



PLANNING AND ZONING COMMISSION TENTATIVE AGENDA

Wednesday, March 4, 2020
4:00 PM

Public Meeting Room - Story County Administration (900 6th Street) – Nevada, Iowa*

THIS MEETING IS OPEN TO THE PUBLIC PURSUANT TO CHAPTER 21 IOWA CODE.

1. CALL TO ORDER; REGULARLY SCHEDULED COMMISSION MEETING
2. ROLL CALL/QUORUM DETERMINED
3. APPROVAL OF AGENDA
4. APPROVAL OF MINUTES

Documents:

[010820 MINUTES.PDF](#)

5. PUBLIC COMMENT

This is the time for members of the public to offer comments concerning matters not scheduled to be heard before the Planning and Zoning Commission.

6. NEW BUSINESS

- 6.I. Discussion Of Ames Urban Fringe Plan Extension And Interest To Work With Jurisdictions To Amend - Jerry Moore

Documents:

[STAFF MEMO.PDF](#)
[RECORDED RESOLUTION.PDF](#)
[AUFPP LETTER.PDF](#)

- 6.II. Discussion Of Iowa Center And Shipley Property Owners Needs Assessment Survey - Jerry Moore

Documents:

[STAFF MEMO.PDF](#)
[IOWA CENTER DATA.PDF](#)
[SHIPLEY DATA.PDF](#)

7. PUBLIC HEARINGS

- 7.I. Discussion And Consideration Of CUP01-20 Windstream Broadband Communications Tower

Documents:

[STAFF REPORT.PDF](#)
[APPLICATION DOCUMENTS.PDF](#)

8. COMMENTS

Staff

Commission

9. ADJOURNMENT

*Story County strives to ensure that its programs and activities do not discriminate on the basis of race, color, national origin, sex, age or disability. Persons requiring assistance, auxiliary aids or services, or accommodation because of a disability may contact the county's ADA coordinator at (515)382-7204.

**For further information on these cases, contact the Story County Planning and Development Department at PZWeb@storycounty.com or by phone at (515) 382-7245. Case Files, including exact property locations, may be inspected in the Story County Planning and Development Department located in the Story County Administration Building, 900 6th Street, Nevada, Iowa.

STORY COUNTY PLANNING AND DEVELOPMENT
STORY COUNTY ADMINISTRATION
900 6TH STREET
NEVADA, IOWA 50201-2087
515-382-7245



"Commitment, Vision, Balance"

**MINUTES
STORY COUNTY
PLANNING AND ZONING COMMISSION**

AN AUDIO RECORDING OF THE FULL MEETING MAY BE FOUND IN THE PLANNING AND DEVELOPMENT DEPARTMENT, OR BY VISITING WWW.STORYCOUNTYIOWA.GOV

DATE: January 8, 2020	Marvin Smith, Chair	2023
	Jonathan Sherwood, Vice Chair	2020
CALL TO ORDER: 4:00 PM	Kathy Mens (4:03)	2022
PLACE: Public Meeting Room	PJ McBride	2021
Administration Building	*Doug Moore	2020
	Cheryl Moss	2020
	Gina McAndrews	2024
	*Absent	

STAFF PRESENT: Jerry Moore, Director; Marcus Amman Planner; Stephanie Jones, Recording Secretary

PUBLIC PRESENT: Sam Weeks, Sue McCaskey, Matt Gatchel, Joby Brogden

APPROVAL OF AGENDA (MCU)

APPROVAL OF MINUTES Motion by Moss, Second by McBride (MCU)

December 4, 2019

PUBLIC COMMENTS: None

PUBLIC HEARING ITEMS

CUP11-19 Story County Animal Control

Marcus Amman presented the staff report and stated Story County Animal Control is proposing to erect a 25'x30' (750 square foot) short term livestock control building to provide a replacement for the current structure that is in disrepair and cannot contain livestock effectively. Amman stated the proposed building will be used three to six times a year and will allow Animal Control employees the ability to contain livestock that are either strays or owner released.

McBride stated that she did not realize there was a need to house livestock at the shelter. Sue McCaskey stated that they receive a wide variety of animals at the shelter. Moss asked how many animals the new building could contain, specifically if it would be able to handle a large hoarding situation.

McCaskey stated that this building would be able to handle around three animals, would be primarily used for livestock and if there was a need for a large number of animals they would make other arrangements for a bigger place to take them. Smith asked if the old building would be removed and McCaskey stated that it would be removed.

MOTION: The Story County Planning and Zoning Commission recommends approval of the Conditional Use Permit for the Story County Animal Control Livestock Control Structure as put forth in case CUP11-19, as submitted.

