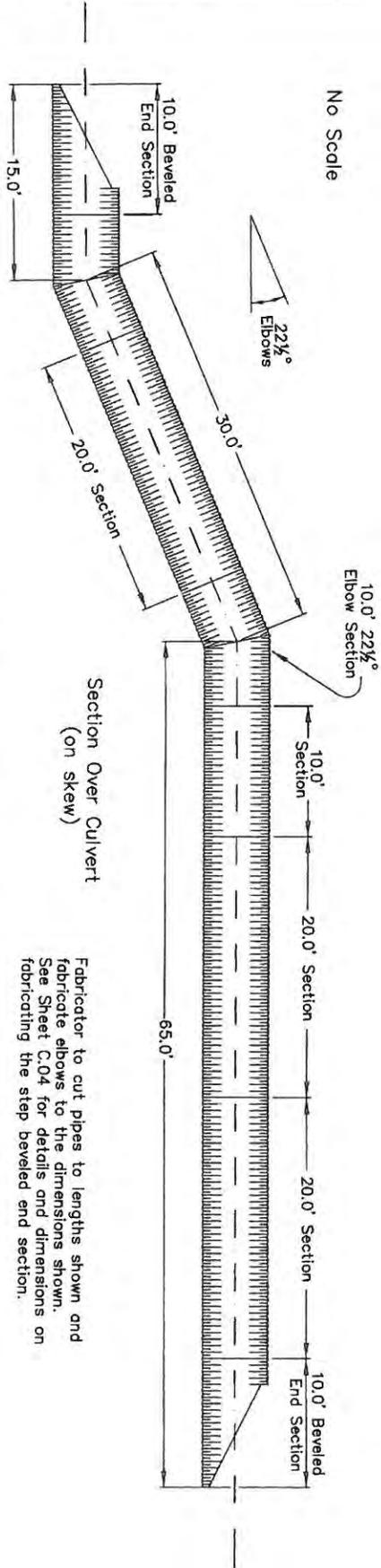
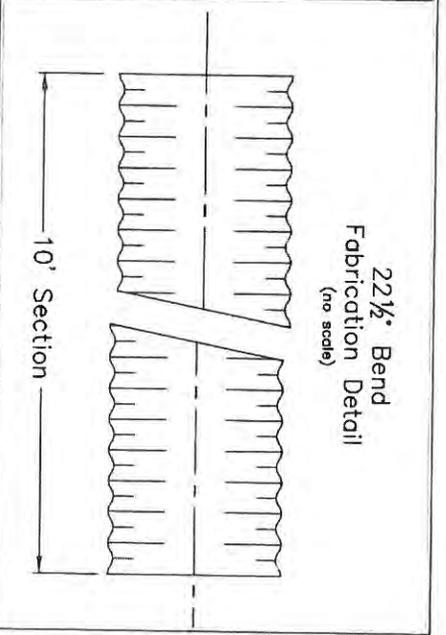
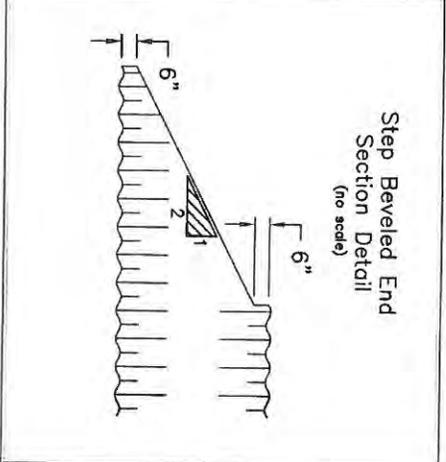
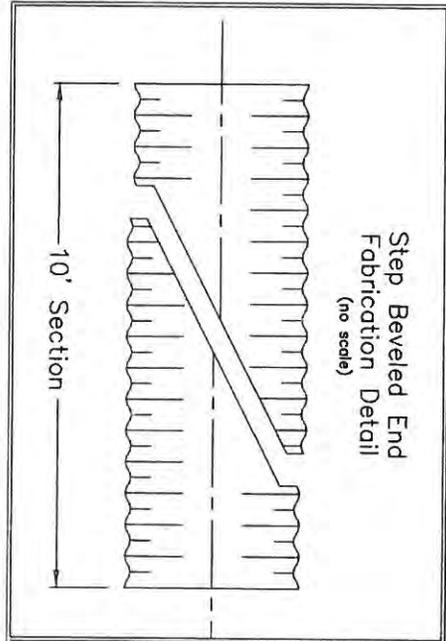
(for both headwalls)

CULVERT BACKFILLING SECTION DETAIL  
 NO SCALE



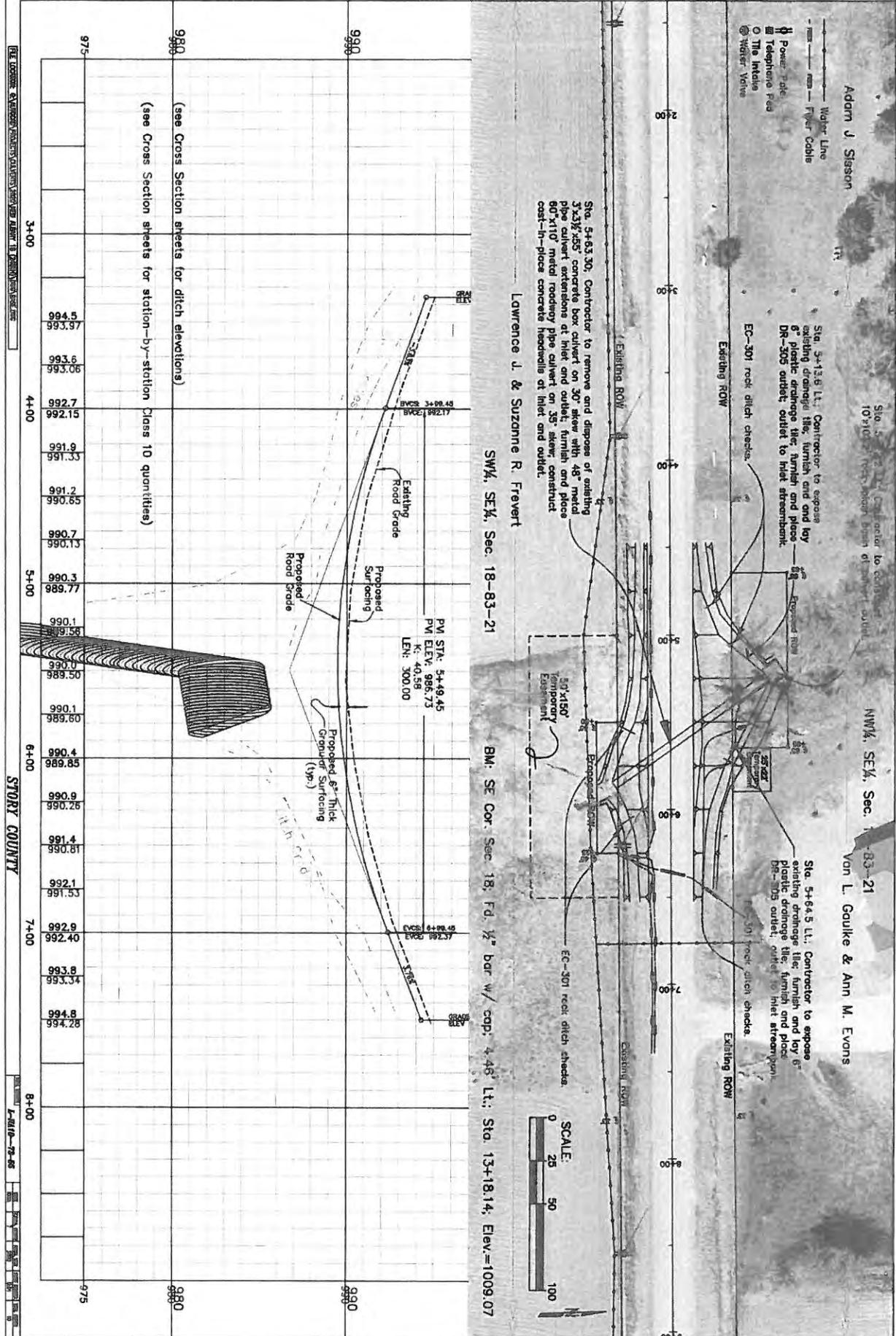
PIPE FABRICATION DETAILS

PROJ No. L-NA18--73-55



Fabricator to cut pipes to lengths shown and fabricate elbows to the dimensions shown. See Sheet C.04 for details and dimensions on fabricating the step beveled end section.

PIPE FABRICATION DETAILS



CROSS SECTIONS SHEET

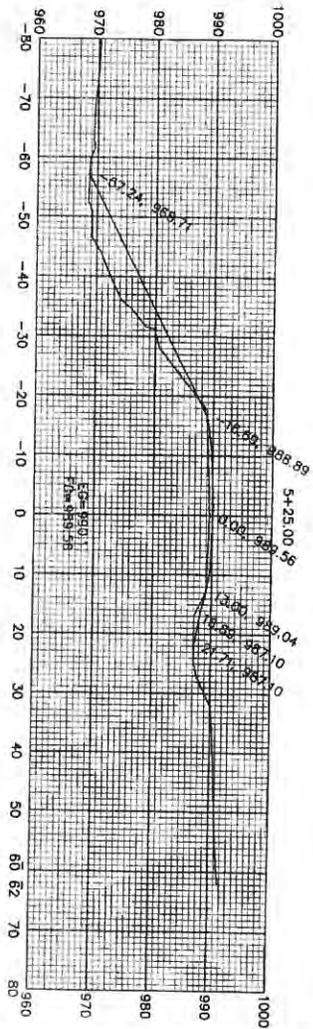
PROJ No. L-NA18--73-55

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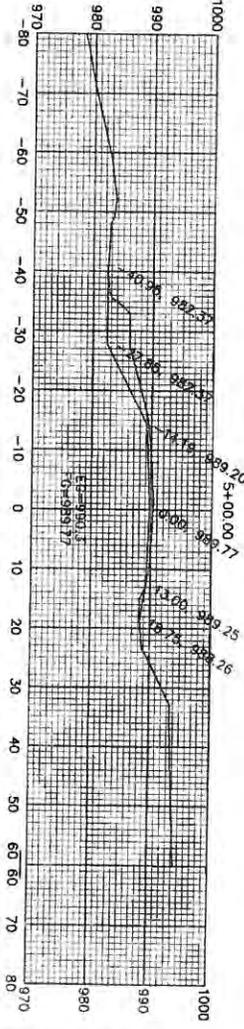
STORY COUNTY

PROJECT: L-NA18--73-55

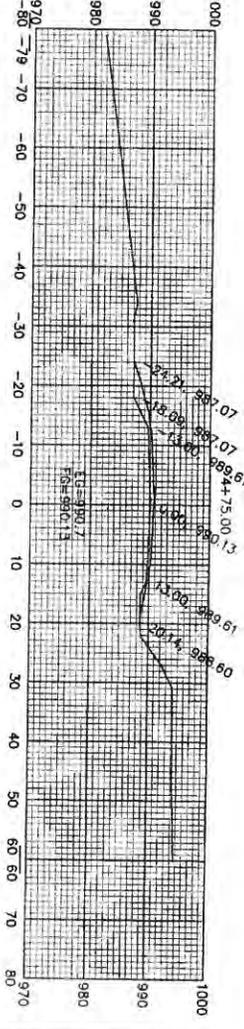
DATE: 11/11/11



Sta. 5+25.00	
Cut Area	20.21
Fill Area	111.07
Cut Vol	41.69
Fill Vol	66.85



Sta. 5+00.00	
Cut Area	69.84
Fill Area	0.01
Cut Vol	46.25
Fill Vol	0.01

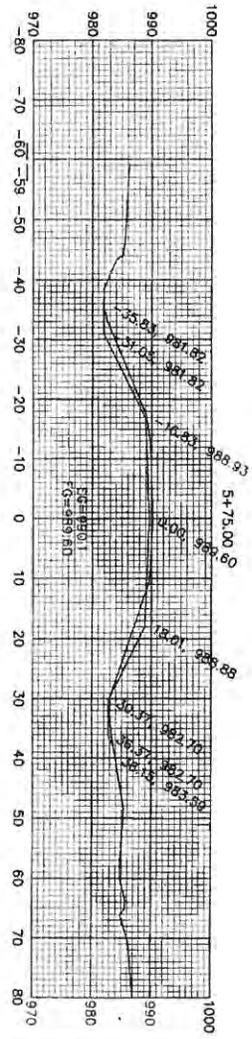


Sta. 4+75.00	
Cut Area	30.06
Fill Area	0.00
Cut Vol	19.97
Fill Vol	0.00

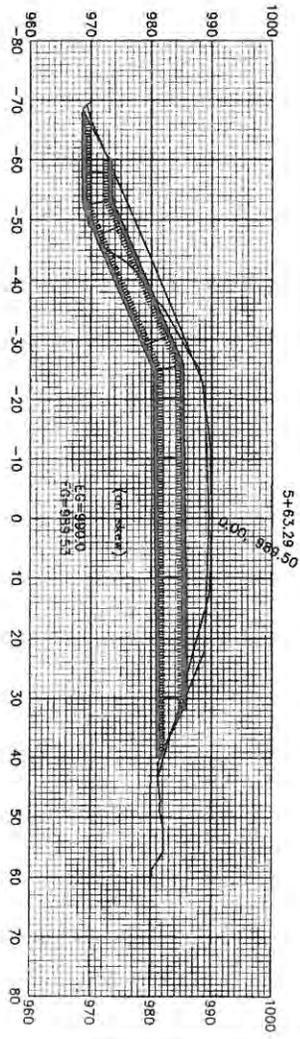
THE TOWN OF CALHOUN, MISSISSIPPI, HAS ADOPTED THIS PLAN AS A PART OF ITS PUBLIC WORKS.

SPORO COUNTY

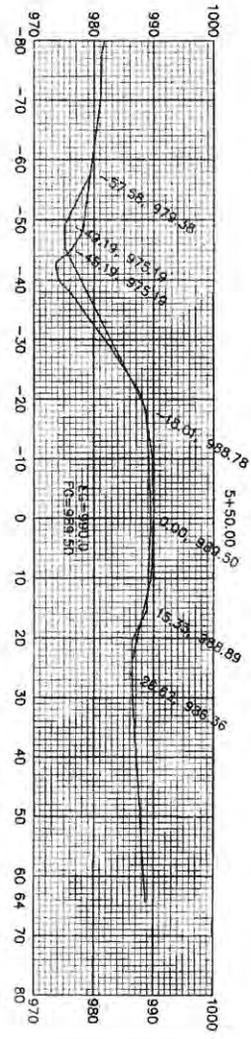
1888 ROAD L-NA18-73-55



Sta. 5+75.00	
Cut Area	34.57
Fill Area	16.44
Cut Vol	11.66
Fill Vol	52.90



Sta. 5+63.29	
Cut Area	19.19
Fill Area	171.14
Cut Vol	14.44
Fill Vol	66.91



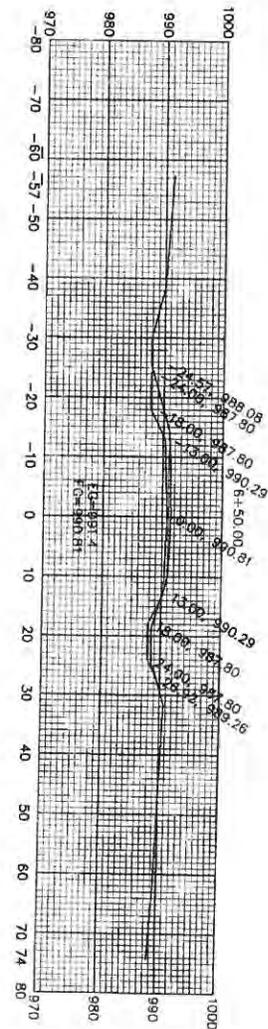
Sta. 5+50.00	
Cut Area	39.52
Fill Area	38.07
Cut Vol	27.65
Fill Vol	89.76

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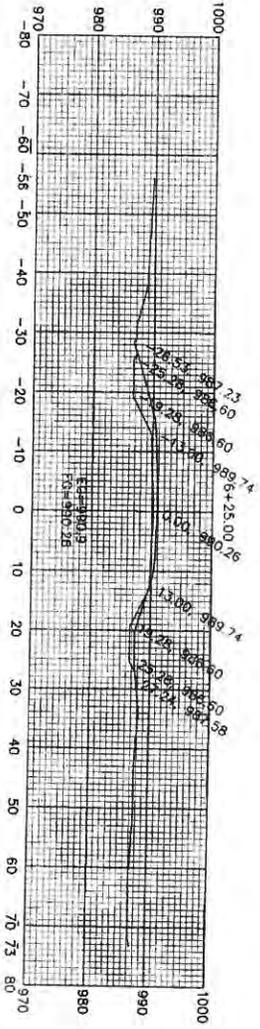
STORY COUNTY

PROJECT: L-NA18--73-55

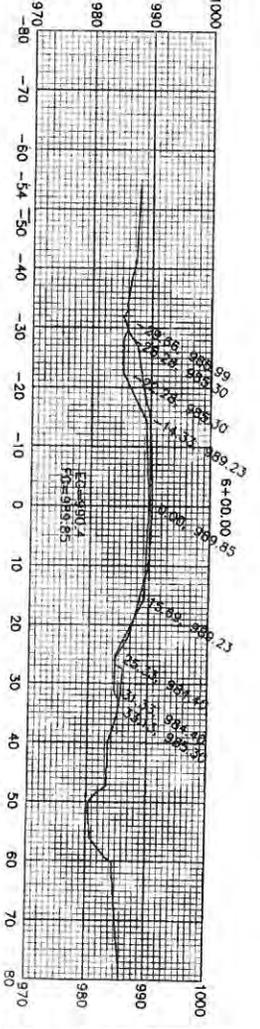
DATE: 11/18/03



Sta. 6+50.00
Cut Area 39.23
Fill Area 0.07
Cut Vol 41.04
Fill Vol 0.08



Sta. 6+25.00
Cut Area 49.41
Fill Area 0.07
Cut Vol 48.41
Fill Vol 1.73



Sta. 6+00.00
Cut Area 55.16
Fill Area 2.80
Cut Vol 41.54
Fill Vol 11.58

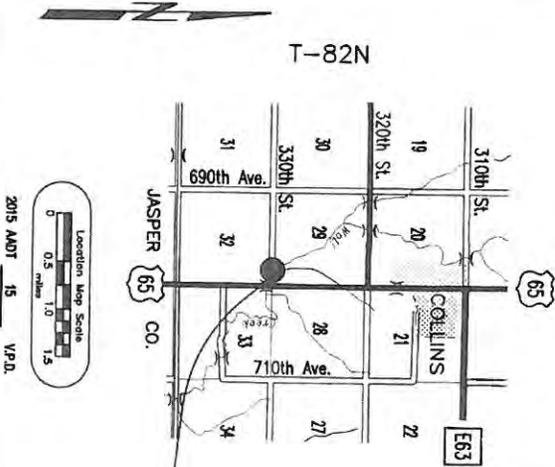
# STORY COUNTY

## RCB CULVERT REPLACEMENT-TWIN BOX

Letting Date **Feb. 9, 2021**

Proj. No. L-COL32--73-85

1/2" = 100' (VERTICAL) 1" = 100' (HORIZONTAL)



Location Map Scale  
0 0.5 1.0 1.5  
MILES

**PROJECT LOCATION**  
STA 24+36.40 ON 330TH ST.  
OVER WOLF CREEK, ON THE NORTH  
LINE OF SECTION 32-182N-R21W.

DESIGN FOR:  
TWIN 12'X8'X42' PRE-CAST  
CONCRETE BOX CULVERT  
ON 6° SKEW

SEND SHOP DRAWINGS TO:  
STORY COUNTY ENGINEER  
837 N AVE.  
NEVADA, IOWA 50201



**CONTRACT ENGINEER'S PERMIT**  
FORWARD THIS PROJECT APPROXIMATE TO THE REQUIREMENTS OF I.A. 46.101 CONCERNING PERMITS FOR THE CONSTRUCTION OF PUBLIC WORKS. THE IOWA DEPARTMENT OF TRANSPORTATION RESERVES THE RIGHT TO VISIT THE SITE WITHOUT NOTICE. (HTM://WWW.IOWADOT.GOV/)

Scale: As Noted

Refer to Proposal Form for a list of applicable specifications.

On 330th St., over Wolf Creek, on the North Line of Section 32-182N-R21W.

### IOWA DEPARTMENT OF TRANSPORTATION Highway Division PLANS OF PROPOSED IMPROVEMENT ON THE SECONDARY ROAD SYSTEM STORY COUNTY RCB CULVERT REPLACEMENT -TWIN BOX

Project No. L-COL32--73-85  
PWA# 313600

#### INDEX OF SHEETS

No.	Description
A01	TITLE SHEET
C01	QUANTITY INFORMATION SHEET
C02	GENERAL NOTES
C03	TYPICALS SHEET
C04	CULVERT DETAIL SHEET
D01	PLAN AND PROFILE SHEET
W01	GROSS SECTIONS
W03	

#### MILEAGE SUMMARY

Dn.	Location	Ln. Ft.	Miles
1	STA. 24+90.00 TO STA. 24+26.00	175.00	0.033
Total		175.00	0.033

#### STANDARD ROAD PLANS

This list shows Standard Road Plans that will be considered applicable to construction work on this project.

Number	Date	Title
DR-101	04-18-17	PPE CULVERT (BEDDING AND BACKFILL)
DR-102	04-21-15	PPE CULVERT (COVER AND GABERS)
DR-103	04-21-15	PPE CULVERT (INSTALLATION DETAILS)
DR-104	04-18-16	DEPTH OF COVER TABLES FOR CONCRETE AND CORRUGATED PIPE
ER-101	10-17-17	ROCK EROSION CONTROL (REC)
ER-102	10-20-16	EMBANKMENT AND REBUILDING EMBANKMENTS
TR-232	04-21-20	ALLOWABLE PLACEMENT OF UNSUITABLE SOIL IN EMBANKMENTS
		ROUTES CLOSED TO TRAFFIC

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Iowa.

Signature: *John Spicker* Date: *1-5-21*

This document was dated in December 31, 2020.