Motion: Sherwood

Second: Mens

Voting Aye: Sherwood, Mens, McBride, Moss Smith, McAndrews

Voting Nay: None

Not Voting: None

Absent: D. Moore

Vote: (6-0)

CUP12-19 Ballard Golf and Country Club and Proposed Maintenance Shop

Amman stated that Ballard Golf and Country Club is applying for a Conditional Use Permit to bring the existing use and related associated structures into conformance with the existing ordinance and to expand their existing use. Ballard Golf and Country Club is proposing to erect a 40'x40' maintenance shop for the golf course and country club. The proposed accessory structure would serve as the new heated shop, a 12'x12' office area to house the irrigation computer, potentially a bathroom, and equipment storage. Amman stated that the two southern existing buildings do not meet the current setback requirements and the applicant has already applied for the variance request to be acted on at the next Board of Adjustment meeting.

Smith asked the reason that the illuminated sign is being discontinued. Amman stated that a variance was applied for the sign to have lighting in 2006. However, illuminated signs are not allowed in the A-1 District so the condition to discontinue the lighting brings them into compliance with current regulations.

MOTION: The Story County Planning and Zoning Commission recommends approval of the Conditional Use Permit for the Ballard Golf and Country Club associated structures and Proposed Maintenance Shop as put forth in case CUP12-19, with the following conditions:

- 1. The applicant shall obtain zoning permits for all existing structures, excluding the clubhouse, within 30 days of Board of Adjustment action.**
- 2. Support of the Conditional Use Permit includes the Board of Adjustment taking action on the submitted variance 06-19 for the existing structures located in the southwest area of the property.**
- 3. Direct illumination of the business sign must be discontinued.**

Motion: Mens

Second: McBride

Voting Aye: Mens, McBride, Sherwood, Moss, McAndrews, Smith

Voting Nay: None

Not Voting: None

Absent: D. Moore

Vote: (6-0)

ADDITIONAL ITEMS

Planning and Development 2020 Work Program

Jerry Moore stated that the Planning and Zoning Commission and Board of Supervisors met in December to go through the work program items and that he requests action of the work program by the Planning and Zoning Commission. J. Moore provided an update on the 2020 Work Program and summarized the Tier I and Tier II items. Discussion took place on the following items: exploration of building codes, consideration of a policy waiving application fees to Cities, State, School Districts and State agencies, Citizenserve implementation, alternate uses of accessory buildings, and needs assessment for Shipley and Iowa Center.

MOTION: Approval of 2020 Work Program.

Motion: Sherwood

Second: Moss

Voting Aye: Sherwood, Moss, McBride, Smith, Mens, McAndrews

Voting Nay: None

Absent: D. Moore

COMMENTS

STAFF: J. Moore stated that Martin Marietta is planning to come back to the February meeting, and nothing further has been submitted for the Gryte Subdivision, which was deferred at the October meeting.

COMMISSION: Gina McAndrews provided her background information. Each of the Commissioners introduced themselves and provided background information. Mens asked if there is going to be apartments built in Ames where the old truck stop is on the south side of Highway 30 and Dayton Avenue. Amman stated that there is a sign in that location, but that it is advertisement for apartments that are being built in a different location.

ADJOURNMENT: 4:57 PM

Approval of Minutes

Title and Date



Story County Planning and Development
Administration Building
900 6th Street, Nevada, Iowa 50201

Ph. 515-382-7245 Fax 515-382-7294
www.storycountyiowa.gov

MEMORANDUM

TO: Story County Planning and Zoning Commission
FROM: Jerry L. Moore, Planning and Development Director
RE: Update on Board of Supervisors action, Resolution No. 20-64 support for Ames Urban Fringe Plan, Extension, and Interest to Work with Jurisdictions to Amend AUPF
MEETING DATE: March 4, 2020

Background:

At their February 18, 2020 meeting, in accordance with a Story County Planning and Development Department Work Program item, the Board of Supervisors adopted resolution No. 20-64 addressing their support for the Ames Urban Fringe Plan (AUPF), extending the deadline in the 28E agreement, working with Ames and Gilbert to amend the AUPF, and a review and discussion schedule involving the Planning and Zoning Commission and the Board of Supervisors.

The AUPF is a land use and development plan between Ames, Gilbert and Story County adopted in July 2006 and it was accompanied by a 28E Agreement on July 11, 2011. From review of County records, it appears much of the initial drafting of the AUPF was between Ames and Story County Planning Staff with the assistance of input from the general public and persons representing the agricultural, environmental, neighborhoods, governmental/institutional, development and economic communities, including input, direction and action from the Planning and Zoning Commissions, City Councils and the Board of Supervisors.

The reason for the Board of Supervisors to consider the process to amend the AUPF now and to support the above resolution is, the AUPF expires July 11, 2021, the City of Ames is currently working on a new 2040 Comprehensive Plan that may include growth plans within the AUPF area with tentative adoption in late spring 2020, and extending the current AUPF will allow time for each jurisdiction to work together to amend the AUPF.

Review and Discussion Schedule

Based on discussions Planning and Development staff had with other jurisdiction staff, there is interest in working with the County to extend and discuss future amendments to the AUPF. The details of how each jurisdiction can work together on amending the Plan have not been discussed with other jurisdiction staff. While the details of the review and input process will need to be discussed with the other jurisdictions, Planning and Development staff supports a process that involves a combination of input from the Story County Planning and Zoning Commission, Board of Supervisors, general public, collaboration with jurisdiction staff, their Planning and Zoning Commissions and City Councils of the jurisdictions. Also, it will likely be most productive



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Story County Planning and Development Department
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and effective to organize the public input portion of the process when the County starts working with the other jurisdictions to amend the AUPF.

To begin the process and further explore the County's consideration of the current AUPF, the Board of Supervisors supported the following review and discussion schedule.

April 1, 2020 – Story County Planning and Zoning Commission meeting. First meeting to learn about current AUPF components, go over March 26, 2019 letter from Board of Supervisors to City of Ames identifying key areas of primary importance, discuss other possible key areas, and strengths and weaknesses of the current AUPF.

April 14, 2020 – Board of Supervisors meeting. Learn about current AUPF components, go over March 26, 2019 letter from Board of Supervisors to City of Ames identifying key areas of primary importance, discuss other possible key areas, and strengths and weaknesses of the AUPF. Also, consider Planning and Zoning Commission's responses to key areas, and strengths and weaknesses of the AUPF.

May 6, 2020 – Joint meeting between Planning and Zoning Commission and Board of Supervisors to discuss details of the key areas of primary importance, and strengths and weaknesses of current AUPF, and consider ideas for the public input process. Also, request Planning and Development staff to prepare a draft letter for jurisdictions identifying details of the key areas of primary importance to Story County needing improvement or change in the amended AUPF, and share ideas on a public input process.

Recommendation:

This is an update and discussion item from the 2020 Work Program. Planning and Development Department staff will update the Planning and Zoning Commission about resolution No. 20-64, the March 26, 2019 letter from the Board of Supervisors addressing key areas of primary importance, and obtain input on the review and discussion schedule.



PLEASE RECYCLE



**STORY COUNTY
BOARD OF SUPERVISORS
LAURIS OLSON
LINDA MURKEN
RICK G. SANDERS**

Story County Administration
900 Sixth Street
Nevada Iowa 50201
515-382-7200
515-382-7206 (fax)

March 26, 2019

Mayor John Haila and Members of Ames City Council
RDG Planning and Design
Kelly Diekmann, Planning and Housing Director
515 Clark Ave
Ames, IA 50010

RE: Ames Urban Fringe Plan (AUFPP)

Dear Mayor Haila, Council Members, RDG Representatives, and Director Diekmann,

The Story County Board of Supervisors would like to thank Kelly and RDG representatives for the invitation extended to county staff to meet Tuesday, February 26, 2019, and provide input and feedback on the Ames Urban Fringe Plan (AUFPP) as it's reviewed in conjunction with the city's comprehensive plan update. The Board of Supervisors believes the AUFPP plays a significant role in land use and development and is an important partnership addressing planned growth.

The Board of Supervisors was presented with a memo outlining the areas that county staff discussed with RDG representatives, including previous items communicated by county staff to the Board of Supervisors prior to the meeting, and we would like to highlight the key areas of primary importance to Story County:

- Transportation and Metropolitan Planning Organization (MPO) planning
- Housing, including the work of the Story County Housing Trust, and urban growth areas in the Cornerstone to Capstone (C2C) Plan
- Reviewing whether Urban Residential Areas match-up with growth projections
- Reviewing Growth Priority Areas
- Adding policies to address rural water and provisions of full city services to Urban Services Areas

- Reviewing land use designations along HWY 30 corridor with regard to IDOT improvements

We appreciate this opportunity to provide feedback on a tool that has guided public and private development and land use decisions, and is an effective mechanism for planning future growth areas as well as protecting natural/sensitive areas. We look forward to working with Ames and Gilbert on reviewing the policies and land use map designations of the AUPP prior to its expiration in 2021, with a focus on the above identified key areas.

Please contact me or any members of the Story County Board of Supervisors if you have questions.

Sincerely,

A handwritten signature in cursive script, appearing to read "Lauris Olson".

Lauris Olson
Chairperson, Story County Board of Supervisors

Cc: Story County Board of Supervisors
Mayor John Popp and Members of Gilbert City Council
Story County Planning and Development Department
Story County Planning and Zoning Commission



Story County Planning and Development
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MEMORANDUM

TO: Story County Planning and Zoning Commission
FROM: Jerry L. Moore, Planning and Development Director
RE: Review and discussion of survey results - 2020 Work Program Item for the Planning and Development Department – Assessing needs of Iowa Center and Shipley property owners.

MEETING DATE: March 4, 2020

Background:

As part of the 2020 Work Program, Planning and Development staff sent surveys to the property owners in the Iowa Center and Shipley areas to assess their needs. This task is similar to our response to assessing the needs of the property owners in Fernald.