By: *John Spicker* (Printed name of the engineer)

(Date of expiration of the engineer's license)

Accepted by:  
*Deborah Wilson* 1-6-21  
Story County Engineer  
Date

Approved Story County Board of Supervisors

Story County

Project Number: L-COL32--73-85

Sheet No. A 01

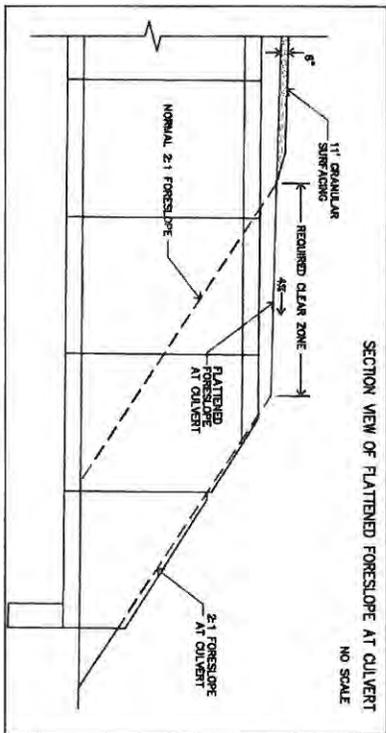
ESTIMATED PROJECT QUANTITIES OF QUANTITIES  
(1 DIVISION PROJECT)

ITEM	ITEM CODE	ITEM	UNIT	TOTAL
1	2101-0880001	CLEARING AND GRUBBING	ACRE	0.4
2	2102-2625001	EMBANKMENT-IN-PLACE, CONTRACTOR FURNISHED	CY	70.0
3	2102-2710070	EXCAVATION, CL 10, ROADWAY AND BORROW	CY	185.3
4	2104-2710020	EXCAVATION, CL 10, CHANNEL	CY	50.9
5	2401-6745625	REMOVAL OF EXISTING BRIDGE	LS	1.0
6	2402-2720000	EXCAVATION, CLASS 20	CY	384.0
7	2415-2111209	PRECAST CONCRETE BOX CULVERT, 12 FT. X 9 FT.	LF	84.0
8	2415-2201209	PRECAST CONCRETE BOX CULVERT STRAIGHT END SECTION, 12 FT. X 9 FT.	EACH	4.0
9	2507-3250005	ENGINEERING FABRIC	SY	120.0
10	2507-6900061	REVENIMENT, CLASS E	TON	65.3
11	2518-6910000	SAFETY CLOSURE	EACH	4.0
12	2528-8445110	TRAFFIC CONTROL	LS	1.0
13	2533-4980005	MOBILIZATION	LS	1.0

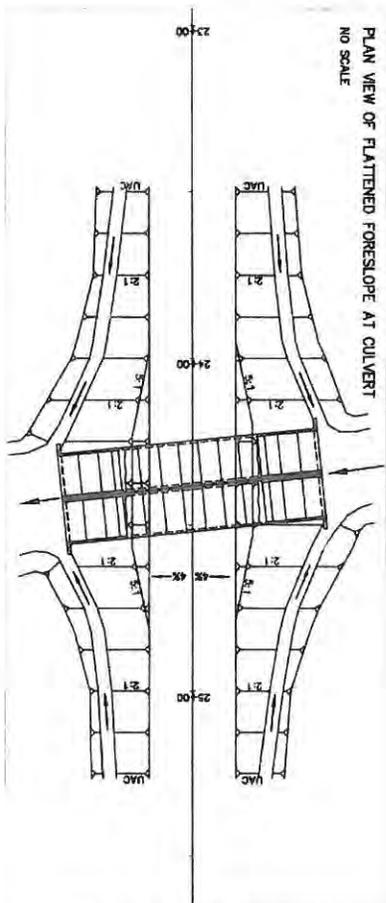
100-1A  
07-15-97

Story County to stick culvert control and right-of-way, perform seeding and mulching, place erosion control measures, and furnish and place granular surfacing.

GENERAL NOTES



SECTION VIEW OF FLATTENED FORESLOPE AT CULVERT  
NO SCALE



PLAN VIEW OF FLATTENED FORESLOPE AT CULVERT  
NO SCALE

ESTIMATE REFERENCE INFORMATION (cont.)

ITEM NO.	DESCRIPTION
1.	Entire project to be cleared and grubbed from BOP to EOP and from ROW line to ROW line.
2.	Quantity to backfill roadway area, 24' wide by 35' in length, over the top of the pipes.
3.	Plan quantity is based on approximately 185.3 CY of cut and 89.5 CY of fill (30% shrink factor); and of the fill quantity, 70.0 CY shall come from the Embankment-in-Place Item, to be used for building the roadway area. Contractor may waste excess material on foreslopes to achieve dirt balance. No payment for overhaul will be made. Type A compaction required. See Cross Section sheets for station-by-station dirt quantities. This item includes stripping, stockpiling, and spreading topsoil. Topsoil to be spread to a minimum 4" on all disturbed areas from catch points to edge of road. Slopes to be finished smooth to allow for seeding.
4.	Item for the excavation for the outlet splash basin and mulching the stream at the inlet. Quantity estimated at 25.9 cy for excavating a basin 33x10x2 on the outlet and 25.0 cy for channel matching. Suitable excavated material may be used to supplement the Class 10 Roadway quantity, with the approval of the Engineer.
5.	Material from the old structure shall become the property of the Contractor according to article 1104.08 of the Standard Specifications, and removed from site. The existing structure is a 24x24' trucked timber beam bridge with timber deck, piling, bents and wings, set at 0 skew.
6.	Item for excavation for culvert placement. Suitable material may be used to backfill culvert and waste on slopes with approval from the Engineer. Excess material to become property of Contractor and removed from site.
7-8.	Precast RCB culvert shall be two single 12'x9' cells, side-by-side, with straight end sections on the outlet and inlet. The culvert shall be equipped by the Contractor as per plan, which includes dropwalls and parapets. See Tabulation 104-4 on Sheet C.03 and notes on Sheet C.02 for details. Approximately 88 tons of 1" rock is required under the box for bedding. The bedding is incidental to bid this item. This item includes (approximately 14.2 cy) concrete and all other materials, equipment, and labor necessary for the concrete fill between the two culvert barrels.
9-10.	Items for constructing a rock splash basin at the culvert outlet and slope protection at inlet. See plan view on Sheet D.01, Tabulation 100-23 on Sheet C.03 and Standard Road Plan EC-301 for details. Item includes furnishing revetment and all labor necessary for the construction of the splash basin. Excavation is paid for in Class 10 Channel Item.
11.	See Tabulation 108-13A on Sheet C.03 for stationing and quantities.
12.	See Standard Road Plan TC-252 for details.

GENERAL NOTES

GENERAL NOTES:

Contractor to construct a twin 12'x9'x42" pre-cast concrete box culvert on a 6' skew, on 330th St. over Wolf Creek, and grade approaches.

It shall be the contractor's responsibility to provide waste areas or disposed sites for excess material (excavated material or broken concrete) which is not desirable to be incorporated into the work involved on this project. These areas shall not impact wetlands or waters of the U.S. No payment for overhead will be allowed for material related to these sites. No material shall be placed within the right-of-way, unless specifically stated in the plans.

Contractor shall maintain access to individual properties during construction, and any associated work shall be considered incidental to this project.

Construction activities, equipment, and materials shall be kept out of the streams, wetlands, or other bodies of water to the maximum extent practicable.

CONTRACTOR'S WORK AREA:

The Contractor's work and material storage area shall be defined by the Contractor and noted to the Engineer. Any area outside the Contractor's work and material storage area that is disturbed by the Contractor shall be repaired to its original condition by the Contractor and no additional payment shall be made for this work.

UTILITY NOTES:

The Contractor shall call One Call at least 48 hours prior to beginning work. Utility companies found to be located within the construction area are listed on the title sheet of these plans. See the current version of the Iowa DOT Standard Specifications for Highway And Bridge Construction, regarding utility related responsibilities. The Contractor is responsible for utility coordination and relocation after the contract is signed.

SHOP DRAWING NOTES:

Working drawings and calculations shall be furnished by the Contractor and certified by a licensed engineer. In the State of Iowa, such shall be submitted to the Story County Engineer for review and approval. Refer to Section 1105.03 for additional information.

EMERALD ASH BORER NOTE:

Any living, dead, cut or fallen material of the oak (Fronius spp.) including trees, nursery stock, logs, firewood, stumps, roots, branches, and composted or uncomposted oak chips can be freely moved within the yellow zones of the most recent Federal EAB Quarantine & Authorized Transit.

http://www.walsh.usda.gov/directorial\_health/directorial\_health\_emerald\_oak\_b/dawnhoops/eaob-situation\_mso.pdf  
Obtain appropriate Compliance Agreements from USDA APHIS PPQ prior to moving any of the above listed oak articles to areas outside the yellow zone on the map.  
For questions, concerns, and general assistance, contact:

USDA APHIS PPQ, Iowa office, 515-414-3295

Or

Iowa Department of Agriculture & Land Stewardship

515-725-1470

Entomology@iowadnr.gov

IOWA BAIT HABITAT:

See Iowa DOT Specifications.

PRE-CAST CULVERT NOTES

INSTALLATION NOTES:

The Twin" culvert shall actually be two single 12'x9' pre-cast culverts placed side by side, 6" apart. The space between the culverts shall be filled with concrete to the top of the culverts, and the vertical faces at the end sections shall be formed for pouring. See detail on this drawing for details on the concrete to be poured including material and labor associated with filling the space between the culverts with concrete shall be incidental to the bid item Pre-cast Concrete Box Culvert. The estimated concrete quantity is approximately 14.2 cu yd (with 6" space between culverts).

Pre-cast concrete box culvert sections shall be laid with the groove end of each section up-grade, and the sections shall be tightly joined. Joint openings between sections should be as tight as practicable and limited to a maximum of 1/8 inch openings. The joint on the bottom of the culvert shall be sealed with a flexible water tight 1 inch butyl rope gasket on per Material L.L. 491.09. Butyl rope gasket shall be installed in accordance with the recommendations of the manufacturer and shall extend vertically 6 inches above the bottom flange. All joints shall be trimmed clean on the inside after sealing. The contractor shall also place a 2 foot wide strip of section filler. All joints shall be trimmed clean on the top and sides of each precast joint. The fabric shall be centered with 1 foot on each side of the joint. The fabric shall be attached to the top and bottom of each section to prevent the fabric from slipping off the joint during backfilling operations. Attachment methods shall be approved by the engineer.

All costs including material, equipment, and labor necessary for installing the culvert as detailed herein, shall be included in the bid item Pre-cast Concrete Box Culvert. The engineering fabric shall meet the material requirements as set forth in 4196.01C of the Iowa DOT Standard Specifications. During backfilling the composition adjacent to the bottom corner radii shall be accomplished with a precast concrete plug, welded and covered with mastic or mortar.

DESIGN REQUIREMENTS:

The precast culvert sections shall meet the minimum requirements of ASTM C 1577, Table 1, sections that are designed for combined earth dead load and ASHTO HL-93 live load conditions. Any precast box culvert designs submitted that vary from the ASTM C 1577 standard, shall be designed and sealed by a professional engineer, currently registered in the State of Iowa. Minimum length of precast sections shall be 4.0 feet. Minimum culvert wall thickness shall be 8 inches.

PRE-CONSTRUCTION NOTES:

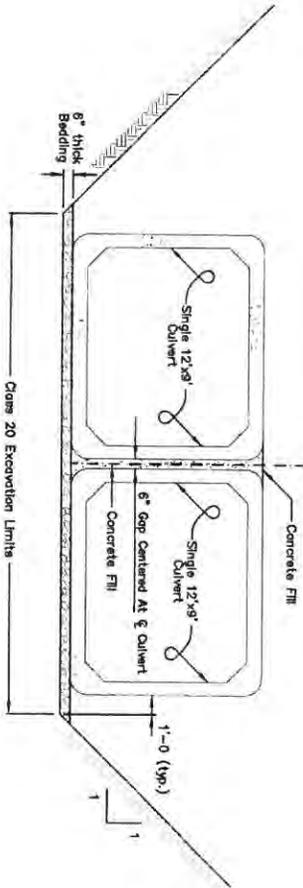
The Contractor shall submit details of the proposed precast box sections to the Story County engineer's office for approval. These details shall include a stationing plan, culvert boreal cross sections showing steel, and end section details. The length in linear feet of precast concrete box culvert will be based on the plan quantity.

For the number of linear feet given on the plan, the Contractor will be paid the contract unit price per linear foot. The payment shall include all compensation for furnishing all materials, labor and equipment necessary to complete the work except for items in end sections and Class 20 Excavation.

For each precast box culvert and section installed the Contractor will be paid the contract price for each. The payment shall be full compensation for furnishing all materials (including droplogs and propnets), labor and equipment necessary to complete the work except for items in precast concrete box culvert and Class 20 Excavation.

Droplogs and propnets shall be precast.

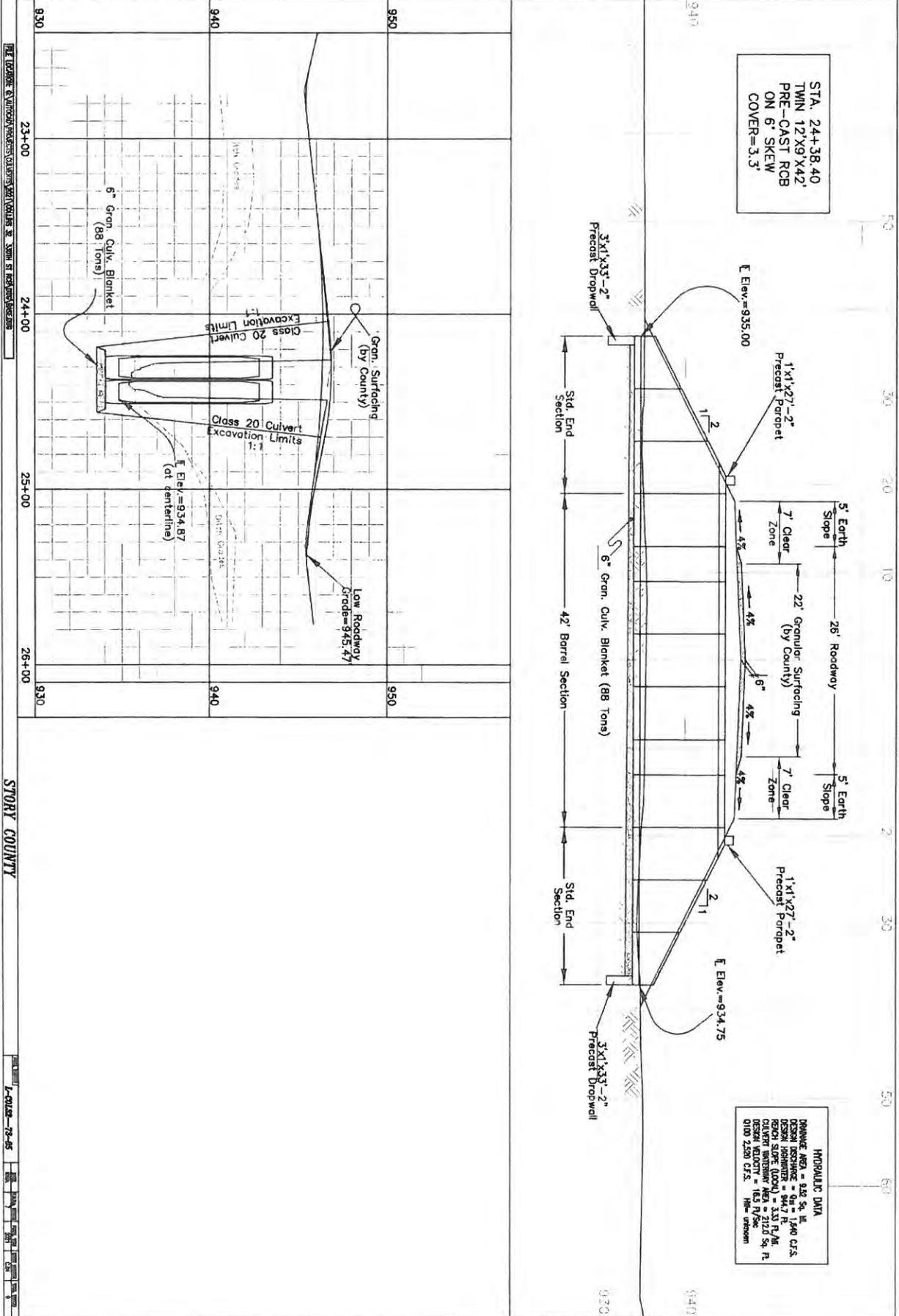
The Contractor shall furnish culvert ties for all joints. The main section joints will have one tie on each side of the boreal and the end section joints will have two ties per side. Culvert ties shall be included in the cost for precast concrete box culvert. The ties shall be 1 inch diameter steel and shall meet requirements of ASTM A 709 grade 36 or equal. The connections shall be galvanized or painted according to 2403.30 of the Iowa DOT Standard Specifications. Acrylic topcoat, not required.





CULVERT DETAIL SHEET

PROJ No. L-COL32--73-85



STA. 24+38.40  
TWIN 12'X9'X42'  
PRE-CAST RCB  
ON 6' SKEW  
COVER=3.3'

**HYDRAULIC DATA**  
 DESIGN AREA = 0.8 Sq. Mi.  
 DESIGN DISCHARGE = 1,490 CFS.  
 DESIGN HEADWATER = 94.7 Ft.  
 DESIGN SLOPE (0.004) = 3.3 Ft./Mi.  
 DESIGN WATERSHED AREA = 212.0 Sq. Ft.  
 Q100 2.50 CFS. 150' stream

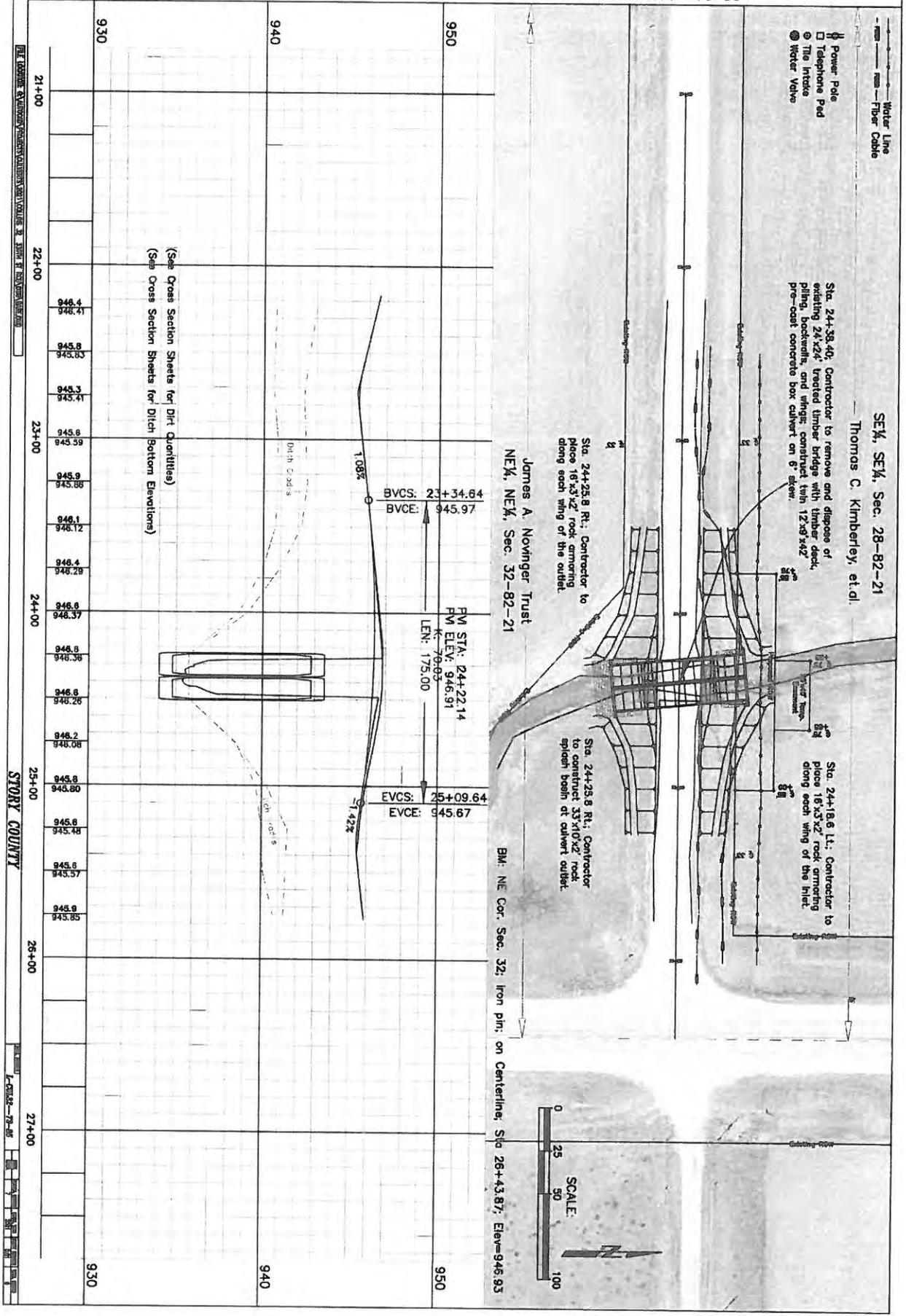
SEE DRAWING & VENDOR SPECIFICATIONS FOR DETAILS OF 6" GRANULAR BLANKET

STORY COUNTY

L-COL32--73-85

PLAN AND PROFILE SHEET

PROJ No. L-COL32--73-85



SEE ELEVATION SHEET FOR CROSS SECTIONS AND ELEVATIONS. SEE PLAN FOR DIMENSIONS.

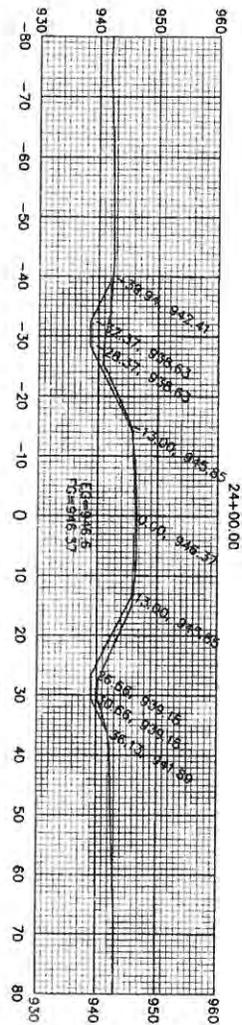
STORY COUNTY

L-COL32--73-85

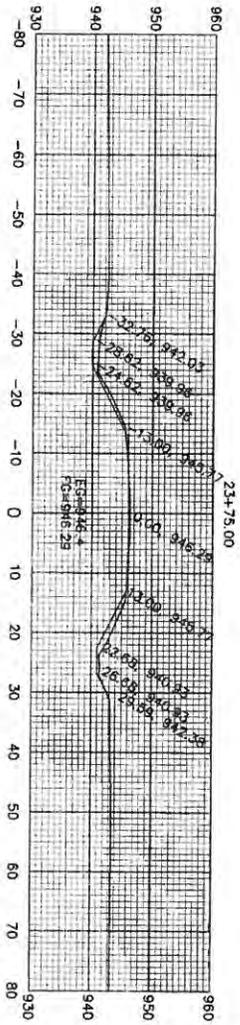
FILE LOCATION: S:\MIDWEST\PROJECTS\COL32\73-85\STORY CO. CROSS SECTIONS SHEET

STORY COUNTY

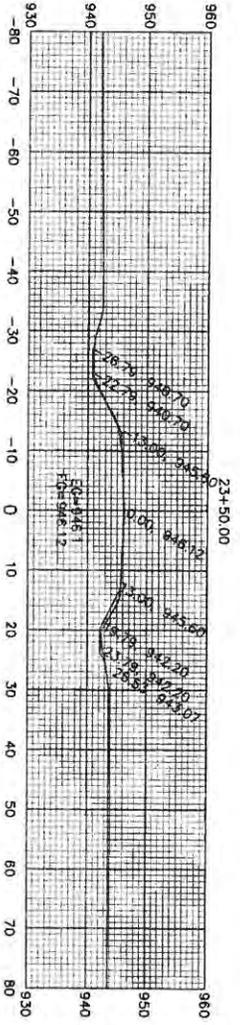
DATE: 1-20-85 78-85



Sta. 24+00.00	
Cut Area	62.78
Fill Area	0.01
Cut Vol	40.61
Fill Vol	0.32



Sta. 23+75.00	
Cut Area	24.93
Fill Area	0.53
Cut Vol	14.57
Fill Vol	1.56



Sta. 23+50.00	
Cut Area	6.54
Fill Area	2.06
Cut Vol	3.03
Fill Vol	1.24





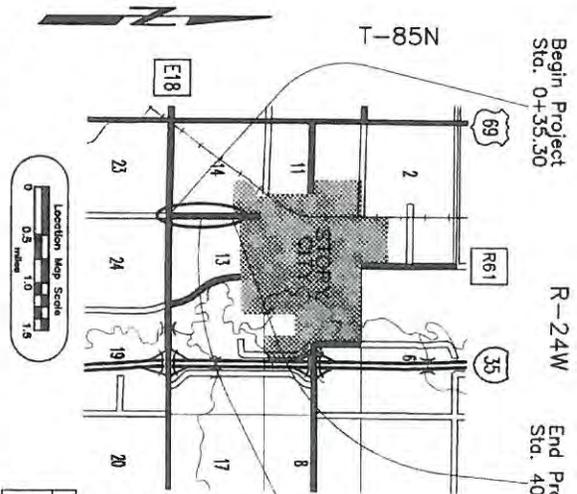
# STORY COUNTY

## HMA RESURFACING

Proj. No. L-LAF13--73-85

Letting Date **Feb. 9, 2021**

THE IOWA DEPARTMENT OF TRANSPORTATION RESERVES THE RIGHT OF SOVEREIGNTY



Begin Project  
Sta. 0+35.30

R-24W

End Project  
Sta. 40+40.75

PROJECT LOCATION  
ON S50TH AVE. FROM E18,  
NORTH 0.76 MILES TO CITY LIMITS  
OF STORY CITY ON WEST LINE  
OF SECTION 13 OF T85N R24W.