Seventeen surveys were returned from Iowa Center out of the 90 sent out (18.8% response rate) and two surveys were returned from Shipley out of the 55 sent out (3.6% response rate). In general, the top concerns and positive things about these respective areas were provided as follows:

Iowa Center

Concerns- Access to internet and utilities, appearance of properties, traffic speed, treating gravel roads, and wider shoulders on roads.

Positive – Good neighbors, rural setting, and closeness to cities/amenities.

Shipley

Concerns - Internet, roads paved, housing quality, and appearance of properties.

Positive – Proximity to shopping and rural location.

Recommendation:

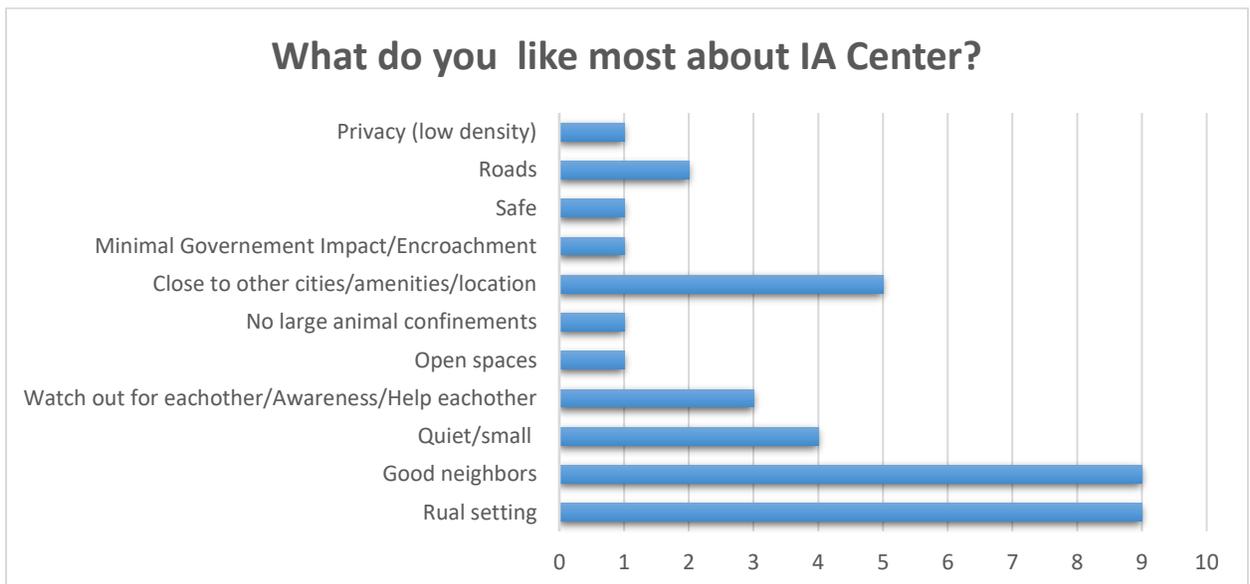
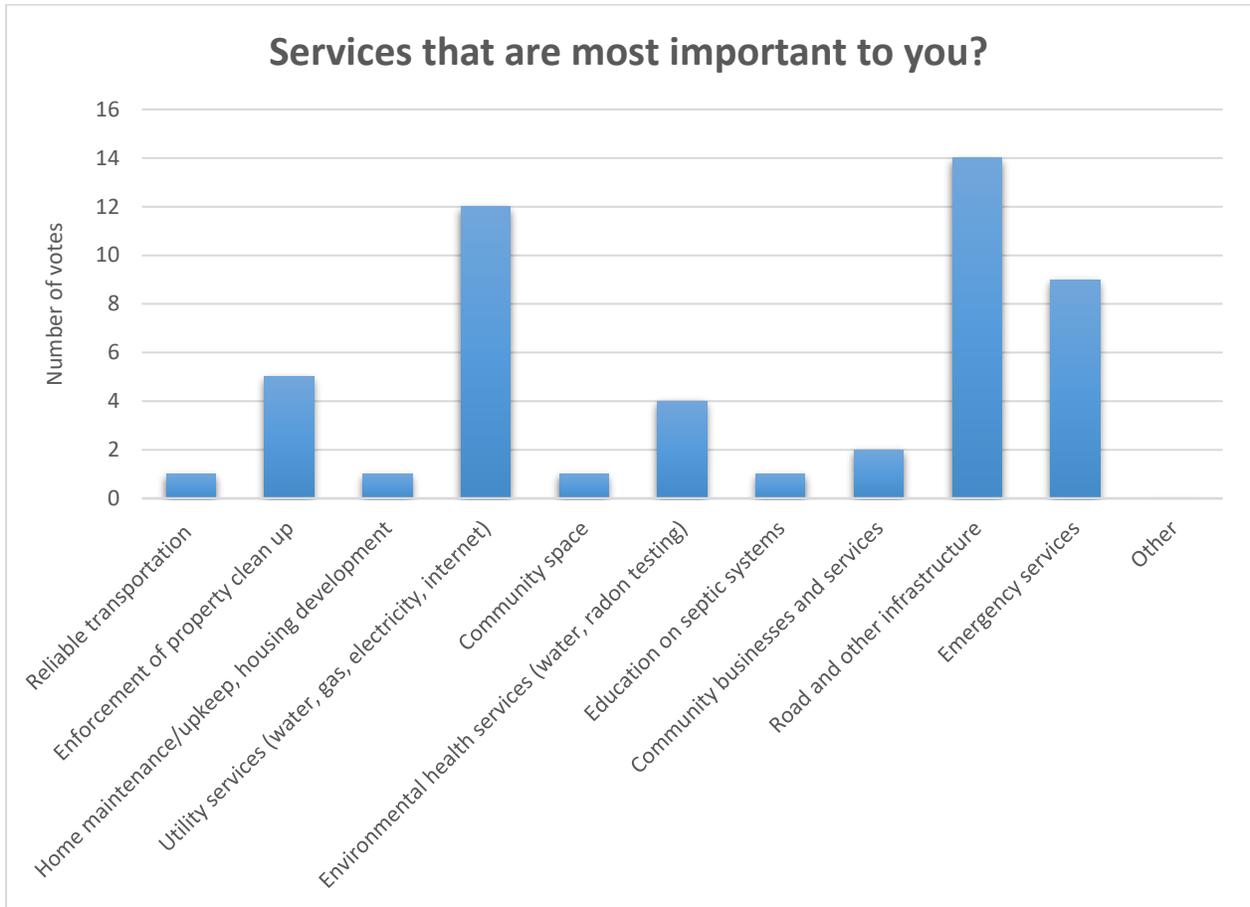
This is a review and discussion item from the 2020 Work Program. The survey summary results have been provided to the Story County Engineering/Secondary Roads and Environmental Health Department staff. Planning and Development staff plan to meet with both department staff within the next few weeks to go over the survey results and discuss plans for responding to the concerns. Planning and Development staff will briefly go through the survey results with the Planning and Zoning Commission at the meeting and obtain input and discussion on an action plan.