Scales: As Noted

**PROJECT TRAFFIC CONTROL PLAN**  
THE ROAD WILL BE OPEN TO ONE LANE TRAFFIC DURING CONSTRUCTION HOURS AND REQUIRED TO TWO LANE TRAFFIC AT THE END OF EACH WORK DAY. LOCAL TRAFFIC TO ADJACENT PROPERTIES WILL BE MAINTAINED AS MUCH AS POSSIBLE. TRAFFIC CONTROL DEVICES, PROCEDURES, LAYOUTS, SIGNING, AND PAVEMENT MARKINGS INSTALLED WITHIN THE LIMITS OF THIS PROJECT SHALL CONFORM TO THE MANUAL ON UTILITY TRAFFIC CONTROL, EDITION 2008, PUBLISHED BY THE IOWA ADMINISTRATIVE CODE (IAC) CHAPTER 15A.  
ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, AND MAINTAINED BY THE CONTRACTOR.  
DETAILS SIGNING TO BE FURNISHED, PLACED, AND MAINTAINED BY STORY COUNTY IF NEEDED.

**UTILITY INFORMATION**  
UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR SHOWN TO BE WITHIN THE CONSTRUCTION LIMITS SHALL BE NOTIFIED BY THE CONTRACTOR OF THE CONSTRUCTION STARTING DATE AND SUGGESTED WORK IN THE AREA.  
ALLIANT ENERGY: 800-255-4288  
AT&T TRANSMISSION: 818-275-4014  
BLACK HILLS ENERGY: 818-275-4014  
SPECTRUM ENERGY: 818-275-4014  
CITY OF STORY CITY: 515-203-0222  
UNITE OREGAN NETWORKS, LLC: 818-425-3556  
WINDSTREAM COMMUNICATIONS: 800-288-1901  
XENIA RURAL WATER DISTRICT: 515-678-2117  
CONTRACTORS SHALL CALL ONE CALL AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. ONE CALL: 1-800-292-8989

# IOWA DEPARTMENT OF TRANSPORTATION Highway Division PLANS OF PROPOSED IMPROVEMENT ON THE SECONDARY ROAD SYSTEM STORY COUNTY HMA RESURFACING

ON S50TH AVE. FROM E18, NORTH 0.76 MILES TO CITY LIMITS OF STORY CITY ON WEST LINE OF SECTION 13 OF T85N R24W.

Refer to Proposed Form for a list of applicable specifications.

Project No. L-LAF13--73-85

Total Sheets: 4

### INDEX OF SHEETS

No.	Description	105-3 105-24
A01	TITLE SHEET	
C01	QUANTITY INFORMATION SHEET	
C02	TYPICAL SECTIONS SHEET	
C03	TABULATIONS SHEET	

### MILEAGE SUMMARY

DIV.	Location	Ln. Ft.	Miles
1	STL. 0+35.30 TO STL. 40+40.75	4,005.45	0.739
Total		4,005.45	0.739

### STANDARD ROAD PLANS

The following Standard Road Plans apply to construction work on this project.

Number	Date	Title
PL-110	10-16-18	LINE TYPES
PL-120	10-21-14	SIDE LINES AND ISLANDS
PL-201	10-21-14	RUNOUTS FOR RESURFACING
PL-202	10-21-14	NOTCHES FOR RESURFACING (WITH OR WITHOUT RUNOUT)
PL-3	04-16-18	SAFETY EDGE
PL-202	04-16-13	HOT MIX ASPHALT RESURFACING
TC-1	10-15-18	WORK NOT AFFECTING TRAFFIC (TWO-LANE OR MULTI-LANE)
TC-214	10-15-18	LANE CLOSURE WITH FLAGGERS FOR USE WITH PILOT CAR
TC-213	10-17-17	PAVEMENT MARKING OPERATIONS TWO-LANE
TC-282	10-15-18	UNEVEN LANES

DESIGN DATA RURAL  
2015 AADT 1290 V.P.D.

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.  
Signed: *John Spahr* Date: *1-5-21*  
By license renewal date in December 31, 2020.  
Paper or drawings prepared by this certifier (Other construction services specified here)

Accepted by:  
*John Wilson* 1-6-21  
Story County Engineer  
Date

*John Wilson*  
Approved Story County  
Board of Supervisors

Story County

Project Number: L-LAF13--73-85

Sheet No. A.01

ESTIMATED PROJECT QUANTITIES OF QUANTITIES  
(1 DIVISION PROJECT)

ITEM	ITEM CODE	ITEM	UNIT	TOTAL
1	2121-7429020	GRANULAR SHOULDERS, TYPE B	TON	746.5
2	2212-0475095	CLEANING AND PREPARATION OF BASE	MI/LE	0.8
3	2214-5145150	PAVEMENT SCARIFICATION	SY	318.8
4	2303-1032500	HMA, ST, INTERMEDIATE COURSE, 1/2 IN. MIX	TON	881.8
5	2303-1033500	HMA, ST, SURFACE COURSE, 1/2 IN. MIX, NO SPECIAL FRICTION	TON	881.8
6	2303-1264223	ASPHALT BINDER, PG 64-22S, STANDARD TRAFFIC	TON	105.8
7	2303-6911000	HMA PAVEMENT SAMPLES	LS	1.0
8	2303-7000610	PAYMENT ADJUSTMENT I/D FOR HMA MIXTURE (LABORATORY VOIDS)	EACH	1.0
9	2303-7000620	PAYMENT ADJUSTMENT I/D FOR HMA MIXTURE (FIELD VOIDS)	EACH	1.0
10	2527-9263109	PAINTED PAVEMENT MARKINGS, WATERBORNE/SOLVENT	STA	114.4
11	2528-8445110	TRAFFIC CONTROL	LS	1.0
12	2528-8445113	FLAGGER	EACH	8.00*
13	2528-8445115	PILOT CAR	EACH	3.00*
14	2533-4980005	MOBILIZATION	LS	1.0

\* Estimate only. See Proposal for quantities.

GENERAL NOTES

Stacy County will mark out scarification marks and pavement markings.

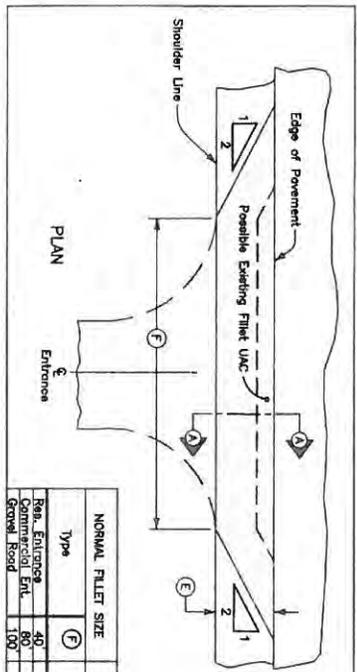
Unless otherwise directed or authorized, all hot mix asphalt and other bituminous materials which are not specifically addressed or described in the contract documents shall become the property of the Contractor.

1. With the approval of the Engineer, blend or otherwise process the material for use with shoulder or special backfill aggregate, for use on the project.
2. With the approval of the Engineer, place with material in areas designated by the Engineer as Soil Aggregate Subbase without extra charge.
3. Remove the material from the project and stockpile for the contractor's future use.

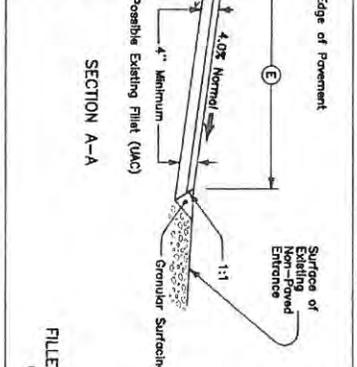
ESTIMATE REFERENCE INFORMATION

ITEM NO.	DESCRIPTION
1.	Item for 4' wide shoulders (on each side). See Typical 7135 on Sheet C.02 for details. Granular material quantity estimated using a unit weight of 125 pcf. Item includes all material, equipment and labor necessary to furnish, place and finish granular shoulders.
3.	Refer to Road Detail 7308 on Sheet C.02 for surface turnout details and scarification stationing.
4.-5.	HMA shell apply. Quantity is for 3" thick (two 1 1/2" lifts) Standard Traffic design overlay with 11' wide lanes for entire the project. Quantity was estimated using 148 lbs./ft <sup>2</sup> unit weight. Quantity includes 10.5 Tons for entrance Rilets and 21.2 Tons for Intersection radii. Safety Edge shall be used on both lifts. See Standard Road Plan PV-3 for details. Tack coat is incidental to the item.
6.	Binder was estimated at 6% for both intermediate and surface lifts.
10.	See Tabulation 102-3 on Sheet C.03 for pavement marking types, stationing, and quantities. Quantity includes application of yellow centerline marking for both intermediate and surface lifts, and one application of white edge lines for the surface lift only.
11.	See Traffic Control Plan on Sheet A.01 for traffic control notes, and refer to TC Standard Road Plans for further details.
12.	Flagger quantity is an estimate only. See Proposal for quantities.
13.	Pilot Car quantity is an estimate only. See Proposal for quantities.

It shall be the contractor's responsibility to provide waste areas or disposal sites for excess material (excavated material or broken material) which is not desirable to be incorporated into the work project or the project. These areas shall not impact wetlands or waters of the U.S. No personnel or equipment shall be allowed for material hauled to these sites. No material shall be placed within the right-of-way, unless specifically stated in the plans.



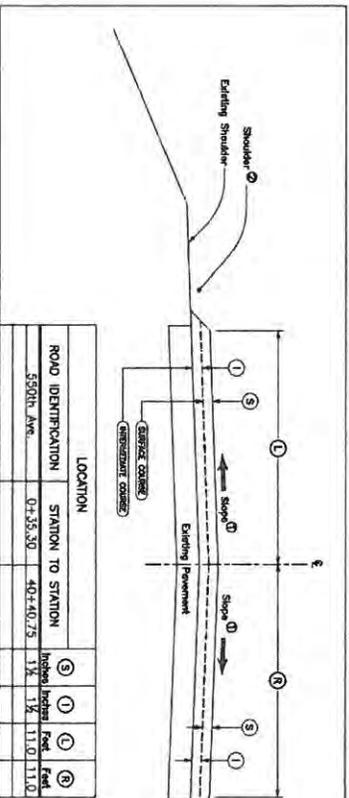
NORMAL FILLET SIZE		TABLE OF DESIGN QUANTITIES		TACK COAT	
Type	F	Surface Course	INTERMEDIATE COURSE	MAX. COAT	②
Res. Entrance	40'	2	0.2	0.2	0.8
Commercial Ent.	80'	2	1.5	1.5	1.8
Gravel Road	100'	2	1.8	1.8	2.2



**7139 Modified**

Note:  
 Construct uniform thickness fills of non-graded entrances to firm dwellings and other residences where practical, and at commercial Special shaping of existing surface prior to placement of fillet may be required by the Engineer and is incidental to other work on the project.  
 Fillet shall be placed in the hole as recommended and shall be used for design and estimating purposes. The Engineer shall indicate the size of each individual fillet to construction conditions at the site.  
 HMA quantities included with pricing quantities.  
 ① Estimated at 140 lb./cu. ft.  
 ② Estimated for 2 applications at 0.05 gal./sq. yd. The tack by the Engineer.

**FILET FOR NON-PAVED ENTRANCES (HMA Resurfacing Project)**

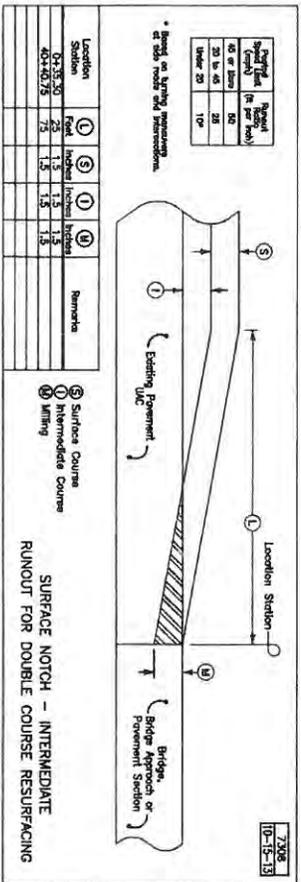


ROAD IDENTIFICATION	STATION TO STATION	Index	Index	Index	Index
5500th Ave.	0+35.30	1X	1X	11.0	11.0

**2802 Modified**

Note:  
 ① Unless related slope to existing pavement, assume that the maximum allowable slope is 2%. Minimum desirable slope is 20%. Section may be modified as needed to reflect the Engineer's design of special shaping.  
 ② Refer to the provisions of the specification for HMA Resurfacing and Standard Road Form for additional requirements for special shaping.  
 ③ Refer to shoulder symbols.

**TYPICAL CROSS SECTION HMA RESURFACING**



ROAD IDENTIFICATION	STATION TO STATION	SIZE	INDEX	INDEX	INDEX
5500th Ave.	0+35.30	18"	3.0	4	1
5500th Ave.	0+35.30	18"	3.0	4	1
5500th Ave.	40+40.75	18"	3.0	4	1

**7139 Modified**

Note:  
 Granular fill shall be placed on the base. Minimum depth of 18" per section 703.  
 ① Estimated at 140 lb./cu. ft.

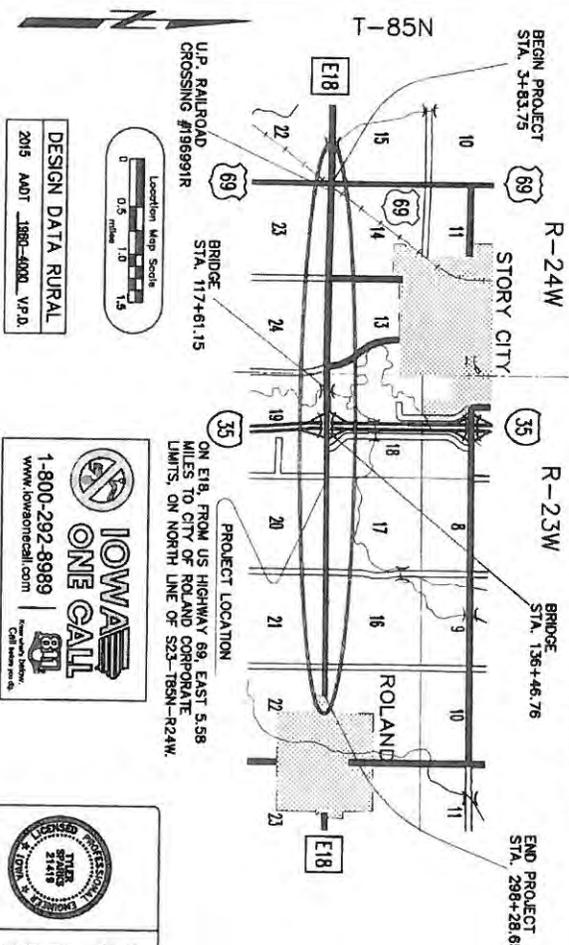
**TYPICAL SECTION FOR TYPE 'B' GRANULAR SHOULDER ADJACENT TO HOT MIX ASPHALT RESURFACING**



# STORY COUNTY

HMA RESURFACING  
Proj. No. LFM-E18--7X-85

Letting Date Feb. 9, 2021



Location Map Scale  
0 0.5 1.0 1.5 miles

DESIGN DATA RURAL  
2015 AADT 1887-4000 V.P.D.

**IOWA ONE CALL**  
1-800-292-8989  
www.iowadirectcall.com



I hereby certify that this application document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.  
Signed: *Tyler Sack* Date: *1-5-21*  
My license renewed date is December 31, 2022.  
Pages or sheets covered by this seal:  
(Other submission unless specified here)

Story County Project Number: LFM-E18--7X-85 Sheet No. A.01

Accepted by: *Clayton Moore* 1-6-21  
Story County Engineer  
Date: \_\_\_\_\_  
Approved Story County Board of Supervisors: \_\_\_\_\_

**PROJECT TRAFFIC CONTROL PLAN**  
THE ROAD WILL BE OPEN TO ONE LANE TRAFFIC DURING CONSTRUCTION. HOUSING AND RESURFACING TO TWO LANE TRAFFIC AT THE END OF EACH WORK SECTION. TRAFFIC CONTROL PLAN FOR THE CONSTRUCTION OF THE ROAD WILL BE PROVIDED FOR IN ARTICLE 110.07Z OF THE IOWA CODE. PROCEDURES, LAYOUTS, SIGNALS, AND PAVEMENT MARKINGS INSTALLED WITHIN THE LIMITS OF THIS PROJECT SHALL BE AS APPROVED BY THE IOWA DEPARTMENT OF TRANSPORTATION PER 781 OF THE IOWA ADMINISTRATIVE CODE (IAC) CHAPTER 150.

**UTILITIES INFORMATION**  
UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS SHALL BE NOTIFIED BY THE CONTRACTOR OF THE CONSTRUCTION LIMITS SHALL BE NOTIFIED BY THE CONTRACTOR OF THE CONSTRUCTION LIMITS SHALL BE DATE AND SUBSEQUENT WORK IN THE AREA.

ALLIANT ENERGY: 800-255-4388  
IOWA RESIDENTIAL UTILITY ASSOC.: 800-410-7011  
CENTURIALINK: 303-433-9827  
MODERN POWER COOP: 515-545-2037  
BLACK HILLS ENERGY: 515-235-8228  
CITY OF ROLAND: 515-838-2390  
STRAITFORD MUTUAL TELEPHONE: 515-838-2390  
WHITE PRIVATE NETWORKS: 515-235-8228  
IOWA DEPT. OF TRANSPORTATION: 515-235-8228  
WINN-DIXIE COMMUNICATIONS: 515-235-8228  
XEROX SUPER CENTER: 515-678-2117

IOWA DEPARTMENT OF TRANSPORTATION  
Highway Division  
PLANS OF PROPOSED IMPROVEMENT ON THE  
**FARM-TO-MARKET SYSTEM**  
**STORY COUNTY**  
**HMA RESURFACING**

ON E18, FROM US HIGHWAY 69, EAST 5.58 MILES TO CITY OF ROLAND CORPORATE LIMITS, ON NORTH LINE OF S23--185N--R24W.

Refer to Proposal Form for a list of applicable specifications.

Scales: As Noted

Project No. LFM-E18--7X-85

**INDEX OF SHEETS**

No.	Description	Sheet No.
A01	TITLE SHEET	18-5-85
C01	QUANTITY INFORMATION SHEET	
C02	TYPICAL SECTIONS SHEET	
C03-C04	TABULATIONS SHEETS	

**MILEAGE SUMMARY**

Div.	Location	Ln. Ft.	Miles
1	STA. 3+83.75 TO STA. 298+28.65	264,441.80	8.577
	LESS BRIDGE: STA. 117+61.15 TO STA. 123+49.35	-586.20	-0.111
	LESS BRIDGE: STA. 138+48.78 TO STA. 140+10.82	-354.08	-0.009
Total		263,499.52	8.557

**STANDARD ROAD PLANS**

The following Standard Road Plans apply to construction work on this project:

Number	Date	Title
PA-110	04-16-13	LINE TYPERS
PA-111	04-16-13	SYMBOLS AND LEGENDS
PA-120	10-21-14	STOP LINES AND ISLANDS
PA-200	04-29-15	RAILROAD CROSSING ON TWO-LANE HIGHWAY
PA-400	04-29-15	TWO-LANE ROADWAY WITH NO TURN LANES (ONE-WAY STOP CONDITION)
PR-201	10-21-14	NOTCHES FOR RESURFACING (WITH OR WITHOUT RAINOUT)
PR-202	10-21-14	SAFETY EDGE
PV-3	04-18-19	RUBBLE STOP PANEL FOR INTERSECTION APPROACH
PV-10	04-18-19	HOT MIX ASPHALT RESURFACING
PV-202	04-18-13	WORK NOT AFFECTING TRAFFIC (TWO-LANE OR MULTI-LANE)
TC-1	04-16-13	WORK WITHIN 15 FT OF TRAVELED WAY
TC-202	4-21-15	WORK WITHIN 15 FT OF TRAVELED WAY
TC-213	04-17-12	LANE CLOSURE WITH FLAGGERS
TC-214	04-18-13	LANE CLOSURE WITH FLAGGERS FOR USE WITH PILOT CAR
TC-233	10-21-14	PAVEMENT MARKING OPERATIONS TWO-LANE UNEVEN LANES
TC-282	04-18-11	UNEVEN LANES











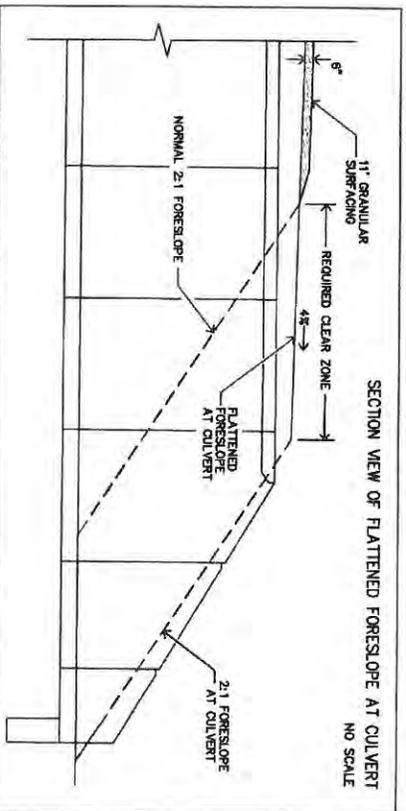
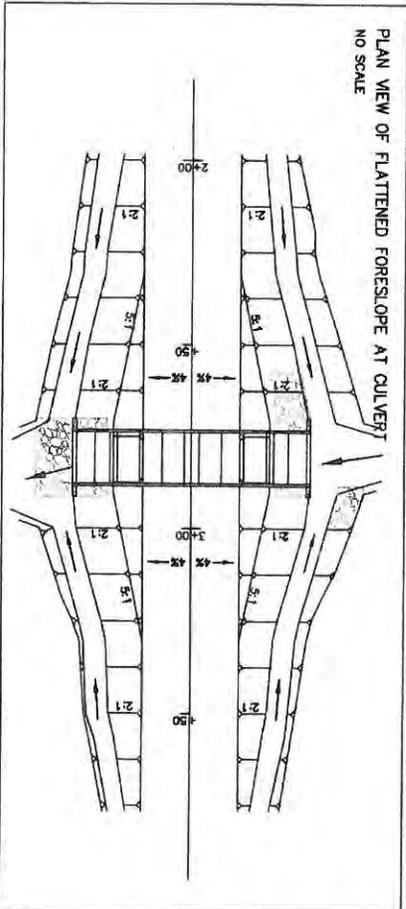
ESTIMATED PROJECT QUANTITIES OF QUANTITIES  
(1 DIVISION PROJECT)

100-1A  
07-15-97

ITEM	ITEM CODE	ITEM	UNIT	TOTAL
1	2101-0850001	CLEARING AND GRUBBING	ACRE	0.3
2	2102-2625001	EMBANKMENT-IN-PLACE, CONTRACTOR FURNISHED	CY	20.1
3	2102-2710070	EXCAVATION, CLASS 10, ROADWAY AND BORROW	CY	121.3
4	2102-4560000	LOCATING TILE LINES	STA	2.0
5	2104-2710020	EXCAVATION, CLASS 10, CHANNEL	CY	37.0
6	2401-6745650	REMOVAL OF EXISTING STRUCTURE	LS	1.0
7	2402-2720000	EXCAVATION, CLASS 20	CY	120
8	2415-2100000	PRECAST CONCRETE BOX CULVERT, SINGLE 14X6	LF	36.0
9	2415-2200000	PRECAST CONCRETE BOX CULVERT END SECTION, SINGLE 14X6	EACH	2.0
10	2502-8212106	SUBDRAN, PLASTIC PIPE, 6 IN.	LF	60.0
11	2507-3250005	ENGINEER FABRIC	SY	74.4
12	2507-6600061	REVEMENT, CLASS E	TON	66.2
13	2518-6910000	SAFETY CLOSURE	EACH	4.0
14	2528-8445110	TRAFFIC CONTROL	LS	1.0
15	2533-4980005	MOBILIZATION	LS	1.0

GENERAL NOTES

Story County to stake right-of-way, culvert control, and inlet slope protection. Inlets: maintain detour signing; furnish and place granular surfacing on roadway; apply seeding and mulching; and place erosion control measures.