PLEASE RECYCLE

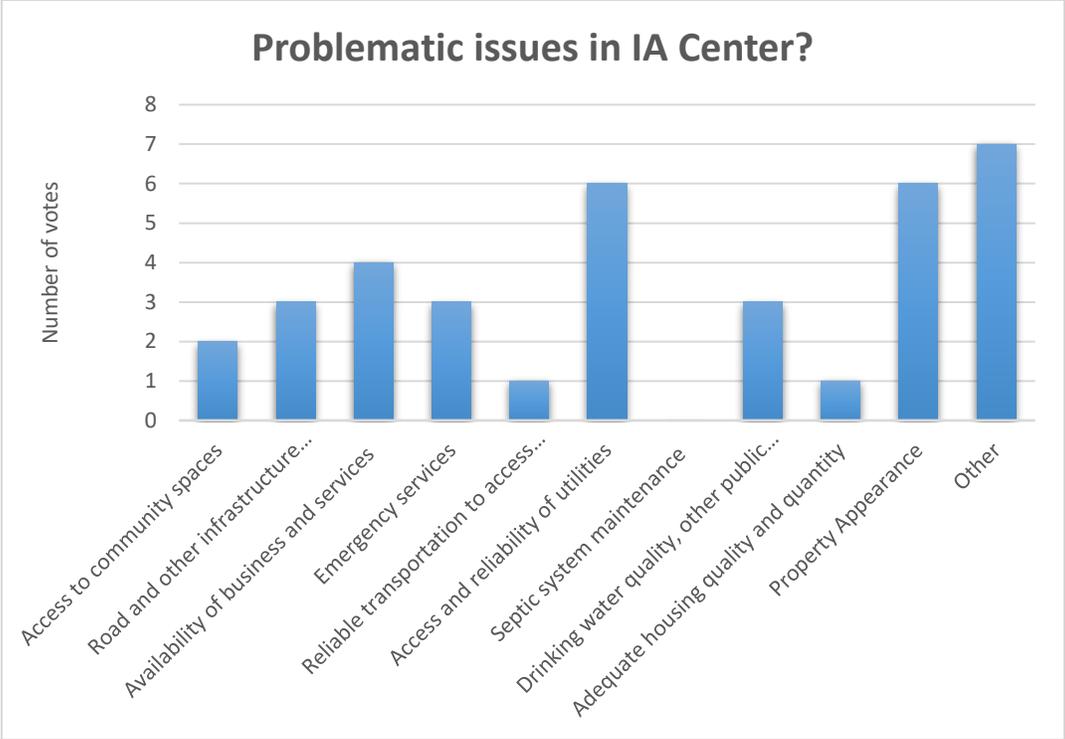
Results from Iowa Center Community Survey