ESTIMATE REFERENCE INFORMATION

DESCRIPTION

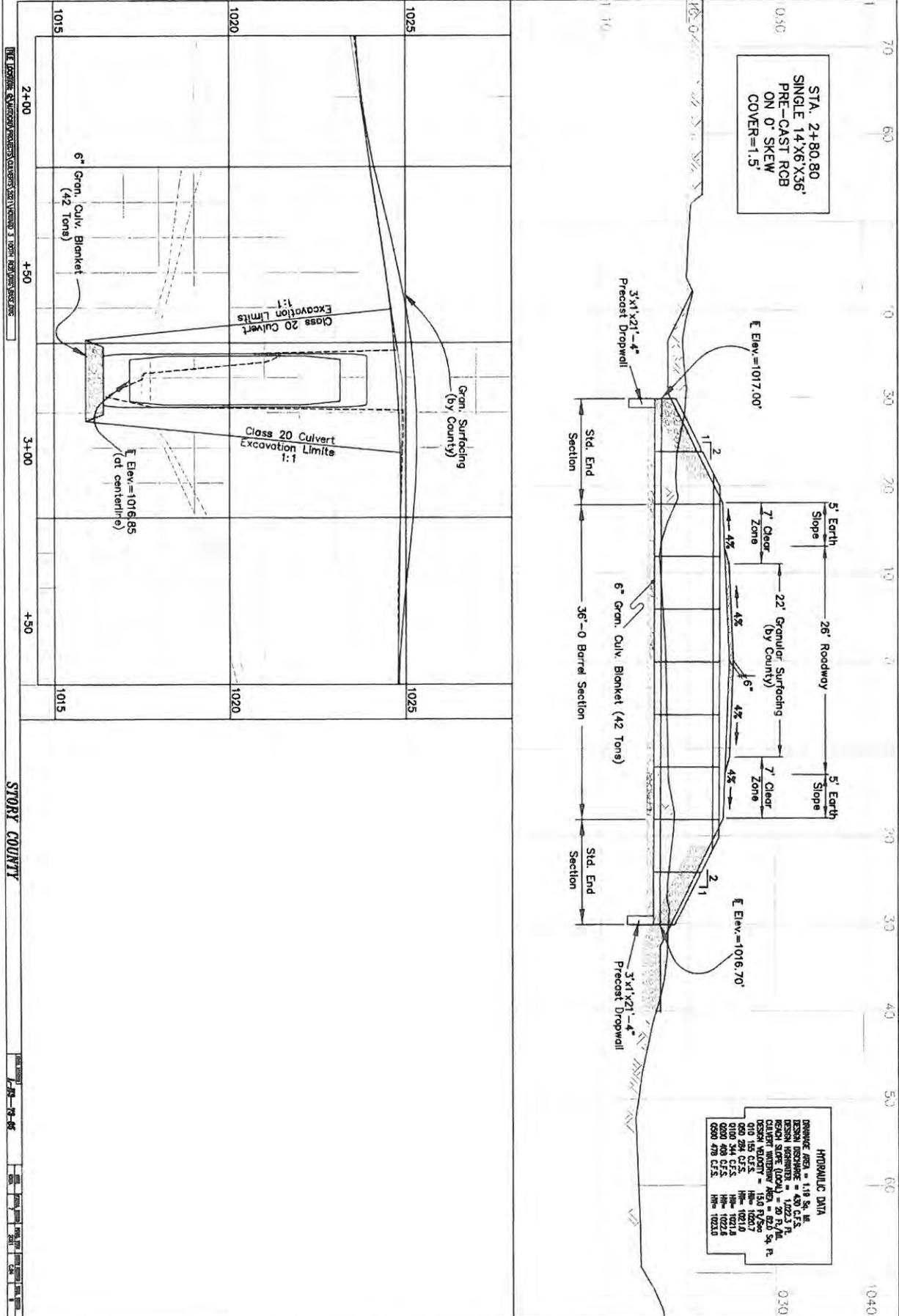
ITEM NO.	DESCRIPTION
1.	Entire project to be cleared and grubbed from BOP to EOP and from ROW line to ROW line.
2-3.	Plan quantity is based on approximately 141.4 CY of roadway fill (30% shrink factor) and 121.3 CY of roadway cut. Contractor shall furnish approximately 20.1 CY of suitable material from borrow to achieve dirt balance. Type A compaction required. No payment for overhaul will be made. This item includes stripping, stockpiling, and spreading topsoil. Topsoil to be spread to a minimum 4" on all disturbed areas from catch points to edge of road. Slopes to be finished smooth to allow for seeding. Seeding done by county.
4.	This area known to exist, but not accurately located. This item is for the location of these tiles. Item includes 1.0 STA centered at Sta. 2+50 (left and right).
5.	Item for the excavation of a splash basin at the outlet. Quantity estimated at 17.0 cy for excavating a basin 21'x10'x2' at the culvert outlet. Suitable excavated material may be drained and used with the approval of the Engineer.
6.	The existing structure is a single span 15'x24' treated timber bridge on a 0° skew with treated timber abutment piling and wingwalls. Materials from the old structure shall become the property of the Contractor according to article 1104.05 of the Standard Specifications, and removed from the site. Burning removal materials on site will not be allowed.
7.	Item for excavation for culvert. Suitable material may be used to backfill culvert with approval from the Engineer.
8-9.	Precast, RCB culvert shall be a single 14'x6'x36' culvert with straight end sections. The culvert shall be supported by the Contractor as per plan, which includes support. See Tabulation 104-4 on Sheet C-03 for details. All joints shall be tied flush with the bars. Culvert requires approximately 42 Tons of 1" material for culvert bedding. Bedding material shall be incidental to this item.
10.	Plastic pipe shall be double-wall pipe. See Tabulation 104-5C on Sheet C-03 for details.
11-12.	Items for the construction of rock splash basin at the outlet and slope protection along the sides of the inlet. See Tabulation 100-23 on Sheet C-03 for stationing and quantities, and Standard Road Plan EC-301 for details.
13.	See Tabulation 108-13A on Sheet C-03 for stationing and quantities.
14.	See Standard Road Plan TC-252 for details.





**CULVERT DETAIL SHEET**

**PROJ No. L-H3--73-85**



STA. 2+80.80  
 SINGLE 14'X6'X36'  
 PRE-CAST RCB  
 ON 0° SKEW  
 COVER=1.5'

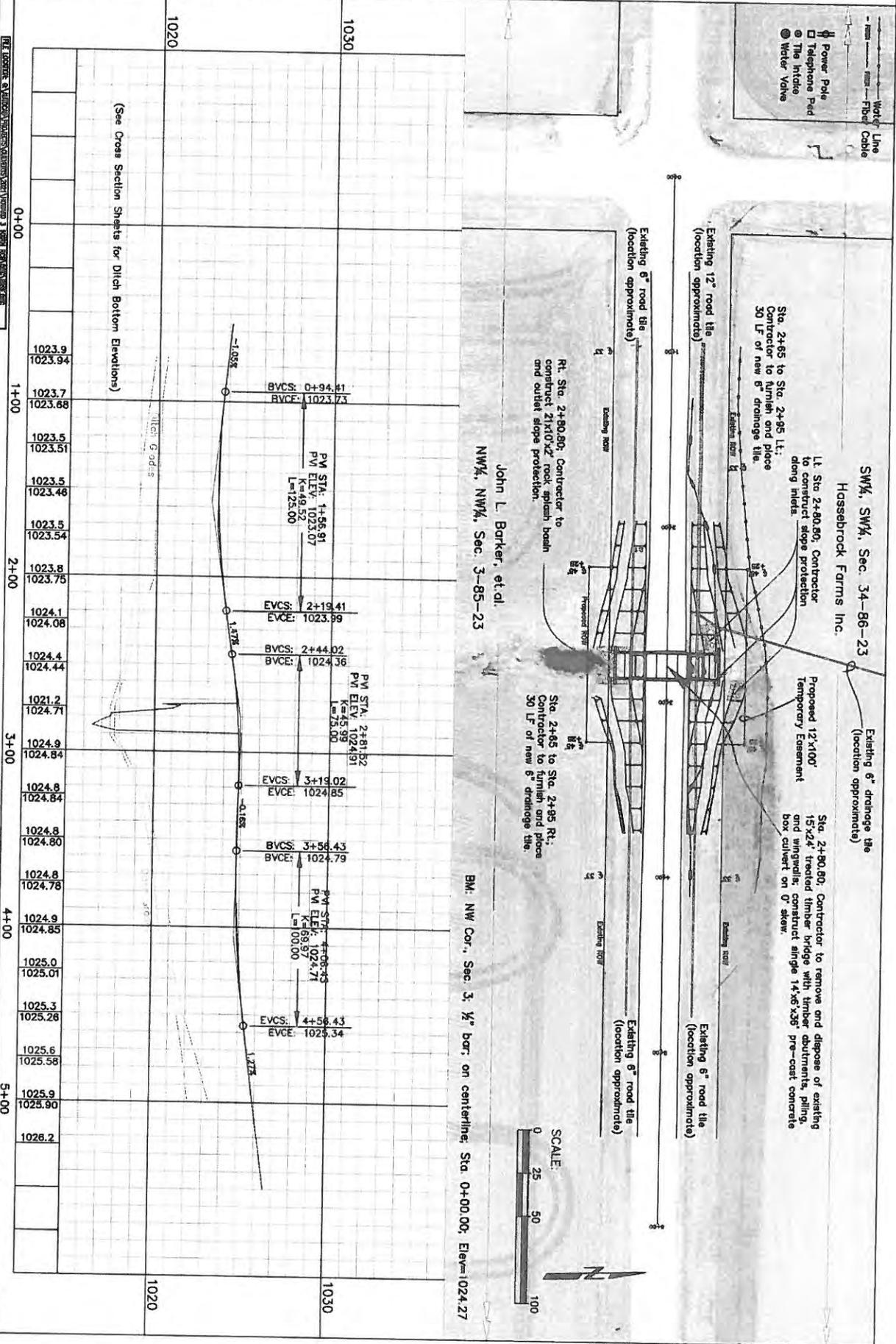
**HYDRAULIC DATA**  
 DRAINAGE AREA = 1.18 Sq. M.  
 DESIGN DISCHARGE = 430 C.F.S.  
 DESIGN HEADWATER = 1.022.3' R.L.  
 DESIGN SLOPE (0.2%) = 20 F.T./Sq. R.  
 DESIGN VELOCITY = 15.0 F.T./Sec.  
 DESIGN VELOCITY = 15.0 F.T./Sec.  
 010 155 C.F.S. Hm= 1020.7  
 020 284 C.F.S. Hm= 1021.0  
 030 398 C.F.S. Hm= 1021.4  
 040 478 C.F.S. Hm= 1021.8  
 050 528 C.F.S. Hm= 1022.0  
 060 578 C.F.S. Hm= 1022.0

THE DESIGN OF THIS PROJECT WAS PREPARED BY THE ENGINEERING DEPARTMENT OF STORY COUNTY

STORY COUNTY

PLAN AND PROFILE SHEET

PROJ No. L-H3--73-85



(See Cross Section Sheets for Ditch Bottom Elevations)

John L. Barker, et al.  
NW 1/4, NW 1/4, Sec. 3-85-23

BM: NW Cor., Sec. 3, 1/2 bar on centerline, Sta 0+00.00; Elev=1024.27



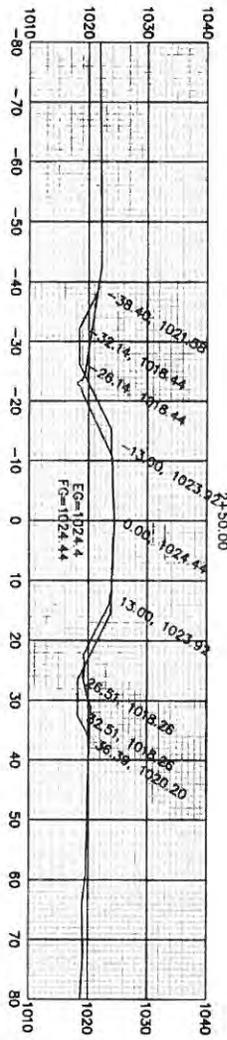
STORY COUNTY

THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE STRUCTURE SHOWN.

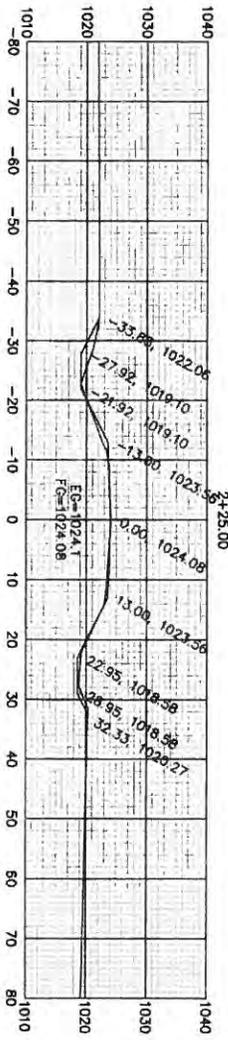
STORY COUNTY

L-73-85-73-86

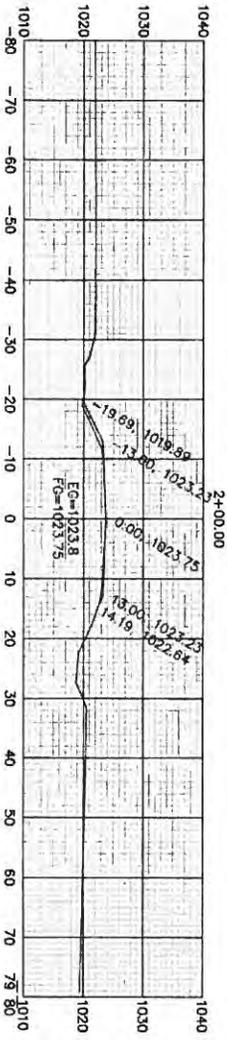
SHEET NO. 7 OF 9



Sta. 2+50.00	
Cut Area	33.06
Fill Area	31.46
Cut Vol	22.51
Fill Vol	23.42



Sta. 2+25.00	
Cut Area	15.56
Fill Area	7.45
Cut Vol	7.32
Fill Vol	8.33



Sta. 2+00.00	
Cut Area	0.24
Fill Area	6.40
Cut Vol	0.00
Fill Vol	0.00

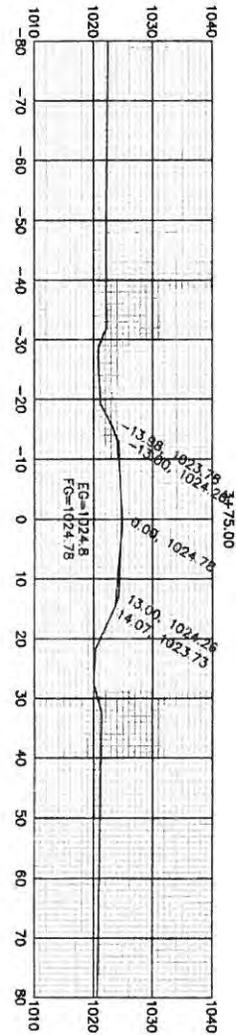


THE ENGINEER & ARCHITECT ASSOCIATES, INC. 1100 N. 20th Street, Suite 200

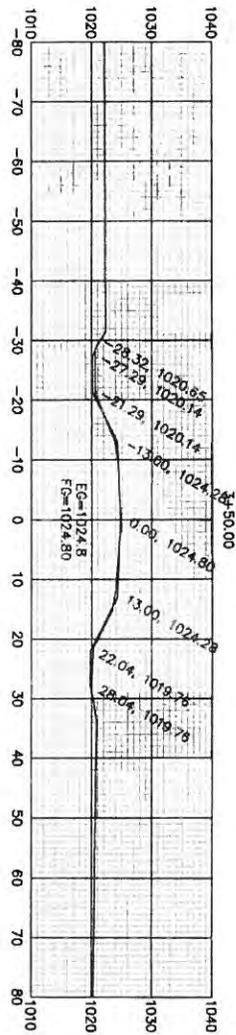
STORY COUNTY

7-29-74-85

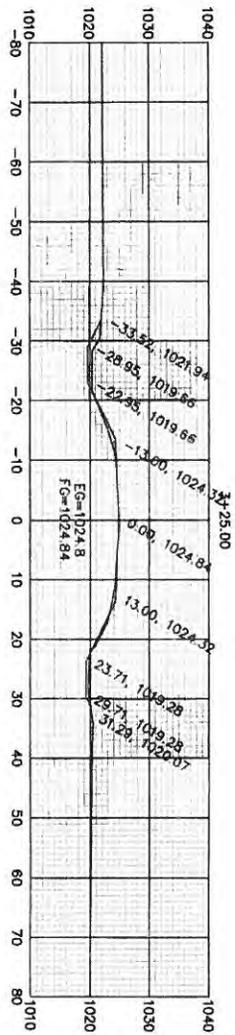
11/11/74



Sta. 3+75.00	
Cut Area	0.20
Fill Area	3.39
Cut Vol	3.86
Fill Vol	4.39



Sta. 3+50.00	
Cut Area	8.14
Fill Area	3.90
Cut Vol	10.46
Fill Vol	6.30



Sta. 3+25.00	
Cut Area	14.45
Fill Area	6.57
Cut Vol	27.96
Fill Vol	21.07



Story County Conservation Board - McFarland Park 56461 180<sup>th</sup> St. - Ames, Iowa 50010-9451  
Phone (515) 232-2516 - Fax (515)232-6989 - Email: conservation@storycounty.com  
www.storycountyconservation.org

Memorandum

To: Story County Board of Supervisors  
Through: Michael D. Cox, Director  
From: Ryan Wiemold, Parks Superintendent  
Date: January 12, 2021  
Re: Consideration of Contract with Tree Hugger Tree Care for Removal of Hanging Limbs for \$13,420.00.

The attached contract with Tree hugger Tree Care is for removal of hanging limbs from the derecho storm event. Staff inventoried hanging limbs, over trails and openly managed areas, at all locations that pose a safety concern to users. This totaled 61 limbs at 6 locations. These are limbs that are unreachable with staff abilities and equipment, therefore contractor expertise is needed. This inventory information was put into a contract for removal and competed. Tree Hugger Tree Care is the low qualified contractor for this work at \$13,420.00.

This project qualifies for an 85% reimbursement and is included in the current scope of FEMA work.

The Story County Conservation Board recommends your approval.

  
Approval

\_\_\_\_\_  
Disapproval

11-12-21  
Date

\_\_\_\_\_  
Date

# CONTRACT

Kind of Work Remove Hanging Tree Limbs

County Story

THIS AGREEMENT made and entered by and between Story County, Iowa, by its Conservation Board, Contracting Authority, and

Denny Deakins  
 of Tree Hugger Tree Care Contractor.  
 WITNESSETH: That the Contractor, for and in consideration of (\$ 13,420<sup>00</sup>)

payable as set forth in the specifications constituting a part of this contract, hereby agrees to construct in accordance with the plans and specifications therefore, and in the locations designated in the notice to quoters, the various items of work as follows:

Item No.	Item	Est. Quantity	Unit Price	Amount
1	Remove 61 hanging tree limbs on 46 trees from 6 parks and trail	1.00	Job	
2	systems locations throughout Story County, IA.			
3				
4	*cut down and dispose of limbs on sites.			
5	* Includes mobilization of equipment and associated project costs			
6				
7				
8				
9				
10				
11	See supplemental information sheets for project details			
12				
13				
14				
	<input type="checkbox"/> See supplemental information on Page 2			
			<b>TOTAL:</b>	<b>13,420<sup>00</sup></b>

Said specifications and plans are hereby made a part of the the basis of this agreement and a true copy of said plans and specifications are now on file in the Story County Conservation Office.

That in consideration of the foregoing, the Contracting Authority hereby agrees to pay the Contractor, promptly and according to the requirements of the specifications the amounts set forth subject to the Conditions as set forth in the specifications.

That it is mutually understood and agreed by the parties hereto that the notice to quoters, the proposal, the specifications for Project No. Derecho Repairs in Story County, Iowa, the within contract, the contractor's bond, and the general and detailed plans are and constitute the basis of contract between the parties thereto. That it is further understood and agreed by the parties of this contract that the above work shall be commenced and completed on or before:

Approximate Starting Date	Specified Starting Date	Late Start Date	Number of Working Days
22-Dec-20	1-4-2021	1-12-2021	45

That time is the essence of this contract and that said contract contains all of the terms and conditions agreed upon by the parties hereto. It is further understood that the Contractor consents to the jurisdiction of the courts of Iowa to hear, determine and render judgement as to any controversy arising hereunder.

IN WITNESS WHEREOF the parties hereto have set their hands for the purposes herein expressed to this and three other instruments of like tenor, as of the

Recommended by:

Approved:

*Li K. Hobbs*  
 Board of Supervisors

Story County, Iowa  
 Contracting Authority

By: *[Signature]*  
 Director, Story County Conservation Board

Date: 1-5-2021

1-12-21  
 Date

By: *[Signature]*

STORY COUNTY CONSERVATION  
BID PURCHASING FORM

Employee requesting bid: Ryan Wiemold

Item(s) description: Tree limb removal system-wide. Select <sup>hanging</sup> limb  
removal for safety.

Price quotes were received from the following firms:

Firm	Price/Quote
<u>Tree Hugger Tree Care</u>	<u>13,420</u>
<u>Indian Creek Tree Service</u>	<u><del>22,400</del></u>
<u>5 other non-responsive contractors</u>	<u>←</u>

Comments: \_\_\_\_\_

The following firm was selected: Tree Hugger Tree Care

Purchase approved by: [Signature]

Date: 1/6/21

# QUOTE PROPOSAL

Type of Work Remove Hanging Tree Limbs

Project No. Derecho - limbs

System Local

County Story County

Location and Description

**Remove 61 total hanging tree limbs from 46 trees at various locations.**

**There are 6 locations in total, consisting of parks or trail systems in Story County, Iowa.**

**Cut down hanging limbs and dispose of tree limbs on sites.**

Proposal of

TreeHugger Complete Tree Care  
Name of Quoter

31533 640 Ave Max  
Street Address

Maxwell  
City

IA  
State

50661  
Zip Code

Contractor Federal ID Number 47-3328479

The quoter hereby certifies that no other principal is involved in or has an interest in this proposal; that the quoter has thoroughly examined the plans and specifications and this contract form and is aware of the special provisions contained herein, that the quoter has examined the site of the work and understands that the quantities of work actually required by the plans and specifications are approximate only and are subject to increases and decreases- that the quoter understands that all quantities of work actually required must be performed and that payment therefore shall be at the unit prices stipulated herein- that the quoter proposes to timely furnish the specified materials in the quantities required and to furnish the machinery, equipment labor and expertise necessary to competently complete this project by the time specified, that no state or county official or employee has a direct or indirect interest in the contract which would cause violation of Section 314.2 Code of Iowa.

If this quote is accepted, quoter agrees: to perform all "extra work" required to complete the project at unit prices or lump sums to be agreed upon in writing prior to commencement of such "extra work" or if prior agreement cannot be reached to perform the work on a "force-account basis" as provided in the specifications, to execute the format contract within thirty days of the date of approval, for award or to forfeit the proposal guaranty furnished herewith; to begin work in accordance with the contract documents and to either complete the work within the contract period or pay liquidated damages with shall accrue at the daily rate specified below for each additional working day the work remains uncompleted, furnish a performance bond in an amount equal the contract award as security for the full and complete performance of the contract in accordance with the plans and specifications.

Group or Division No.	Amount of Proposal Guaranty	Construction Period	Working Days	Liquidated Damages Per Day
	\$0	12/29/20 - 2/5/20	38	\$0

Enclosed herewith is a certified check credit union share draft Cashier's check, bank draft on a solvent bank or a quote bond in the penal sum shown in the contract document as a proposal guaranty, it is understood by quoter that the said guaranty document shall be retained by Story County as a forfeiture in the event the formal contract is not executed or performance bond is not furnished if the award is made to the undersigned.

This project will be let as Sales Tax Exempt. Exemption Certificates will be sent out to the winning quoter.

Signatures are to be by authorized agent: If joint venture, each should sign.

Signed:

*S. Sealins*

1-5-2021



**STORY COUNTY  
CONSERVATION**

Integrated Roadside Vegetation Management

837 N Avenue • Nevada, Iowa 50201 • Phone (515) 382-7367 • Fax (515) 382-7369

[www.storycountyconservation.org](http://www.storycountyconservation.org)

Memorandum

To: Story County Board of Supervisors  
From: Joseph Kooiker, Vegetation Management Biologist  
Date: January 12, 2020  
Re: 2020 Weed Commissioner Report

Attached is the annual weed commissioner's report required by Iowa Code to be presented to the board of supervisors. This report is also submitted to the state weed commissioner. This report is used to identify the name and location of all primary noxious weeds, and any new weed which appears to be a serious pest. It also serves as a detailed statement of the treatment used, and future plans, for eradication of weeds, together with the costs and results obtained. Furthermore, this report is a summary of the weed situation within the jurisdiction, together with suggestions and recommendations which may be proper and useful, a copy of which shall be forwarded to the state secretary of agriculture.

I urge that this report be accepted by the Story County Board of Supervisors.

  
Approval

\_\_\_\_\_  
Disapproval

1-12-21  
Date

\_\_\_\_\_  
Date



# 2020 WEED COMMISSIONER'S REPORT

For the County of: Story

Submit to County Board of Supervisors by: November 1, 2020  
 Return copy to the IDALS office by: December 1, 2020

## Weed Commissioner's Contact Information:

Name <b>Joseph Kooiker</b>	Year Appointed <b>1994</b>
Address <b>837 N. Avenue</b>	Telephone <b>515-382-7367</b>
City, Zip Code <b>Nevada, IA 50201</b>	Alternate Telephone
Email Address <b>Jkooiker@storycountyiowa.gov</b>	Pesticide Certificate # <b>01979</b>

## Which of the noxious weeds have you found in your county?

- 1 - Found, a problem in my county  
 2 - Found, but not a problem

- 3 - Not known in my county  
 ? - If you cannot identify this plant

<i>Primary Noxious Weeds</i>	<i>Answer</i>	<i>Secondary Noxious Weeds</i>	<i>Answer</i>
Buckthorn	1	Buckhorn Plantain	1
Bull Thistle	2	Cocklebur	1
Canada Thistle	1	Curly Dock (Sour Dock)	1
Field Bindweed	2	Multiflora Rose	1
Hoary Cress (Perennial Pepper-grass)	2	Poison Hemlock	1
Horse Nettle	1	Puncturevine	2
Leafy Spurge	1	Red Sorrel (Sheep sorrel)	2
Musk Thistle	1	Shattercane	3
Palmer Amaranth	1	Smooth Dock	2
Perennial Sow Thistle	2	Teasel	1
Quackgrass	2	Velvetleaf (Butterprint)	2
Russian Knapweed	3	Wild Carrot	1
		Wild Mustard	2
		Wild Sunflower	2

<i>Invasive Prohibited Plants</i>	Answer		
Garlic Mustard	1		
Japanese Hop	1		
Japanese Knotweed	1		
Oriental Bittersweet	1		
Purple Loosestrife	1		

**Please list any other plants which are a problem or a concern in your county:**

Callery Pear, Chinese Bushclover, Crown Vetch, European Watercress, Japanese Barberry, Japanese Raspberry, Reed Canary Grass, Wild Parsnip, Bush Honeysuckle, Autumn Olive

---

**As County Weed Commissioner, do your duties include roadside spraying?**

Yes  No

**Did your county publish a Notice of Program for weed control pursuant to the provisions of Title VIII Chapter 317 Section 317.14?**

Yes  No

**Did your county employ contract spraying during 2020?**

Yes  No

If yes, what percentage of your total spray program is contracted? 35 %

If possible, please list the contract rates. \$/mile 200.70

Total contract cost \$ 50,176.00

**In the past year how much did your county spend on purchasing herbicides?**

\$ 6,937.00

**How many times during 2020 was it necessary to serve a noxious weed notice?**

Private (written) 3 Public (written) (DOT, DNR, CCB) 0

**How many times did you contact individuals personally, rather than sending them a weed control notice?**

Private (verbal) 9 Public (verbal) (DOT, DNR, CCB) 5

How many times did you actually enter private or public land, control weeds, and assess the cost to the owner?

2

How many months were you employed as weed commissioner in 2020?

12 months

Are your duties as weed commissioner incorporated into another county job?

Yes  No

If Yes, what? Vegetation Management Biologist

Weed Comm. Duties 15 % IRVM Duties 70 %

Other County Duties 15 %

How does the overall county weed situation compare with last year?

Improved  Unchanged  Worse

Comments?

Staff found an increase in CT and Wild Parsnip in Story County ROW. Increased herbicide resistance continues to be a problem in Story County.

Commercial and Agricultural disturbance has caused increased noxious weed pressure in areas throughout the county.

Is brush control included in your weed commissioner duties?

Yes  No

If yes, what method(s) do you use? (Circle all that apply):

Spraying  Cutting  Stump treatment  Basal bark

Other, explain Contract Spray 33% of County Annually

What are your suggestions and/or recommendations which may improve your county weed and brush infestations?

See Attached Sheet

What herbicides did your county use in your weed control program? Be specific, please list brand name and quantity of each. Please do not list surfactants or adjuvants. If the spray program is contracted in your county, ask your contractor for this information. Add another page if necessary.

Herbicide usage table:

<b>CHEMICAL/BRAND</b>	<b>RATE USED</b>	<b>QUANTITY USED</b>	<b>TO CONTROL?</b>
<i>(Example)</i> Milestone	4 fluid ounces per acre	3.32 gallons	Thistle and teasel on roadside
Aquasweep	1% per volume	20.25 gallons	Brush in Drainage Ditches and Wet Areas
Garlon 4	2 quarts per acre	2.5 gallons	Brush in ROW
Milestone	7 ounces per acre	6 gallons	Noxious Weeds
Pathfinder II		8 gallons	Stump Treatment
Polaris	48 ounces per acre	3 gallons	Honeysuckle
Roundup Custom	2% per volume	15 gallons	Stump Treatment, Bareground, Re-Veg Projects
Streamline	9 ounces per acre	22.75 pounds	Brush

The above report is true to the best of my knowledge.

Signature   
County Weed Commissioner

1-12-21  
Date

Signature   
Chairman, County Board of Supervisors

1-12-21  
Date

Please return a copy to:

Iowa Department of Agriculture and Land Stewardship  
Attn: State Weed Commissioner  
2230 S Ankeny Blvd  
Ankeny, IA 50023-9093

What are your suggestions and/or recommendations which may improve your county weed and brush infestations?

In order to maintain and control our invasive weed problems we need to promote good land stewardship. We also need to keep educating the public, landowners, commercial developers, and operators about the latest trends in vegetation management which include but is not limited to the following: proper timing of mowing, proper herbicide selection, invasive plant concerns and identification, and reduction of herbicide encroachment to Story County's right of ways. The Weed Commissioner could implement a program with a systematic approach throughout the county. This would focus on herbicide to control brush 10 feet and under and rely less on mechanical control in these areas.



# 2021 COUNTY WEED COMMISSIONER CERTIFICATION FORM

For the County of: Story

### Weed Commissioner's Contact Information:

Name <b>Joseph Kooiker</b>	Year Appointed <b>1994</b>
Mailing Address <b>837 N. Avenue</b>	Telephone <b>515-382-7367</b>
City, Zip Code <b>Nevada, 50005</b>	Alternate Telephone
Email Address <b>JKookier@storycountyiowa.gov</b>	Pesticide Certificate # <b>01979</b>

Signed: *Trick Hobbs* Date: 1-12-21  
 Chair/President, County Board of Supervisors

PLEASE RETURN THIS FORM TO:

**IOWA DEPARTMENT OF AGRICULTURE AND LAND STEWARDSHIP**  
**State Weed Commissioner**  
**2230 South Ankeny Boulevard**  
**Ankeny, IA 50023-9093**

### 317.3 Weed commissioner -- standards for noxious weed control.

The board of supervisors of each county may annually appoint a county weed commissioner who may be a person otherwise employed by the county and who passes minimum standards established by the department of agriculture and land stewardship for noxious weed identification and the recognized methods for noxious weed control and elimination. The county weed commissioner's appointment shall be effective as of March 1 and shall continue for a term at the discretion of the board of supervisors unless the commissioner is removed from office as provided for by law. The county weed commissioner may, with the approval of the board of supervisors, require that commercial applicators and their appropriate employees pass the same standards for noxious weed identification as established by the department of agriculture and land stewardship. The name and address of the person appointed as county weed commissioner shall be certified to the county auditor and to the secretary of agriculture within ten days of the appointment. The board of supervisors shall fix the compensation of the county weed commissioner and deputies. In addition to compensation, the commissioner and deputies shall be paid their necessary travel expenses. At the discretion of the board of supervisors, the weed commissioner shall attend a seminar or school conducted or approved by the department of agriculture and land stewardship relating to the identification, control, and elimination of noxious weeds.

The board of supervisors shall prescribe the time of year the weed commissioner shall perform the powers and duties of county weed commissioner under this chapter which may be during that time of year when noxious weeds can effectively be killed. Compensation shall be for the period of actual work only although a weed commissioner assigned other duties not related to weed eradication may receive an annual salary. The board of supervisors shall likewise determine whether employment shall be by hour, day or month and the rate of pay for the employment time.



Story County Planning and Development  
Administration Building  
900 6<sup>th</sup> Street, Nevada, Iowa 50201

Ph. 515-382-7245 Fax 515-382-7294  
[www.storycountyiaowa.gov](http://www.storycountyiaowa.gov)

## MEMORANDUM

**MEETING DATE:** January 12, 2021

**TO:** Story County Board of Supervisors

**FROM:** Amelia Schoeneman, Planning and Development Director

**RE:** Consideration of request to sign order form to begin integration of Heartland payment processing with Citizenserve

On October 6, 2020, the Board of Supervisors approved the use of Heartland instead of PayPal to process credit card payments for zoning permits, development case applications, and related items on Citizenserve (the department's online permitting portal) at a cost of a one-time, \$5,000 integration fee. The change to Heartland was requested as PayPal does not allow transaction fees to be passed on to the customer. Attempts to pass on these fees resulted in PayPal placing the transaction fee percentage on the transaction amount plus the transaction fee. This cost the County several cents for every transaction. The Treasurer's Office staff recommend Planning and Development Department staff use Heartland as an alternative payment processor. Other County departments use Heartland to process their credit card payments including the Sheriff's Office, Auditor's Office, and the Treasurer's Office. The Treasurer's Office has an established relationship with the company and have been satisfied with the company's service. Heartland's processing fees are the lowest compared to the other credit card payment processing companies currently integrated with Citizenserve.

The Board also directed staff to determine that Heartland could not integrate through any APIs/gateways that Citizenserve already had integrated with to avoid the integration fee. County Treasurer Ted Rasmuson reached out to Govtech, the web payment host the County uses for Heartland, to confirm that Heartland did not use other APIs/gateways. They were unaware of any. GovTech advised that they had integrated with Authorize.net and EGOV, which are have already integrated with Citizenserve. Planning and Development staff had already investigated these other payment processors as options. They have higher processing fees than Heartland and Authorize.net was unable to confirm that the fees would be charged to customers.

Staff has determined that Heartland is the best option for several reasons. It would not require the Planning and Development Department to run its own reports as we would continue to use the same processing setup and reports as we did previously that go through the Treasurer's Office. Given the County's success and relationship with Heartland and that the payment processor is an essential part of the online permitting system, it is the best choice to ensure a smooth, customer-friendly application process. Staff from the Treasurer, Auditor, and Planning and Development offices spent considerable time trying to correct the PayPal issue and determining that Heartland was the best option for the County and its customers. Planning and Development Staff and the County Treasurer also met with the Citizenserve team that will complete the integration to confirm that the integration is possible and that they do not foresee any issues.

The integration process can take six to eight weeks. Zoning permit applications are already active on Citizenserve and development case applications will be available in early 2021. Staff would like the payment processor to be integrated as soon as possible to facilitate this transition. Staff contacted Assistant Auditor Lisa Markley and a budget amendment is needed for the payment of the \$5,000, one-time integration fee. This amendment will be on the January 19, 2021, Board of Supervisors agenda. Staff will submit the \$5,000 claim to be acted on at the same meeting. The claim would be paid on January 21, 2021.

To allow integration work to begin prior to January 21, 2021, the Board Chair may sign an order form listing this payment schedule. Citizenserve would then begin the integration work. **Staff recommends the Board of Supervisors take action to approve the signing of the order form by the Board Chair to allow the integration work to begin.**



Order Form 01/04/2021

Account Name: Story County, Iowa

Contact Information:

Amelia Schoeneman
Interim Planning and Development Director
Story County
900 6th Street
Nevada, Iowa 50201
Email: aschoeneman@storycountyiowa.gov
Phone: (515) 382-7251

Billing Information:

Story County
900 6th Street
Nevada, Iowa 50201

Contact Term:

Billing Cycle: One Time
Billing Schedule: 01/13/2021

Fees:

Table with 2 columns: Description, Amount. Row 1: System Integration, Heartland payment processors, \$5,000.00. Row 2: Total Fees, \$5,000.00.

I authorize Online Solutions, LLC to invoice as per the above information.

Online Solutions:

Customer:

Authorized Signature

Authorized Signature

Print or Type Name of Signatory

Print or Type Name of Signatory

Execution Date

Execution Date

Address:

1101 E. Warner Road
Suite 160
Tempe, AZ 85284

Address:

Story County
900 6th Street
Nevada, Iowa 50201





Order Form 01/04/2021



citizenserve e-government software  
www.citizenserve.com  
1.800.325.9818  
All rights reserved. Confidential.

**Online Solutions LLC**  
1101 E. Warner Rd Suite 160  
Tempe, AZ 85284 US  
(800)325-9818x703  
jim@citizenserve.com  
www.citizenserve.com



BILL TO  
Story County  
ATTN: Jerry Moore  
Planning and Development  
900 6th Street  
Nevada, IA 50201

INVOICE #	DATE	TOTAL DUE	DUE DATE	TERMS	ENCLOSED
3884	01/13/2022	\$5,000.00	02/01/2022	Due on receipt	

DESCRIPTION	QTY	RATE	AMOUNT
<b>Systems Integration</b> Heartland Payment Processor	1	5,000.00	5,000.00
<b>BALANCE DUE</b>			<b>\$5,000.00</b>



---

Story County Conservation Board - McFarland Park 56461 180<sup>th</sup> St. - Ames, Iowa 50010-9451  
Phone (515) 232-2516 - Fax (515)232-6989 - Email: conservation@storycounty.com  
www.storycountyconservation.org

---

Memorandum

To: Story County Board of Supervisors

Through: Michael Cox, Director

From: Ryan Wiemold, Parks Superintendent

Date: January 12, 2021

Re: Consideration of Amended Easement Agreements with the Iowa State University Foundation for the Tedesco Connector Trail

---

Attached is an amended easement between Story County and Iowa State University on the Tedesco Environmental Learning Corridor Phase 3 multi-use recreational trail, known as the "Tedesco Connector Trail". During construction slight adjustments were made to the alignment of the trail avoid on site agriculture tiles. Also, at the western terminus of the trail the angled portion to the roadway was not utilized and therefore squared off as preferred by the landowner, ISU.

The Story County Conservation Board recommends your approval.

  
Approval

1-12-21  
Date

\_\_\_\_\_  
Disapproval

\_\_\_\_\_  
Date

Preparer: Paula DeAngelo, Deputy Counsel, 3550 Beardshear Hall, Iowa State University, Ames, IA 50011 (515.294.5352)

Return to: Kathy McKown, Manager, Contract Administration, 200 General Services Building, Iowa State University, Ames, IA 50011 (515.294.0366)

**FIRST AMENDMENT TO  
MULTI-USE TRAIL EASEMENT AGREEMENT  
AG 450 FARM**

This First Amendment to Multi-Use Trail Easement Agreement is entered into this 4th day of December, 2020, by and between the Board of Regents, State of Iowa for the use and benefit of Iowa State University of Science and Technology (“Grantor”) and Story County, Iowa (“Grantee”).

1. The State of Iowa holds title to the following real property located in Story County, Iowa for the use and benefit of Iowa State University of Science and Technology under the jurisdiction of the Board of Regents, State of Iowa:

*The Southwest Quarter (SW1/4) of Section Twenty-One (21), Township Eighty-Three (83) North, Range Twenty-Four (24) West of the 5th P.M.*

The property is known locally as the AG 450 Farm (“Property”).

2. On September 4, 2019, Grantor and Grantee entered into a Multi-Use Trail Easement Agreement in which Grantor granted Grantee an easement to construct a multi-use trail across a portion of the Property. The Multi-Use Trail Easement Agreement was recorded on September 10, 2019 as Instrument No. 2019-08343.
3. Grantee has completed its construction of the multi-use trail, and Grantor and Grantee now wish to modify the description of the Easement Area in the Multi-Use Trail Easement Agreement to state the actual location of the constructed multi-use trail.
4. Grantor and Grantee agree to modify the Multi-Use Trail Easement Agreement by deleting Section 1 (Location) and replacing it with the following:
  1. Location: Pursuant to Code of Iowa § 262.9(8) and subject to the terms of this Agreement, Grantor grants Grantee an easement that shall be located upon and limited to the tract depicted in the site map marked Exhibit 03A-03B, which is attached and made part of this Agreement, and legally described as follows (“**Easement Area**”):

Commencing at the SW corner of SEC 21-T83N-R24W; thence along the west line of said SW 1/4, N00°27'21" W, a distance of 33.00 feet; thence S 89°36'48" E, a distance of 33.00 feet to the point-of-beginning; thence N 00°27'21" W, a distance of 70.00 feet; thence S 74°27'23" E, a distance of 130.02 feet; thence S 89°36'48" E, a distance of 545.00 feet; thence S 89°54'26" E, a distance of 358.37 feet; thence N 00°05'34" E, a distance of 10 feet; thence S 89°54'26" E, a distance of 15 feet; thence S 00°05'34" W, a distance of 10 feet; thence S 89°54'26" E, a distance of 406.64 feet; thence S 89°36'48" E, a distance of 1056.49 feet; thence N 45°57'17" E, a distance of 124.00 feet; thence S 00°12'05" E, a distance of 126.81 feet; thence N 89°36'48" W, a distance of 2595.81 feet to the point of beginning. Containing 105,749 square feet (2.428 acres) more or less.

5. Except as specifically modified in this First Amendment, the remaining provisions of the Multi-Use Trail Easement Agreement remain in full force and effect.

*Signature page follows on next page*

SIGNATURE PAGE

Grantor and Grantee execute this First Amendment to Multi-Use Trail Easement Agreement by their lawfully designated officials as of the date first written above.

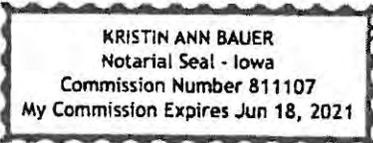
BOARD OF REGENTS, STATE OF IOWA

By [Signature]  
Mark Braun  
Executive Director

State of Iowa )  
County of Polk ) S.S.

On this 1st day of December, 2020, before me, the undersigned, a notary public in and for said County in said State, personally appeared Mark Braun, Executive Director for the Board of Regents, State of Iowa, known to me and who executed the foregoing document and who acknowledged that he executed the same as a voluntary act deed.

[Signature]  
Notary Public in and for Said County  
My Commission expires: 6/18/21



STORY COUNTY, IOWA

By [Signature]  
~~Linda Murken, Chair~~ Lisa Heddens, Chair  
Story County Board of Supervisors

State of Iowa )  
County of Story ) S.S.