(17 Surveys, 3 Phone Calls)

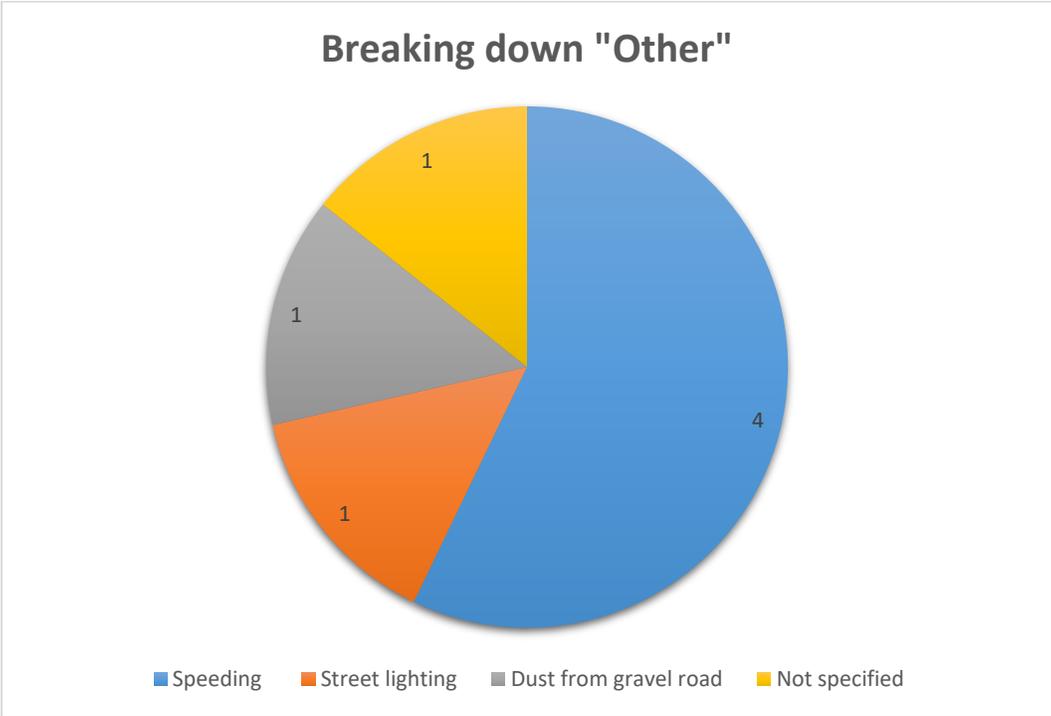


Likes listed individually:

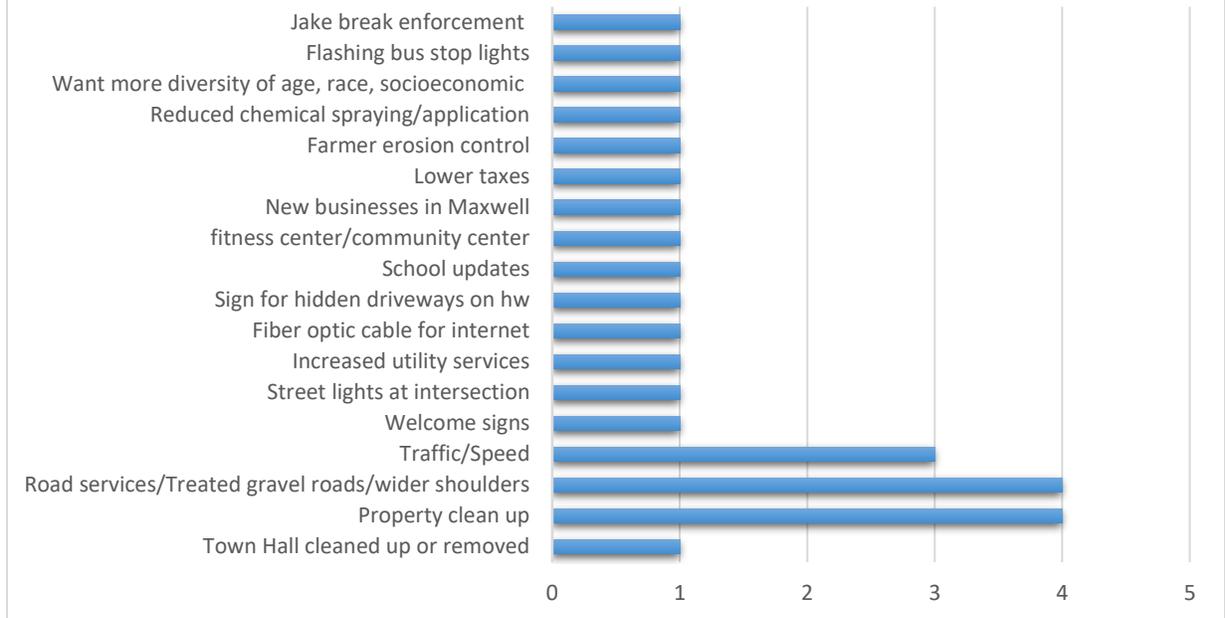
- Rural location
- Close proximity to shopping etc.
- Rural setting w/paved roads
- Good neighbors
- Quiet
- Rural yet close to town
- People watch out for each other
- Friendly neighborhood
- Open spaces
- No large animal confinements
- Close to Ames and Des Moines
- Rural
- Awareness
- Minimal Government Impact/Encroachment
- Not a lot of housing – rural feel!
- Small rural area
- People know and take care of each other
- Friendly
- Helpful
- Everyone knows neighbors
- The size – small
- Safe
- Close to amenities
- Rural living close to cities
- Small community
- Everyone is familiar
- Peace and quiet
- Neighbors
- Access to a well maintained county road
- Houses are spread out to ensure privacy
- Rural life
- Close to community
- Rural
- Small
- People are good
- Road maintenance
- Location
- Neighbors
- Quiet neighborhood (except some “traffic” e.g. semi putting on engine break i.e. Jake break)