On this 12th day of January, 2021, before me, the undersigned, a notary public in and for said County in said State, personally appeared Linda Murken, Chair of the Story County Board of Supervisors, known to me and who executed the foregoing document and who acknowledged that he/she executed the same as a voluntary act deed.

[Signature]  
Notary Public in and for Said County  
My commission expires: September 11, 2021



RETURN TO : -

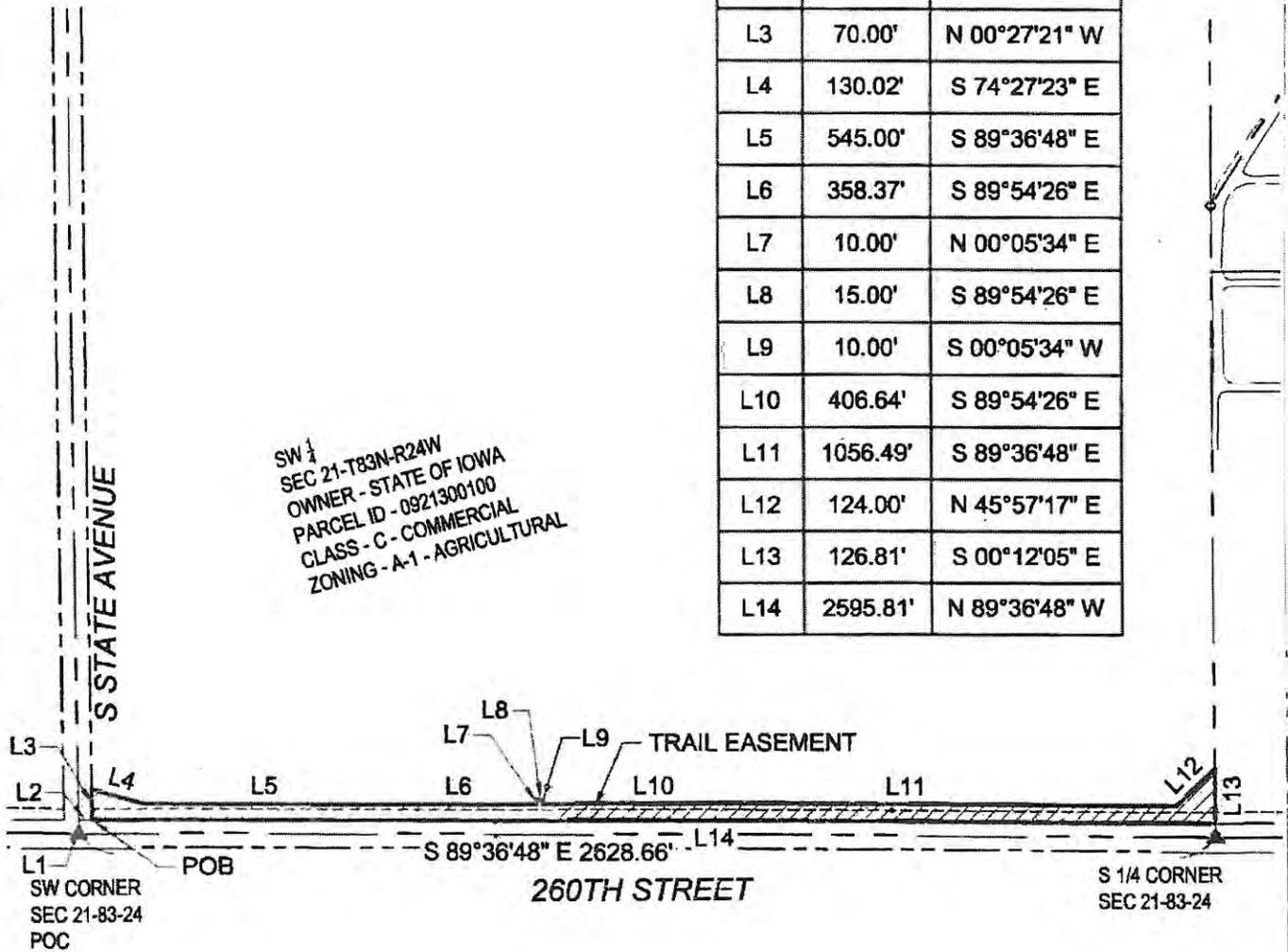
# LEGEND:

- SECTION LINE 
- EXISTING ROW LINE 
- EASEMENT LINE 
- LOT LINES 
- EASEMENT AREA 

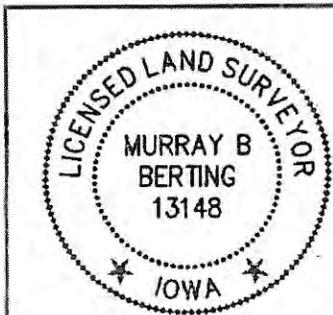
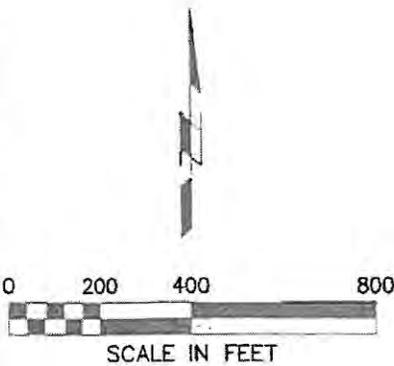
THIS SPACE RESERVED FOR RECORDER'S USE

- POINT-OF-BEGINNING **POB**
- POINT-OF-COMMENCEMENT **POC**

LINE TABLE		
LINE	LENGTH	DIRECTION
L1	33.00'	N 00°27'21" W
L2	33.00'	S 89°36'48" E
L3	70.00'	N 00°27'21" W
L4	130.02'	S 74°27'23" E
L5	545.00'	S 89°36'48" E
L6	358.37'	S 89°54'26" E
L7	10.00'	N 00°05'34" E
L8	15.00'	S 89°54'26" E
L9	10.00'	S 00°05'34" W
L10	406.64'	S 89°54'26" E
L11	1056.49'	S 89°36'48" E
L12	124.00'	N 45°57'17" E
L13	126.81'	S 00°12'05" E
L14	2595.81'	N 89°36'48" W



SW 1/4  
 SEC 21-T83N-R24W  
 OWNER - STATE OF IOWA  
 PARCEL ID - 0921300100  
 CLASS - C - COMMERCIAL  
 ZONING - A-1 - AGRICULTURAL



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: *Murray B. Berting* DATE: 9-11-20

NAME: **MURRAY B. BERTING**

LICENSE NUMBER: **13148**

MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2020

PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: \_\_\_\_\_

**EX03A, EX03B**

## TRAIL EASEMENT PLAT

OF TRAIL EASEMENT BEING  
CONVEYED TO STORY COUNTY

A TRAIL EASEMENT IN SW 1/4 SEC 21-T83N-R24W, STORY  
COUNTY, IOWA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARING FOR THIS EASEMENT BEING THE SOUTH LINE  
OF THE SW 1/4 SEC 21-T83N-R24W MEASURING 2628.66 FEET  
WITH A BEARING OF S 89°36'48" E;

COMMENCING AT THE SW CORNER OF SEC 21-T83N-R24W;  
THENCE ALONG THE WEST LINE OF SAID SW 1/4, N00°27'21" W, A  
DISTANCE OF 33.00 FEET;  
THENCE S 89°36'48" E, A DISTANCE OF 33.00 FEET TO THE  
POINT-OF-BEGINNING;  
THENCE N 00°27'21" W, A DISTANCE OF 70.00 FEET;  
THENCE S 74°27'23" E, A DISTANCE OF 130.02 FEET;  
THENCE S 89°36'48" E, A DISTANCE OF 545.00 FEET;  
THENCE S 89°54'26" E, A DISTANCE OF 358.37 FEET;  
THENCE N 00°05'34" E, A DISTANCE OF 10.00 FEET;  
THENCE S 89°54'26" E, A DISTANCE OF 15.00 FEET;  
THENCE S 00°05'34" W, A DISTANCE OF 10.00 FEET;  
THENCE S 89°54'26" E, A DISTANCE OF 406.64 FEET;  
THENCE S 89°36'48" E, A DISTANCE OF 1056.49 FEET;  
THENCE N 45°57'17" E, A DISTANCE OF 124.00 FEET;  
THENCE S 00°12'05" E, A DISTANCE OF 126.81 FEET;  
THENCE N 89°36'48" W, A DISTANCE OF 2595.81 FEET TO THE  
POINT-OF-BEGINNING.

CONTAINING 105,749 SQUARE FEET (2.428 ACRES) MORE OR  
LESS.

RECEIVED

JAN 05 2021

STORY COUNTY  
COMMUNITY SERVICES

**LEASE - BUSINESS PROPERTY - SHORT FORM**  
THE IOWA STATE BAR ASSOCIATION  
Official Form No. 165  
**Recorder's Cover Sheet**

**Preparer Information:** (name, address and phone number)

Ethan P. Anderson, 1315 South B. Ave., Nevada, IA 50201, Phone: (515) 232-4185

**Return Document To:** (name and complete address)

1315 South B. Ave  
Nevada, Iowa 50201

**Grantors:**

Mary Greeley Medical Center

**Grantees:**

Story County, Iowa

**Legal Description:** See Page 2

**Pages:** Nine (9) including this page

**Official Board Action date:** 1/12/21

**Reference Number:** \_\_\_\_\_

## BUSINESS PROPERTY LEASE

THIS LEASE, made and entered into this 12<sup>th</sup> day of January 2021, by and between Story County, Iowa, authorized under the laws of the State of Iowa, ("Landlord"), whose address, for the purpose of this lease, is 900 6th Street, Nevada, Iowa, 50201, and Mary Greeley Medical Center, ("Tenant"), whose address for the purpose of this lease is 1111 Duff Avenue, Ames, Iowa, 50010.

The parties agree as follows.

### 1. PREMISES AND TERM.

Landlord leases to Tenant the following real estate, situated in Story County, Iowa described as a building property owned by Story County, Iowa and situated in Story County Iowa:

(a) The building located at 124 S. Hazel Avenue, Ames, Iowa 50010.

Together with all improvements thereon, and all rights, easements and appurtenances thereto belonging, for a term beginning on the 1st day of January, 2021, and ending on the 30th day of June, 2021 upon the condition that Tenant performs as provided in this lease. The lease may be renewed by the parties for additional one (1) year terms either by signing a new lease or by signing an addendum (subject to the conditions in section two (2)). This lease shall not automatically renew.

### 2. RENT.

Tenant agrees to pay Landlord as rent **\$1.00 per term** for the property in a single unapportioned lump sum payment, on or before the 1st day of January, 2021. Rent for any partial month shall be prorated as additional rent. Rent beyond the initial term of this lease will be negotiated at the current fair market rate. All rent payments are to be made payable to Story County Iowa, 900 6<sup>th</sup> Street, Nevada, IA 50201, and delivered to Story County Iowa, 900 6<sup>th</sup> Street, Nevada, IA 50201 or at such other place as Landlord may designate in writing. Delinquent payments shall draw interest at 5% per annum.

### 3. SECURITY DEPOSIT.

No security deposit for the property is required by the Landlord.

#### 4. POSSESSION.

Tenant shall be entitled to possession on the first day of the lease term, and shall yield possession to Landlord at the termination of this lease. SHOULD LANDLORD BE UNABLE TO GIVE POSSESSION ON SAID DATE, TENANT'S ONLY DAMAGES SHALL BE A PRO RATA ABATEMENT OF RENT.

#### 5. USE.

It is the understanding of the parties that the intended use of the property is for Mary Greeley Medical Center's subacute and transitional living services. Mary Greeley Medical Center shall use the premises only for this business purpose.

#### 6. CARE AND MAINTENANCE.

Landlord and Tenant agree to the following.

##### **Landlord responsibilities:**

- (a) Landlord shall keep the following in good repair: roof, sewer, plumbing, heating, wiring, air conditioning. Landlord shall have reasonable access to the building in all areas at all times in order to inspect, repair, install building mechanical and structural components. **Monthly safety inspections will normally occur on the afternoon shift – 4:00 p.m. to 12:30 a.m. Monday through Friday.(CHECKING W/ FACILITIES ON THIS. MAY JUST CONTINUE QUARTERLY INSPECTIONS)** Landlord shall not be liable for failure to make any repairs or replacements or alterations unless Landlord fails to do so within a reasonable period of time after written notice from Tenant.

##### **Tenant responsibilities:**

- (b) Tenant accepts the premises as is, except as herein provided.
- (c) Tenant shall maintain the premises in a reasonable safe, serviceable, clean and presentable condition, and except for the repairs and replacements provided to be made by Landlord in subparagraph (b) above, shall make all repairs, replacements and improvements to the premises, INCLUDING ALL CHANGES, ALTERATIONS OR ADDITIONS ORDERED BY ANY LAWFULLY CONSTITUTED GOVERNMENT AUTHORITY DIRECTLY RELATED TO TENANT'S USE OF THE PREMISES.

- (d) Tenant shall make no structural changes or alterations to the building or its contents without the prior written consent of Landlord.
- (e) Tenant shall contact the Landlord immediately upon notice of any of the following:
  - (1) for any ceiling water leak, service water or plumbing leak;
  - (2) for loss of electricity;
  - (3) for loss of heat or air conditioning;
  - (4) broken glass including building light fixtures;
  - (5) doors/windows that do not open/close or lock.
- (f) Tenant shall maintain all outside public areas, lawns, sidewalks, driveways, and parking areas including snow removal.

---

**The following 24 hour emergency number shall be used and kept available for Mary Greeley Medical Center personnel at the building:**

**Facilities Management Emergency Number**

**(515)460-4901**

**Examples of an emergency include: fire, water leaks, unsecured doors/buildings, and broken windows. Our office is open 7:30 am – 4:00 pm, Monday – Friday. During those hours, you may call our main number at: (515)382-7400. If there is no answer, please call the on-call cell phone number (in red, above).**

**Work orders for everyday occurrences, such as a light out, plugged stool, etc., shall be emailed to: [FMWorkOrders@storycountyiowa.gov](mailto:FMWorkOrders@storycountyiowa.gov).**

---

## **7. MECHANICS' LIENS AND NOTICE TO SOLICITORS.**

Neither Tenant, nor anyone claiming by, through, or under Tenant, shall have the right to file any mechanic's lien against the premises. Mechanic' liens against public property are barred by Iowa Code Section 626.109. Tenant shall not perform any improvement/work to the four properties or hire contractors and subcontractors who may furnish, or agree to furnish, any material, service or labor for any improvement/work on the premises. Should Tenant be approached by solicitors, Tenant is to immediately notify Landlord and inform solicitors that only Landlord may authorize and perform improvements.

**8. UTILITIES AND SERVICES.**

Tenant shall pay for the following listed utilities: water, electric, gas, sewer and trash services. The listed utilities will be in the Tenant's name. Landlord shall not be liable for damages for failure to perform as herein provided arising from causes beyond the control of Landlord, provided Landlord uses reasonable diligence to resume such services.

**9. SURRENDER.**

Upon the termination of this lease, Tenant will surrender the premises to Landlord in good and clean condition, except for ordinary wear and tear or damage without fault or liability of Tenant. Continued possession, beyond the term of this Lease without a written lease or written amendment along with the acceptance of rent by Landlord shall constitute a month-to-month extension of this lease. The landlord may refuse to accept month-to-month payment beyond the lease term without a signed written amendment or new signed lease.

**10. ASSIGNMENT AND SUBLETTING.**

No assignment or subletting, either voluntary or by operation of law, shall be effective without the prior written consent of Landlord, which consent shall not unreasonably be withheld.

**11. INSURANCE.**

Landlord and Tenant agree to the following.

(a) **Property insurance.** Landlord and Tenant agree to insure their respective real and personal property for the full insurable value. Such insurance shall cover losses included in the special form causes of loss (formerly all risks coverage). To the extent permitted by their policies the Landlord and Tenant waive all rights of recovery against each other.

*AKH*  
*BA*

③

(b) **Liability insurance.** Tenant shall obtain commercial general liability insurance in the amounts of \$1,000,000.00 each occurrence and \$5,000,000.00 annual aggregate. This policy shall include an endorsement listing Story County Iowa as an additional insured. The Tenant will provide a copy of the policy declarations to the Landlord yearly upon request.

**12. LIABILITY FOR DAMAGE.**

Each party shall be liable to the other for all damage caused to the other's property due to the negligence, reckless or intentionally acts caused by that party

(or their agents, employees or invitees), except to the extent the loss is insured and subrogation is waived under the owner's policy.

### **13. INDEMNITY.**

Except for negligence of Landlord or Landlord's agents, Tenant will protect, defend, and indemnify Landlord from and against any and all loss, costs, damage and expenses occasioned by, or arising out of, any accident or other occurrence causing or inflicting injury or damage to any person or property, happening or done in, upon or about the four premises, or due directly or indirectly to the tenancy, use or occupancy thereof, or any part thereof by Tenant or any person claiming through or under Tenant.

### **14. DAMAGE.**

In the event of damage to the premises so that Tenant is unable to conduct business on the premises, this lease may be terminated at the option of either party. Such termination shall be effected by written notice of one party to the other and delivered registered or certified mail to the designated address found in paragraph 17 of this agreement. Thirty (30) days after such notice, the parties shall be released from all obligations under this agreement for the remainder of the lease term. This paragraph is not intended as, and does not operate as, a release for any delinquent rent owing by Tenant or liability for damages owing to either Tenant or Landlord occurring before the notice.

### **15. DEFAULT, NOTICE OF DEFAULT AND REMEDIES.**

Landlord and Tenant agree to the following.

#### **Events constituting default by tenant:**

Each of the following shall constitute an event of default by Tenant.

- (a) Failure to pay rent when due;
- (b) Failure to observe or perform any duties, obligations, agreements, or conditions imposed on Tenant pursuant to the terms of the lease;
- (c) Abandonment of the premises. "Abandonment" means the Tenant has failed to engage in its usual and customary business activities on the premises for more than fifteen (15) consecutive business days; and
- (d) Institution of voluntary bankruptcy proceedings by Tenant; institution of involuntary bankruptcy proceedings in which the Tenant thereafter is adjudged a bankruptcy; assignment for the benefit of creditors of the interest of Tenant under this lease agreement; appointment of a

receiver for the property or affairs of Tenant, where the receivership is not vacated within ten (10) days after the appointment of the receiver

**Notice of default:**

Landlord shall give Tenant a written notice specifying the default and giving the Tenant ten (10) days in which to correct the default. If there is a default (other than for nonpayment of a monetary obligation of Tenant, (including rent) that cannot be remedied in ten (10) days by diligent efforts, the Tenant shall propose an additional period of time (in writing) in which to remedy the default. Consent to additional time shall not be unreasonably withheld by Landlord. Landlord shall not be required to give Tenant any more than three notices for the same default within any one year (365 day) lease period.

**Remedies:**

In the event Tenant has not remedied a default as required by this agreement and assuming proper notice has been given, Landlord may proceed with all available remedies at law or in equity, including but not limited to termination of the lease. In the event of termination of this lease, Landlord shall be entitled to pursue all legal means available to recover possession of the premises. Landlord shall also be entitled to pursue and obtain money judgment against Tenant for the balance of rent agreed to be paid for the lease term, for any damages to the premises plus all expenses of landlord in enforcing these remedies and reletting the premises, including reasonable attorney's fees and court costs.

**16. RIGHT TO ADVERTISE.**

Landlord, during the last 90 days of this lease, unless the parties to this lease have agreed to renew the lease, shall have the right to maintain on the premises either or both a "For Rent" or "For Sale" signs. Tenant will permit prospective tenants or buyers to enter and examine the premises.

**17. LEGAL NOTICES AND DEMANDS.**

All legal or other notices and demands required by this agreement to be in writing shall be delivered to the parties hereto at the addresses designated in this paragraph unless either party notifies the other, in writing, of a different address. Without prejudice to any other method of notifying a party in writing or making a demand or other communication, such notice shall be considered given under the terms of this lease when it is deposited in the U.S. Mail, registered or

certified, properly addressed, return receipt requested, and postage prepaid. The address of Landlord is:

**Story County Iowa, 900 6<sup>th</sup> Street, Nevada, IA 50201**

The address of the Tenant is:

**Mary Greeley Medical Center, 1111 Duff Avenue, Ames, Iowa 50010**

#### **18. PROVISIONS BINDING.**

Each and every covenant and agreement herein contained shall extend to and be binding upon the respective successors, heirs, administrators, executors and assigns of the parties hereto.

#### **19. CERTIFICATION.**

Tenant certifies that it is not acting, directly or indirectly, for or on behalf of any person, group, entity or nation named by any Executive Order or the United States Treasury Department as a terrorist, "Specially Designated National and Blocked Person" or any other banned or blocked person, entity, nation or transaction pursuant to any law, order, rule or regulation that is enforced or administered by the Office of Foreign Assets Control; and it is not engaged in this transaction, directly or indirectly on behalf of, or instigating or facilitating this transaction, directly or indirectly on behalf of, any such person, group, entity or nation. Tenant hereby agrees to defend, indemnify and hold harmless Landlord from and against any and all claims, damages, losses, risks, liabilities and expenses (including attorney's fees and costs) arising from or related to any breach of the foregoing certification.

#### **20. CONTENTS**

Landlord will leave contents on the premises. Contents are defined as "chairs, desks, filing and storage cabinets, white boards, folding tables, kitchen equipment, appliances, beds, dressers, etc." All contents are left on the premises at the discretion of the Landlord. Landlord retains ownership of all contents and contents shall not be removed from the buildings without express permission from the Landlord. Landlord may remove contents at any time subject to its discretion. At the end of the lease, all contents return to the Landlord. Contents shall remain in good condition with normal wear and tear. Tenant shall execute an inventory sheet with Landlord specifying the contents that are left on the premises and Tenant agrees to return all contents to Landlord at the expiration of the lease agreement.

**21. ADDITIONAL PROVISIONS.**

The basement of 124 S. Hazel, Ames, Iowa 50010 will be retained and used by landlord Story County, Iowa. Access at all times to the basement area will be granted to Story County, Iowa. Access to the building will be granted to landlord at all times without prior approval by tenant. Landlord will notify tenant when it plans to access the building when prior notice is practical.

*Lisa K. Hedden, Chair*

LANDLORD, Story County Iowa

Authorized signature

Linda Murken, Chair, Story County Board of Supervisors

*Lisa K. Hedden*

*1-12-21*

Date

*Brian Dieter*

TENANT, Mary Greeley Medical Center

Brian Dieter, President

*12/28/2020*

Date

## Facilities Management Emergency Contact Information

### EMERGENCY NUMBER ONLY:

(515)460-4901

Examples of an emergency include: fire, water leaks, unsecured doors/buildings, and broken windows. Our office is open 7:30 am – 4:00 pm, Monday – Friday. During those hours, you may call our main number at: (515)382-7400. If there is no answer, please call the on-call cell phone number (in red, above)

Work orders for everyday occurrences, such as a light out, plugged stool, etc., shall be emailed to: [FMWorkOrders@storycountyiowa.gov](mailto:FMWorkOrders@storycountyiowa.gov).

-Thank You-  
Story County Facilities Management

**This sign is to reproduced and displayed by Tenant in a prominent location during the lease term.**



**STORY COUNTY  
BOARD OF SUPERVISORS  
LATIFAL FAISAL  
LISA HEDDENS  
LINDA MURKEN**

Story County Administration  
900 Sixth Street  
Nevada Iowa 50201  
515-382-7200  
515-382-7206 (fax)

**APPROVED** **DENIED**  
Member Initials: LFH  
Meeting Date: 1-12-21  
Follow-up action: \_\_\_\_\_

January 6, 2021

**RECOMMENDATION FOR GRANTING OF SURPLUS STORY COUNTY RADIO EQUIPMENT –  
Third Offering**

Story County has previously sent out to offerings to Story County Jurisdictions to invite them to apply for surplus public safety radio equipment purchased by Story County for use with the StoryComm public safety communication system. We granted requests in July for 10 portable radios and 2 mobile radios, and in October for 10 portable radios from fire departments and law enforcement agencies throughout Story County.

Because we still had 26 surplus XL-185 P portable radios remaining after the second offering, Chief Deputy Nick Lennie inquired of the school districts in Story County as to whether they would have an interest in receiving any of the radios. All seven public schools responded; the total requests were for 27 radios.

The review committee is recommending that the seven school requests we received be filled as follows:

<u>School District</u>	<u>Requested</u>	<u>Recommendation</u>
Ames	8	8
Ballard	4	4
Collins/Maxwell	2	2
Colo/NESCO	2	2
Gilbert	4	4
Nevada	4	3
Roland /Story	3	3
TOTAL	27	26

It is recommended to the Board of Supervisors that these radios be granted to the School Districts listed above, with the following conditions:

1. Any radios the agency receives from Story County will be placed in active use, and the agency will pay the monthly StoryComm subscriber fees and annual maintenance fees from their budget.
2. If at any point, the agency is no longer actively using any of these radios, it will notify the Story County Board of Supervisors and return the equipment if requested.

Submitted by Linda Murken, Story County Supervisor



**Story County Planning and Development**

Administration Building  
900 6<sup>th</sup> Street, Nevada, Iowa 50201  
Ph. 515-382-7245 [www.storycountyiowa.gov](http://www.storycountyiowa.gov)

**APPROVED**                      **DENIED**

Board Member Initials: SKH

Meeting Date: 1-12-21

Follow-up action: \_\_\_\_\_

**MEMORANDUM**

**MEETING**

**DATE:** January 12, 2021  
**TO:** Story County Board of Supervisors  
**FROM:** Amelia Schoeneman, Story County Planning and Development Director  
**RE:** Discussion and Consideration of a Request to Consider an Ames Urban Fringe Plan Land Use Framework Map Amendment for the Property at 23959 580<sup>th</sup> Avenue and for the Adjacent Area.

Scott Larson, Larson Leasing, requested the cooperators of the Ames Urban Fringe Plan (AUFPP) (Gilbert, Ames, and Story County) to consider an amendment to the AUFPP Land Use Framework Map for the property at 23959 580<sup>th</sup> Avenue (former Caremoli site) in May of 2020. The property is zoned A-2 Agribusiness. The applicant initially reached out to Story County to inquire about rezoning the property to the Commercial-Light Industrial District to allow more general commercial uses such as offices and warehouses. The property is currently designated as Industrial Reserve in the AUFPP Land Use Framework Map. Policy 3 of the AUFPP for the Industrial Reserve designation is that prior to considering a rezoning, the applicant shall first request an AUFPP amendment to Planned Industrial area. Properties designated Planned Industrial are annexed as part of their development.

The first step in the amendment process is for the cooperators to take action on whether to consider an amendment request and allow its submittal, beginning with the City of Ames. The Ames City Council took action on the request to allow the applicant to apply for an amendment from Industrial Reserve to Planned Industrial at their July 28, 2020 meeting. Additional action was taken to allow the applicant to move forward with a concurrent voluntary annexation application. A separate voluntary annexation request has been received from the property owner to the north and adjacent to the city (LDY, LLC). With the annexation, the city would rezone the property to a new zoning district developed for the area and it would be developed under city standards. The memo also indicated that in the short-term, no utilities would be extended to serve the site and it would remain on rural water services.

The council considered allowing the applicant to move forward with the submittal of the amendment application, pursuing the rezoning with the County, and having them sign an agreement for a future annexation. The staff memo provided by the City of Ames and Council minutes (included on the agenda center) indicate that concurrent annexation with the amendment request was preferred due to the property's position at the future Highway 30 Interchange and entrance to the Prairie View Industrial Park/East Industrial Area. The East Industrial Area (area inside the City of Ames east of Interstate 35 and south of Lincoln Highway) is also designated Planned Industrial.

Given the city's interest in the area, the City of Ames also has requested the cooperators consider an amendment for all the adjacent properties to the former Caremoli site. A map of the area with the affected parcels highlighted in yellow is attached to this memo in Attachment A. The other parcels

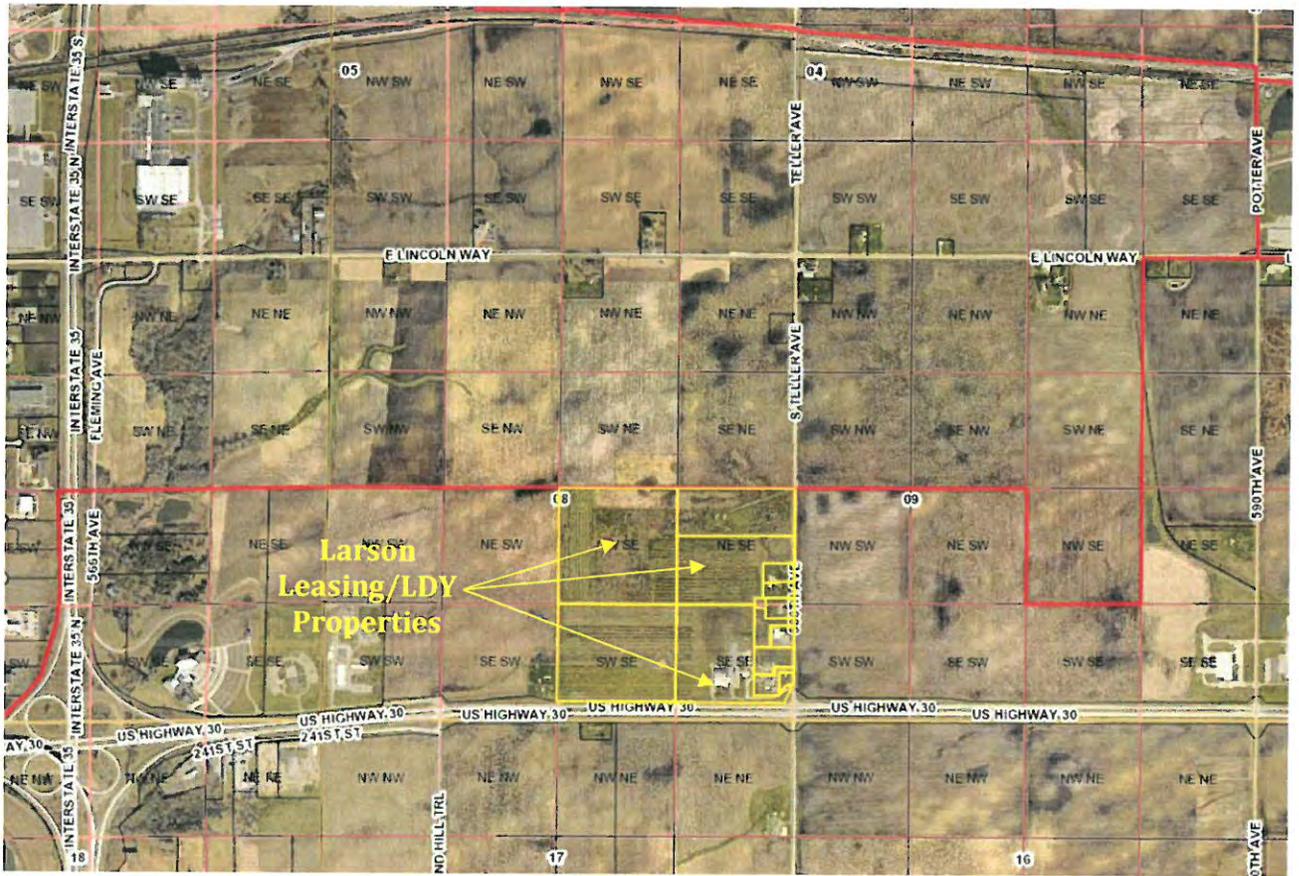
that are part of the amendment request but have not submitted voluntary annexation requests would be annexed as they are developed, unless Ames' Council were to pursue an 80/20 voluntary annexation.

The city forwarded the request to consider the amendment to Story County and Gilbert on December 31, 2021. The request is available on the agenda center. If the majority of the entities agree to consider the request, the applicant then may submit the request for action. The cooperators would individually bring the request to their Planning and Zoning Commissions and Board of Supervisors/City Councils for action approving or denying the amendment after the submittal is made. All three entities must approve the amendment.

**Planning and Development staff recommend the Board of Supervisors take action to allow the applicant to move forward with an application to amend the Ames Urban Fringe Plan Land Use Framework Map from Industrial Reserve to Planned Industrial for the area shown on Attachment A.**

# ATTACHMENT A

## Proposed Ames Urban Fringe Plan Land Use Framework Map Amendment Area





*Caring People  
Quality Programs  
Exceptional Service*

**TO:** Amelia Schoeneman, Story County  
Sonia Arellano Sundberg, Gilbert

**FROM:** Julie Gould, Planner

**DATE:** December 31, 2020

**SUBJECT:** Request for Urban Fringe amendment for area East of Ames

Scott Larson, representing Larson Leasing, LC, has asked to initiate an amendment to the Ames Urban Fringe Plan for property he owns at 23959 580<sup>th</sup> Avenue. He seeks to amend the current designation of Industrial Reserve to Planned Industrial to allow for annexation to the City of Ames. The City of Ames also seeks to include adjacent lands. (Attachment A). These lands are designated Industrial Reserve. The City seeks to designate all lands within the proposed amendment area to Planned Industrial. A map showing the showing the current Ames Urban Fringe designations has also been included. (Attachment B).

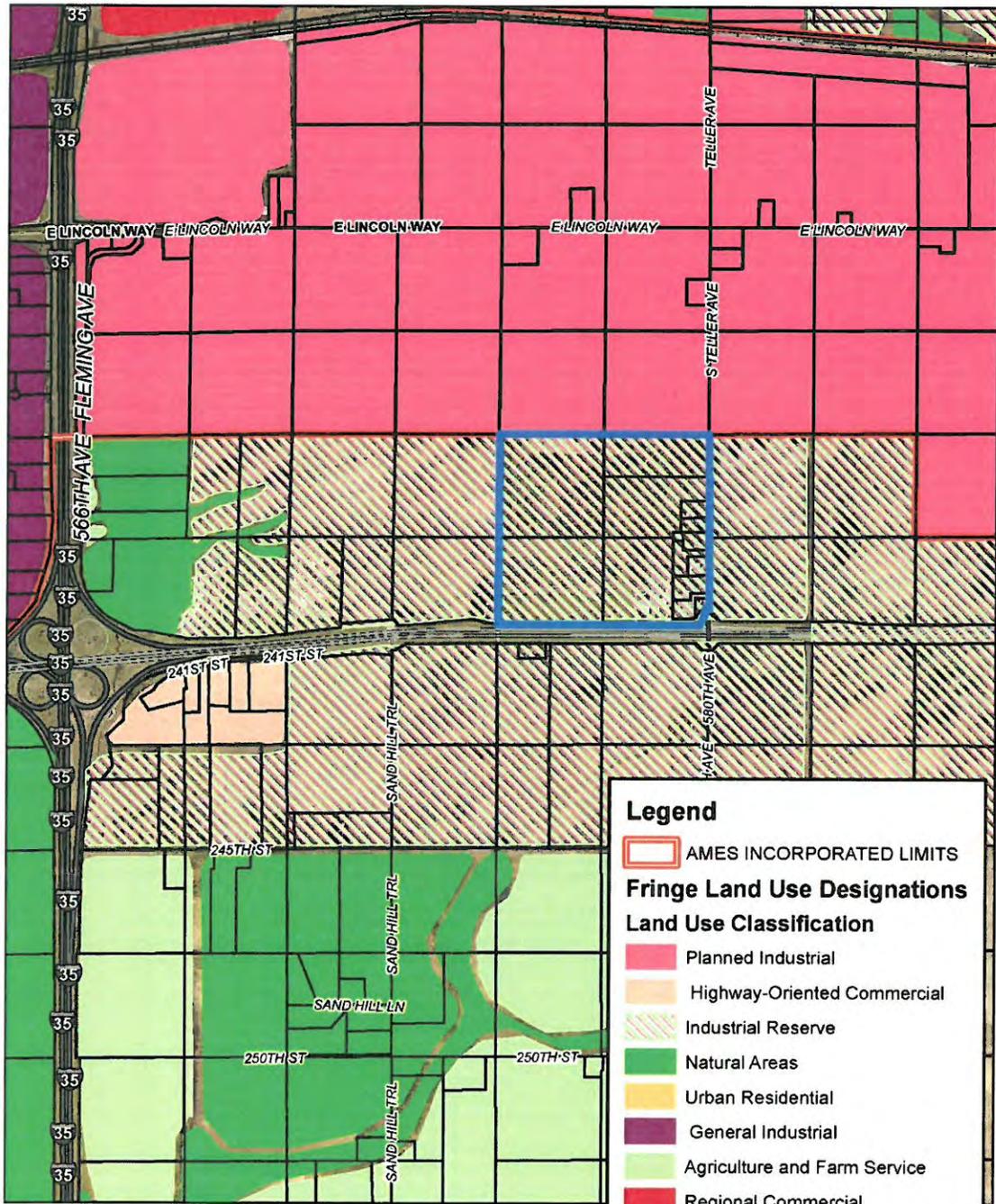
The Ames City Council has taken the first step in allowing Mr. Larson to initiate the amendment. The 28E agreement requires two jurisdictions to initiate the request before Mr. Larson can submit an application for an amendment. **The City of Ames is asking each of you to present this request to your respective bodies for action.** This request is only to initiate the amendment process. Formal approval of the AUF Amendment will follow the steps outlined in the 28E Agreement.

**Attachment A**



**Proposed AUF Amendment Area**

**Attachment B**



**Legend**

- AMES INCORPORATED LIMITS
- Fringe Land Use Designations**
- Land Use Classification**
- Planned Industrial
- Highway-Oriented Commercial
- Industrial Reserve
- Natural Areas
- Urban Residential
- General Industrial
- Agriculture and Farm Service
- Regional Commercial
- Planned Industrial
- General Industrial



**Proposed AUF Amendment Area**

## Staff Report

### REQUEST TO INITIATE AN AMES URBAN FRINGE PLAN AMENDMENT FOR PROPERTY LOCATED AT 23959 580<sup>th</sup> AVENUE

July 28, 2020

#### BACKGROUND

On June 23<sup>rd</sup>, the City Council voted to bring back for discussion a request to amend to the Ames Urban Fringe Plan (AUFPP) Long Term Industrial Reserve designation for approximately 23 acres of land used as the former Caremoli USA plant. The request was made by the property owner, Larson Leasing, LC. See Attachment A for their request.

In February of 2020, City Council reviewed a similar request for the same site related to Papa's Towing Company, but chose not to proceed with a request due to its timing in relation to Plan 2040 and an AUFPP amendment to a different use type. The current owner, Larson Leasing, LC, recently purchased the property this spring. The property owner is now requesting an amendment to the AUFPP in support of a different mix of uses for the existing buildings that would include office, commercial and warehouse space. The owner is open to a solution that would move this proposal forward with the City or the County.

Currently, the Ames Urban Fringe Plan has a current designation of Long Term Industrial Reserve combined with Agricultural for this area along Highway 30 (Attachment B and C). The Reserve designation is a sub-category of the Urban Service Area. The Fringe Plan is clear in its expectation that the Long Term Industrial Reserve land is intended for future annexation and development within the City when there is need for additional land. The Reserve designation was maintained in the AUFPP and even expanded in this area at the time of the City's East Industrial annexation.

The Iowa DOT plans to construct a new interchange in the vicinity of this site creating a primary entrance from Highway 30 to the City's planned Prairie View Industrial Park located to the north along 580<sup>th</sup>/Teller Avenue and Lincoln Way, with plans to complete the project in 2023. This location is viewed as a critical entry into the City's planned industrial expansion area.

The site currently has County A-2 zoning, which allows for agricultural business uses along with other agricultural activities. It does not allow for general commercial or industrial uses. The Caremoli building was consistent with the current A-2 zoning due to its agricultural basis as a business. **Story County Planning has determined that a zoning district change would need to occur for the owner's desired use of the existing building with a mix of industrial and commercial activities, the preferred County zoning district would likely be Commercial/Light Industrial.** However, per the Ames Urban Fringe Plan a rezoning of the site is not permissible under the current Industrial Reserve Designation.

**City staff has determined that the owner's desired uses would require a change in the AUFPP designation from Industrial Reserve to Planned Industrial (PI) or to the Rural Transitional Category and Highway Commercial/Industrial designation. Of**

these two options, the PI designation is consistent with the current policies of the AUPF, whereas the Highway Commercial designation would be a change of policy to add a new commercial designation. Attachment C includes relevant AUPF excerpts.

The Planned Industrial designation itself does not mandate annexation, but is a precursor to annexation. If the amendment to the AUPF were to be approved the property owner could then move forward with a rezoning within the County and the City's involvement would be complete until some unknown future date when the property may be annexed. However, Staff feels annexation should be considered along with the AUPF amendment due to the proximity of the existing City boundary and plans of future growth with Plan 2040, East Industrial Prairie View Industrial Park, and the future Highway 30 Interchange. The property can be join with property to the north that is already subject to a voluntary annexation covenant and be annexed to City at this time rather than in the future. City utilities are not readily available to serve the area, but the site does not require utility services at this time to reuse the existing buildings.

The location of this site has the potential to be a first impression of the City as a new City entrance and set the tone for surrounding undeveloped properties that are still in the county. Although the site is developed, it would be beneficial to the City to apply urban development and zoning standards to future use or expansion or uses on the site compared to county regulation. The possibility of annexing the site into the City would allow for more control of how the property could be used which may be of interest given the proximity to a new entrance to the City with the future Highway 30 Interchange.

Staff notes that with the further review of the request that if the property is annexed to the City that our current industrial zoning polices do not fit all of the proposed uses since Planned Industrial zoning is not designed to address industrial service and warehousing uses. However, new industrial zoning is planned for the general area in conjunction with the Prairie View Industrial Park that may also apply to this site. The new industrial zoning is planned for review this winter once the utility plans were settled for Lincoln Way.

#### **OPTIONS:**

The request is to allow for initiation of a Fringe Plan Amendment that would also require concurrence by Story County to proceed. City Council will need to determine what change is preferable for an application, if any, and the application process of a major or minor amendment.

If the application were to proceed it could be viewed as a major or minor amendment process due to the range of choices. Staff believes a minor amendment is advisable for a single site if it is consistent with the AUPF Planned Industrial designation. If the initiated amendment includes a broader area or other policy issues it should be classified as a major amendment. However, staff does not believe a major amendment is appropriate at this time with a pending review of the AUPF for 2021 and would not recommend to proceed with it.

**Option 1:** The City Council can choose to allow the application to move forward with an application to amend the AUPF from Industrial Reserve to Planned

**Industrial (PI) and sign an agreement to annex at a future time when requested by the City.**

This option would allow the property to remain in the county and develop under Story County regulations, with a requirement to provide a consent to annex in the future . Changing to PI is consistent with the current AUFPP. A change to the AUFPP would allow the property owner to proceed with their plans by way of a County rezoning process if the AUFPP is amended. Rezoning the site in the county would likely have the site develop in a manner that is similar to Ames, but with different site improvements, landscaping, and use allowances than the City's zoning districts. As a developed site these issues are less significant than they are with vacant land, but the site is situated at the future Prairie View Industrial Park interchange entrance at Highway 30 and its long term use and appearance is a significant interest for this request.

Delaying annexation to a future date is acceptable in terms of providing for utilities. As a developed site on rural systems it can continue operate and does not require City utilities. The timing of water and sewer extensions south to this site are unknown. The City would likely continue to be served by rural water regardless of annexation.

**Option 2: The City Council can choose to allow the applicant to move forward with an application to amend the AUFPP from Industrial Reserve to Planned Industrial (PI) and a concurrent voluntary annexation application.**

The site can be annexed with an annexation application that includes other adjacent properties. The PI designation is required per the AUFPP and the 28E agreement before annexation could be approved. This area will become a critical entry point into the City once the new interchange is completed (2023). It may be in the best interests of the City to allow for the AUFPP amendment and proceed with annexation to apply City zoning and development controls to the site at this time. No utilities would be extended to serve the site and it would remain on rural water services if it is annexed. If the site is annexed, it would likely require applying a new industrial zoning district to the site in conjunction with rezoning for the Prairie View Industrial Park as envisioned. Alternatively, an interim zoning district could be applied to the site as General Industrial to facilitate the project while continuing with the overall plans for the East Industrial Area.

**Option 3: City Council could initiate an amendment to designate the area as Rural/Urban Transition to allow for High Oriented Commercial land use designation. This option would allow for the County to rezone the site to Highway Commercial/Light Industrial.**

This option removes annexation possibilities and designates it for County control as a transitional area. This designation fits the applicant's proposed uses the best with the County's Highway Commercial/Light Industrial zoning.

**Option 4: City Council could decline to initiate an amendment at this time and wait until the full review of the Ames Urban Fringe Plan with Story County starting in 2021.**

Ames and Story County have agreed to extend the Ames Urban Fringe Plan and related 28-E agreement until July of 2022. The extension was agreed upon to allow for coordination and review of planning issues related to Ames Plan 2040 and the County's interests with the 2-mile planning area of the City. This area would be one of the focal points of discussion due to the new interchange and its proximity to Prairie View Industrial Park. In the interim, the only uses permitted within the existing building would be activities allowed under Story County A-2 zoning.

**STAFF COMMENTS:**

Taking on an AUFPP amendment to PI at this time would only be valuable in the context of its annexation options, now or in the future. **Given the property's proximity to the City and the future interchange improvements, annexation consideration is warranted with a proposed AUFPP amendment. Option 1 or Option 2 appears to meet the general interest of the applicant and secure some form of annexation agreement with the City.** Staff supports either option as being consistent with the current AUFPP. Staff does not support options that require consideration of major amendments to the AUFPP due to the pending cooperative review with Story County beginning in 2021.

A minor amendment would take approximately three months for City and County review. If Option 2 is selected, annexation and rezoning would take an additional three to five months. If Council proceeds with Option 2, it would also likely prioritize creating a new industrial zoning district that would best serve future development of the East Industrial Prairie View Industrial Park and apply to this site as well. This zoning work is planned to occur in the winter of 2020-21.

## Attachment A- Applicant's Request

Hi Scott, we can add your request to the non-agenda packet this Friday for their meeting on May 26th. Do you want to use this email, or write one more specifically to the Council asking for them to initiate a specific change for the property to Highway Commercial.

Just let me know how you want this to move forward to them as a communication.