It should be noted that 4 people circled "Internet" on utilities



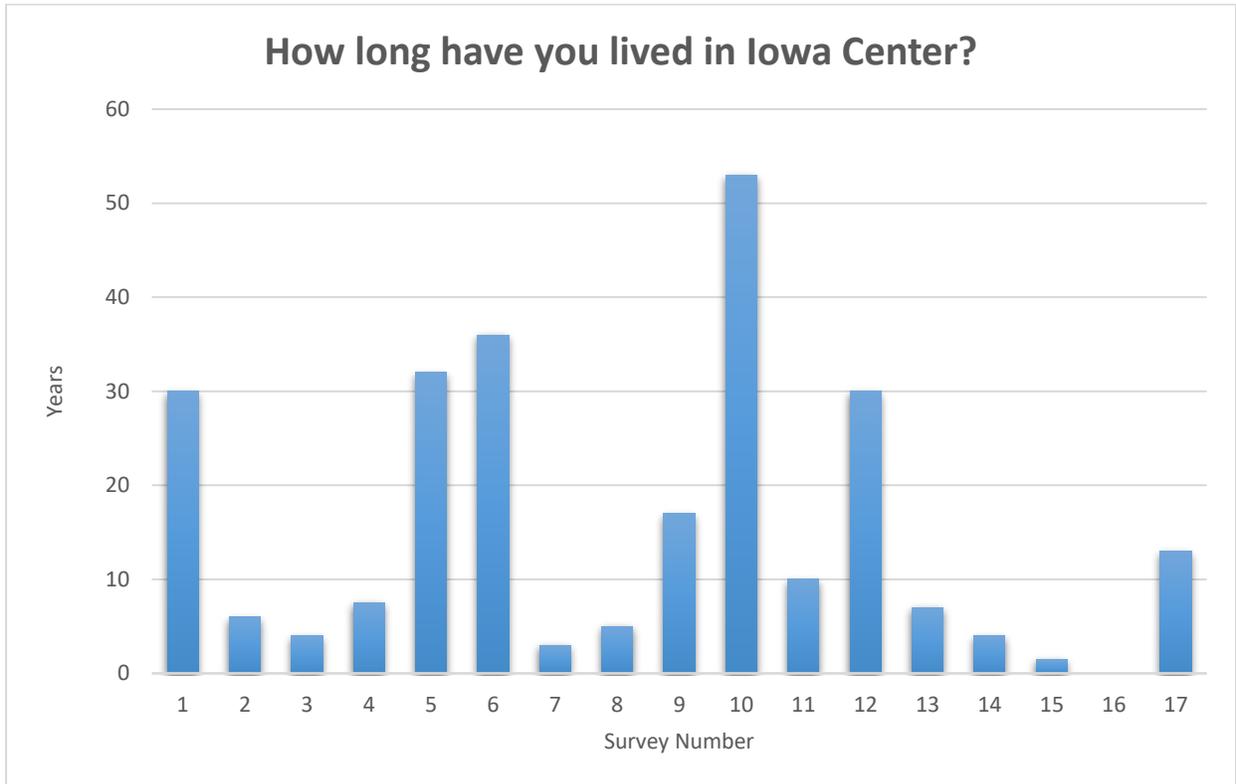
What would you like to see changed in IA Center?