Kelly Diekmann  
Planning and Housing Director

515.239.5400- main | 515.239.5181 direct | 515.239.5404 -fax  
[kdiekmann@city.ames.ia.us](mailto:kdiekmann@city.ames.ia.us) | City Hall, 515 Clark Avenue | Ames, IA 50010  
[www.CityofAmes.org](http://www.CityofAmes.org) | ~ Caring People ~ Quality Programs ~ Exceptional Service ~

<image003.jpg>

**From:** Scott Larson <[ScottLarson@JMStransport.com](mailto:ScottLarson@JMStransport.com)>  
**Sent:** Monday, May 18, 2020 12:39 PM  
**To:** Kelly Diekmann <[KDiekmann@city.ames.ia.us](mailto:KDiekmann@city.ames.ia.us)>  
**Subject:** rezoning of 23959 580th Ave

Good morning Kelly,

This letter is a follow up with our last phone conversation. We have spoken to Jerry Moore with Story County and received some positive feedback regarding the counties rezoning perspective. The property up for discussion is the former Caremoli property located at 23959 580th Avenue. As we all know, the property is located in the Ames Urban Fringe and is currently zoned Industrial Reserve/Research Park and needs to be Planned Industrial for the type of business we are needing. Our plan is to offer much needed multiple office, shop and warehouse space. We would like to begin the process of this rezoning request as soon as possible as we have potential tenants needing rented space. If it is possible, we would like to have this item added to the next available agenda under Disposition of Communications to Council.

If the city of Ames isn't interested in working with this property I am asking you to make an amendment to the land use agreement and we will continue our rezoning directly with the county. Please let me know if you have any questions or if you need additional information. Thank you and I appreciate your assistance.

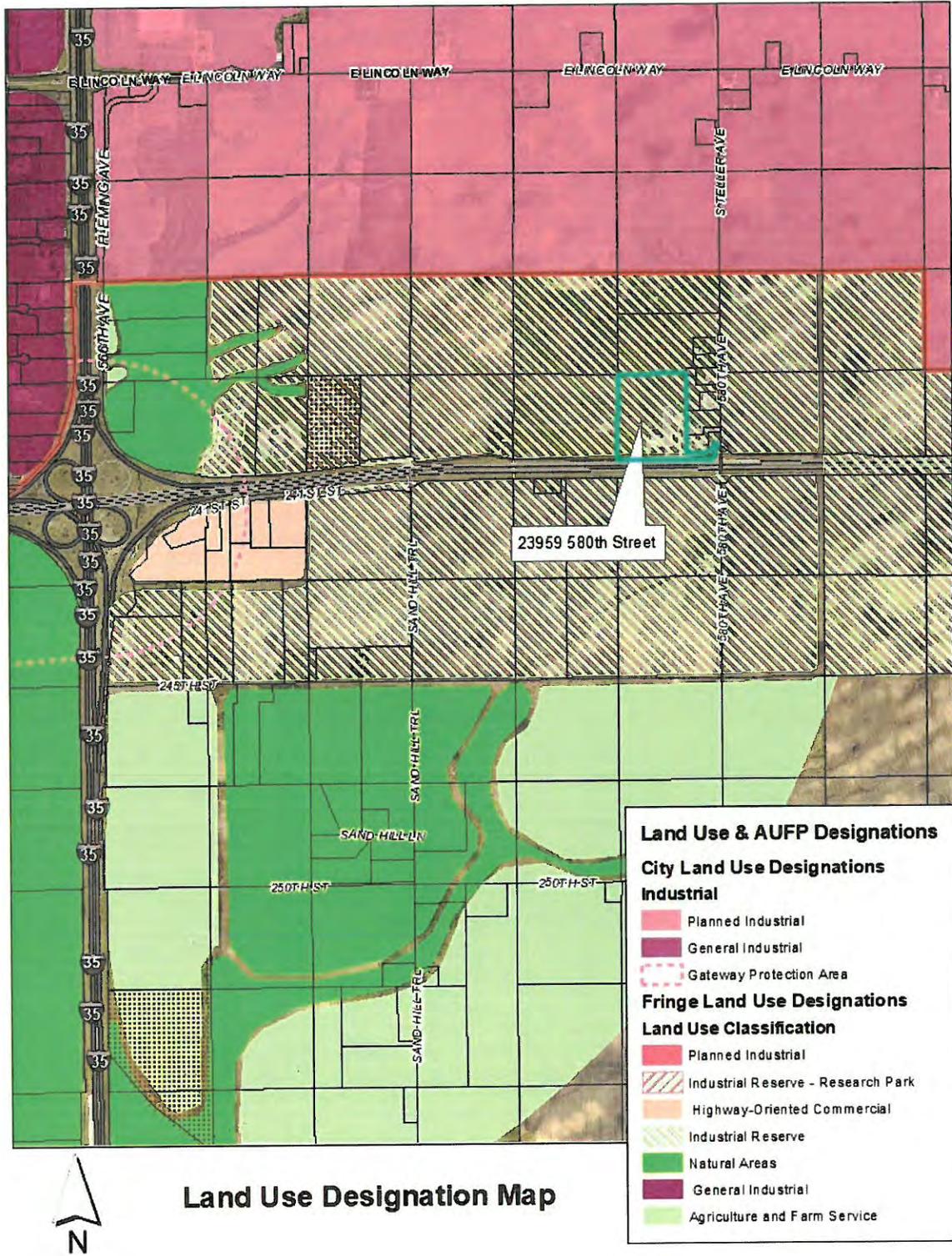


**Attachment B- Location**



**Location Map  
23959 580th Street**

# Attachment C- Ames Land Use and AUFM Map



## Attachment D- AUPF Excerpts

### Planned Industrial (PI)

Planned Industrial is a designation intended for clustered industrial uses. These uses are strategically located to minimize environmental impacts and conflict with residential land uses. Locations also provide for an orderly and efficient transition between land uses within municipal limits and the unincorporated areas of the county. Such areas involve the integration of uses, access, and appearance.

PI Policy 1: Land uses are clustered/industrial park uses that are larger in scale than most general industrial uses.

PI Policy 2: Locate Planned Industrial uses near limited access thoroughfares and/or major railroad systems to accommodate the transportation of industrial goods and services. Minimize environmental impacts and conflict with residential land uses.

PI Policy 3: Give preference to clustering of uses to limit the short-term and long-term costs associated with infrastructure improvements and the distribution of public services.

PI Policy 4: Permit Planned Industrial uses when suitable infrastructure and services are available. Require annexation into the city and comply with all municipal regulations, including zoning, land use policy, subdivision, and building code requirements.

PI Policy 5: Mitigate and manage stormwater run-off, soil erosion, and wastewater discharge according to IDNR, county and city standards.

PI Policy 5: Require buildings to front major thoroughfares to minimize the appearance of industrial operations and enhance the aesthetics of the road corridor. Require landscape and earthen buffering of parking areas and industrial activity, such as assembly yards, storage locations and loading facilities.

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Additional Policies for All Areas These policies statements are organized based on the Common Goals listed in the section "Vision and Goals for the Urban Fringe.

**Goal 1.3: To provide adequate opportunities for commercial and industrial development.**

Policy 1.3.1: Ensure an adequate supply of commercial land resources. Locate urban commercial services strategically within the communities or in commercial areas designated in the Framework Map and locate agricultural-based commercial services locate in unincorporated areas that provide the most economical and efficient access to the agricultural industry.

Policy 1.3.2: Ensure an adequate supply of industrial land resources. Locate agricultural-based industrial services in unincorporated areas that provide the most economical and efficient access to the agricultural industry. Locate large

industrial services/land uses strategically within the communities or in commercial areas designated in the Framework Map

Policy 1.3.4: Allow existing commercial and industrial uses to be maintained, expanded, or redeveloped. Limit new commercial and industrial development in areas in the Framework Map where the following conditions are met:

- Adequate roads;
- Adequate water and wastewater facilities are provided to serve the proposed industrial/commercial use, including the provision of water for fire suppression; and
- Proposed development will be compatible with surrounding land uses.

Policy 1.3.5: Encourage commercial development serving regional commercial needs to locate within city limits where existing zoning regulations and established adequate public facilities and services for such levels of development exist.

---

#### **Land Use Designations and Policies for Rural/Urban Transition Area**

This area is intended to be rural in character as it develops, but within an urban setting at some time in the future, beyond the time horizon of the Ames Urban Fringe Plan. Urban services and development standards are required for non-agricultural development in certain critical locations within this area. Annexation agreements and/or other tools also may be utilized to ensure that the future transition into the City of Ames or City of Gilbert is a smooth one.

**Pg 28**

## **Highway-Oriented Commercial (HOC)**

This designation applies to commercial land uses along arterial corridors that are primarily designed to accommodate the automobile. It is intended to provide for an orderly and efficient transition between existing or future urban areas and the rural, unincorporated areas.

HOC Policy 1: Highway-Oriented Commercial designation includes commercial uses that are more compatible with the characteristics of rural areas than with urban commercial corridors and centers.

HOC Policy 2: Strategically locate Highway-Oriented Commercial in targeted areas along high traffic transportation corridors. (Relates to RUTA Goal 3.2, 3.5)

HOC Policy 3: Give preference to clustering of uses in order to limit the short-term and long-term costs associated with infrastructure improvements and the distribution of public services. (Relates to RUTA Goal 3.2, 3.4)

HOC Policy 4: Require urban transportation infrastructure to meet the demands of high vehicular movement. (Relates to RUTA Goal 3.2, 3.3)

HOC Policy 5: Require full urban infrastructure standards under certain conditions such as location with respect to existing or planned urban infrastructure, intensity or size of development improvements, timing of development, development design, and commercial use, such as a restaurants, water intensive uses, or places designed for the gathering of people. Such urban infrastructure standards may include, but not be limited to, wastewater treatment and potable water distribution of sufficient size to support emergency services. If these improvements are not installed at the time of development, require infrastructure assessment agreements. (Relates to RUTA Goal 3.2, 3.3)

HOC Policy 6: Where the city does not require urban standards, require temporary common wastewater collection systems that meet IDNR and city specifications, and temporary common water distribution systems, such as wells or rural water services, that meet specifications of the City of Ames or City of Gilbert. Require agreements that if and when the property is annexed to a city, the land developer and/or landowner shall be responsible for the full cost of abandoning the rural systems and connecting to urban infrastructure. (Relates to RUTA Goal 3.2, 3.3)

HOC Policy 7: Make provisions to protect environmental resources, environmentally sensitive areas and adjacent Natural Areas. (Relates to RUTA Goal 3.4)

HOC Policy 8: Mitigate and manage stormwater run-off, soil erosion, and wastewater discharge according to IDNR, county and city standards. (Relates to RUTA Goal 3.4)

HOC Policy 9: Require annexation and development agreements to guide future transition of the subdivision/development into the City of Ames or City of Gilbert. (Relates to RUTA Goal 3.2)

STAFF REPORT ON THE AMES URBAN FRINGE PLAN AMENDMENT AT 23959-580TH AVENUE (CAREMOLI): Planning and Housing Director Kelly Diekmann stated a similar request had come before the Council earlier this year from Papa's Towing Company, but the Council chose not to proceed with a request due to its timing in relation to the Ames 2040 Plan and an Ames Urban Fringe Plan (AUF) Amendment to a different use type. Director Diekmann explained that the site has a County A-2 zoning, which allows for agricultural business uses along with other agricultural activities. The property owner doesn't believe he can tenant the buildings for an agricultural use and would like to explore other options. The property was then sold, and the current owner, Larson Leasing, LC, is requesting an amendment to the AUF in support of a different mix of uses for the existing buildings that would include office, commercial, and warehouse space. Story County Planning had determined that a zoning district change would need to occur for the owner's desired use of the existing building with a mix of industrial and commercial activities; the preferred County zoning district would likely be a Commercial/Light Industrial. Mr. Diekmann explained that per the Ames Urban Fringe Plan, a rezoning of the site is not permissible under the current Industrial Reserve Designation.

Director Diekmann commented that there were two options to move forward. The first option would be to allow the applicant's needs to be met by allowing for a change in the AUF that would also allow Story County to rezone the site to Commercial/Light Industrial, and the property would stay within the County for its review and development. The other option is to change the designation to allow for the property to be annexed. Even though the property doesn't touch the City of Ames at this point, there are two intervening properties that the City already has consent to annex. The City could combine those two properties along with this property for a voluntary annexation. The primary difference would be the review territory would be within the City and a zoning district would need to be applied to the property. Director Diekmann mentioned that the new zoning district would be something that staff would be working on this winter as the utility project moves forward. It was pointed out that if the property is allowed to proceed through Story County's process, the City would require that the property would be annexed sometime in the future. He noted that the Iowa DOT planned to construct a new interchange in the vicinity of this site that will create a primary entrance from Highway 30 to the City's planned Prairie View Industrial Park location. This location is viewed as a critical entry into the City's planned industrial expansion area. Mr. Diekmann mentioned that, if the property was annexed into the City, water and sewer service would not be available for a long time, but the site is already developed and could continue to operate under its current utility system.

Director Diekmann displayed a location map and explained that no new buildings are being proposed on the site.

Council Member Gartin asked for Mr. Diekmann to point out which properties have consented to be annexed into the City. Mayor Haila asked if there were any requirements from the State in order to annex land to avoid jagged borders. Director Diekmann stated that when it is a voluntary annexation the State doesn't question it, but the State will question the boundaries when doing an 80/20 annexation.

Council Member Gartin asked if there were any properties that should be brought in as an 80/20 annexation. Director Diekmann explained that they didn't really look at the annexation choices once staff saw that annexation was possible. It was pointed out that there were about three to four properties on 580th that were rural development and would probably not be interested in coming into the City since there currently is not any access to utilities. Mr. Diekmann commented that he can look into the 80/20

annexation during the annexation process. Mr. Gartin noted that the City could reach out later to the properties to see if they would want to be annexed.

Council Member Betcher questioned if the Council went with Option 2, and developed the new industrial zone, what would the staff hours be and if the Work Plan needed to be re-prioritized. Director Diekmann explained that it would not affect the current Work Plan.

Mayor Haila inquired if the new interchange would have Highway 30 elevated and then have 580th go underneath an overpass. Mr. Diekmann mentioned that he is not that familiar with the Iowa DOT's plan.

Mayor Haila wanted to know if Mr. Diekmann was familiar with Story County's Commercial/Light Industrial Zoning and if Mr. Diekmann had any concerns about something being put in that was incompatible with the City's vision. Director Diekmann stated that will be something for staff to look into further during the application process. Mr. Diekmann noted he would be concerned about Story County's Conditional Use Permits, which allow racetracks and commercial campgrounds, but overall Story County's Commercial/Light Industrial Zoning is in-line with the City's zoning standards.

Mayor Haila asked when the Council gives staff direction, would it allow the application to move forward only. Director Diekmann stated that would be correct, and if the Council approved the application, the applicant would need to go to Story County to have the Board of Supervisors approve the application, and then the applicant would file a Fringe Plan Amendment with the City of Ames to kick off the review process and the public notice process.

Mayor Haila opened public input and closed it when no one came forward to speak.

Council Member Gartin mentioned that, in the long term, this property would be one that the Council would want under City control. He noted that Option 2 would be the best option, and he would be interested to hear what annexation options there would be. Mr. Gartin explained that this area is important, and the annexation needs to be done correctly.

Moved by Gartin, seconded by Beatty-Hansen, to approve Option 2, to allow the applicant to move forward with an application to amend the AUFPP from Industrial Reserve to Planned Industrial (PI) and allow a concurrent voluntary annexation application.

Council Member Betcher asked if the property owner, Mr. Larson, had a preference to any of the options listed in the Staff Report. Mr. Diekmann stated that Option 1 would be the easiest, but Mr. Larson said he would be fine with Option 1 or Option 2. Director Diekmann noted that with the annexation, whether in Option 1 or 2, the timing can be controlled by the City either by a certain timeframe, by the City's request, or by a trigger in the covenant that states prior to any new buildings being added.

Council Member Martin stated he is not sure why the City would want to move quickly with the annexation rather than hold that option in reserve until the time is right. He was hesitant about Option 2 versus Option 1, and asked if there was a good reason to move forward immediately. Council Member Betcher explained that she is considering Option 2 due to the fact that it has the option of expanding the annexation area. Council Member Martin mentioned that he is understanding that Option 1 would add this property to the list of future annexation agreements that could be done when the time was right, where Option 2 would do everything all at once. Director Diekmann stated that was how staff was trying

to make the two distinct. Mayor Haila noted that if the property is required to be annexed, the properties will need to be brought up to the City's Building Code requirements. It was noted that if any of the buildings were to be a business, they would have to bring the building up to Fire Code and add sprinklers; which will be hard to do with rural water. Mayor Haila just wanted to make the Council aware of what could factor into the project down the road for the property owner. Mr. Diekmann stated he knows the property owner has not thought of all that yet as there is still a lot to be learned. Council Member Betcher stated that it sounds like it would be more beneficial for the applicant to go with Option 1. It was noted that Option 1 would definitely be easier for the applicant. Director Diekmann noted that if there was a consensus for moving to the Planned Industrial (PI), staff can work on the annexation component concurrently with the PI designation. The Council is not approving the PI change tonight; staff would have to draft an annexation agreement and that is something that could be worked on.

Council Member Gartin stated that one of the big things for him is he doesn't want this property to be developed under the County regulations; the property should be developed to the City's standards. He noted this is a critical property even though there is not a lot there, but the addition of the corridor will make the area very beneficial to the community.

Mayor Haila inquired about the buildings that were already on the property and if they were going to be doing anything to the outside of the building or just getting renters into the building. Mr. Diekmann commented that some of the outside facade may change to add doors, but the vacant land in the back would not get touched.

Council Member Martin appreciated Mr. Gartin's point about wanting to share the rights of the development standard going forward, but he liked the idea of achieving this through covenants. He wondered if there is consensus to move to Planned Industrial and approve Option 2. He asked if Mr. Diekmann would be able to come back to the Council and explain that maybe the best thing to do is not to do the annexation immediately due to some other factor. Mr. Martin explained he didn't want to make a decision that will lock the Council into something that can't be changed. Director Diekmann mentioned that there is still a lot to be learned about the annexation regarding timing for the City and for the applicant. Mr. Diekmann stated if the Council chose Option 2, the annexation would be done as soon as possible, but they would work through it while doing the Ames Urban Fringe Plan. He noted all the Council would be doing is telling the applicant how to apply.

Vote on Motion: 6-0. Motion declared carried unanimously



**Secondary Road Department**  
Darren R. Moon, P.E. County Engineer

**Road Department**  
**Quarterly Board Report**  
**1-12-2021**

**Maintenance Work Update:**

All of the larger tree debris sites from the derecho have been cleaned up and the debris in the north half of the county was hauled to the Milford debris site. This material will be chipped under the state chipping contract which is scheduled to start next week. We are working with FEMA on the reimbursement for our damages related to debris cleanup and road sign damage.

We had one larger snow event in December that required plow trucks and motor graders to work on a weekend and some smaller events since but other than that we have not had to work a large amount of overtime and our salt use has been below average. Our crews have been working on brush cutting in between snow events.

**Construction Project Updates:**

Nine projects completed in 2020:

	<u>Cost</u>	<u>Status</u>
Hickory Grove Lake Asphalt Overlay	\$ 845,000	Done
Lincoln 20 Box Culvert	\$ 146,000	Done
Lincoln 1 Bridge	\$ 360,000 - FM	Done
Union 17 Bridge	\$ 578,425 - SWAP	Done
Indian Creek 21 Pipe Culvert	\$ 59,000	Done
535 <sup>th</sup> Ave. Paving (for H.O.I. bike trail)	\$ 146,100	Done
560 <sup>th</sup> Ave. Paving (Huxley)	\$ 1,000,000 – Bonding	Done
Timberland Drive (Story City)	\$ 200,000 – Bonding	Spring Compl.
Collins 26 Bridge	\$ 76,100 - Bonding	Done

**Construction Project Updates:**

Eleven projects planned in 2021:

	<u>Cost</u>	<u>Status</u>
E18 Asphalt Overlay	\$ 1,200,000 - Bonding	Feb Let
550 <sup>th</sup> Ave. Asphalt Overlay	\$ 150,000	Feb Let
Story City (E15,R61) Asphalt Overlays	\$ 400,000 - FM	Jan Let DOT
E23 Gilbert Asphalt Overlay	\$ 175,000 - FM	Jan Let DOT
E18 Bridge, Warren 19	\$ 480,183 - Grant	Let
Howard 3 Bridge	\$ 100,000	Feb Let
Collins 32 Bridge	\$ 140,000	Feb Let
Warren 6 Bridge	\$ 110,000	Feb Let
New Albany Culvert	\$ 75,000 – Bonding	Feb Let
Collins 1 Bridge	\$ 400,000 – FM	Feb Let DOT
Collins 7 Bridge	\$ 350,000 - FM	Apr Let DOT

**Construction Project Design:**

- 220<sup>th</sup> St. (13<sup>th</sup> St.) paving: Right-of-way negotiations were put on hold last winter. We are currently working with Nevada and Verbio on a possible RISE grant to help fund the paving of the first mile of 13<sup>th</sup> St. east of 580<sup>th</sup>. I will report the status of the grant application back to the board in early 2021.

- 560<sup>th</sup> Ave. paving: City of Huxley opened this paving project in November and Story County has paid them our share of \$1,000,000 for the project. Total cost \$2,368,511.
- Timberland Drive paving near Story City started construction in November. Story City did not notify us of the project start date until the road was already under construction so we had some landowner access issues that had to be resolved. The construction was also delayed due to some utility relocation issues so the project did not get completed but the base lift of asphalt is in place so landowner access is no longer an issue. The contractor will come back in the spring to place the final lift of asphalt. We updated our project agreement with Story City which turns over the jurisdiction of the paved portion of the road to Story City at this time.

**Ken Maril Road Historic Bridge Over The Skunk River:**

I have contacted the DOT asking about our options for the bridge and they plan to send us some guidance soon for historic bridges. They did mention that closing the road to the public is a possible option. I did get a recent update from the DOT and they have started discussions with the State Historical Office and there is an ISU planning class that will be providing some recommendations for the bridge toward the end of the spring semester.

**Road Use Tax Issues:**

Due to the Covid-19 pandemic, fewer people are driving which is resulting in fewer gallons of gasoline being purchased. The latest estimate from the DOT now shows a possible 4% reduction in Road Use Tax for FY21 which is less than the original 10% estimate.

**DOT Construction Issues:**

- The DOT completed the pavement reconstruction on Hwy 30 through Nevada in December. This takes some additional traffic off of the gravel roads south of Nevada (19<sup>th</sup> St., and 250<sup>th</sup> Ave.).
- The DOT is currently taking public comments on a proposed project in 2022 to add a northbound left turn lane on Hwy 69 at the intersection of E57. This intersection has a high accident rate so this should be a good improvement.

**Engine Brake Ordinance Request:**

We have received a request from a group of homeowners on Riverside Road to ban the use of engine brakes (jake brakes) due to the noise that they produce. This stretch of Riverside Road gets a high volume of truck traffic from the Martin Marietta mine. The engine brakes are used by the trucks to slow down as they travel down the hill near the Skunk River Bridge. I plan to put this item on a future board agenda for discussion where we can get input from the public and the Sheriff's Office as they would be responsible for the enforcement of an ordinance. Enforcement of this type of ordinance can be problematic.

**Road Vacations:**

I have three road vacations that will require public hearings. Two of these are in Iowa Center and the other is on 180<sup>th</sup> St. near McFarland Park where Conservation would like to add a gate east of the main park entrance. I hope to schedule these hearings in the next couple of months.

**Five Year Construction Program Work Session:**

Plan to hold a work session with the board in late February on the Five Year Program.

**New Employee:**

Jason Schilling was hired in December to fill our open Equipment Operator 1 position. We also have one winter temporary plow truck driver working this winter.