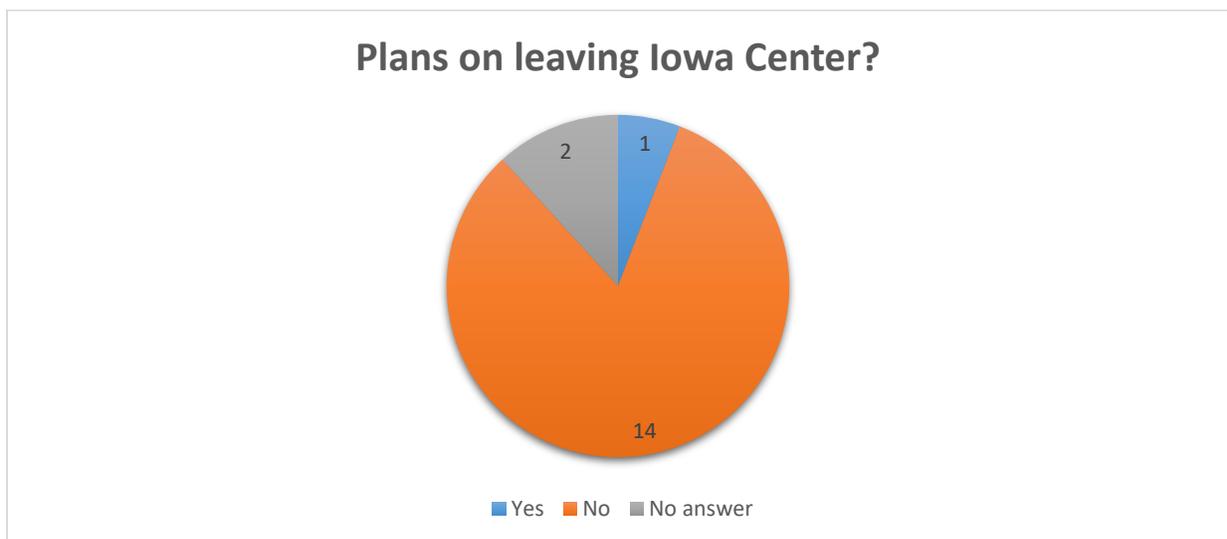
Changes listed individually:

- “Town Hall” cleaned up or removed.
- Property clean up of a few residence.
- Treated gravel roads, like Polk County.
- Road Services
- Traffic – no control – Semis allowed – no control over speed.
- People not cleaning up property (no enforcement)
- Welcome Signs
- Street Lighting at intersection
- Wider Road shoulders
- Increased utility services
- Fiber optic cable options for internet
- Road quality
- We need to have a sign for hidden driveways that are on the highway
- School updates
- Fitness center/community area
- New businesses in Maxwell
- Property cleanup (has gotten somewhat better in last year or 2)
- Lower Taxes
- Farmer erosion control
- Reduced chemical spraying/application
- More diversity –age, race, socioeconomic
- Main concern is clean up a few fairly rundown properties, 1 particular house with far too many animals on I small lot
- Lower speed limits

- Enforce speed limits
- Flashing bus stop caution lights
- Maybe signs explaining the speed reduction through Iowa Center (lighted slow down type of sign)
- Maybe Jake break enforcement



- Response 16: Lifetime



Explanation for "Yes": Property taxes and retirement

Additional questions/comments?

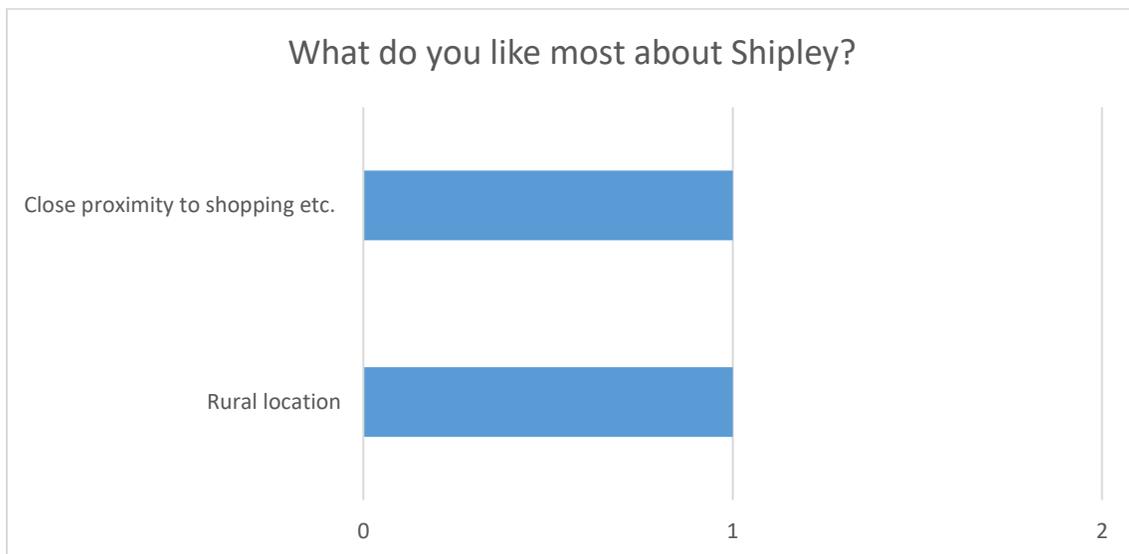
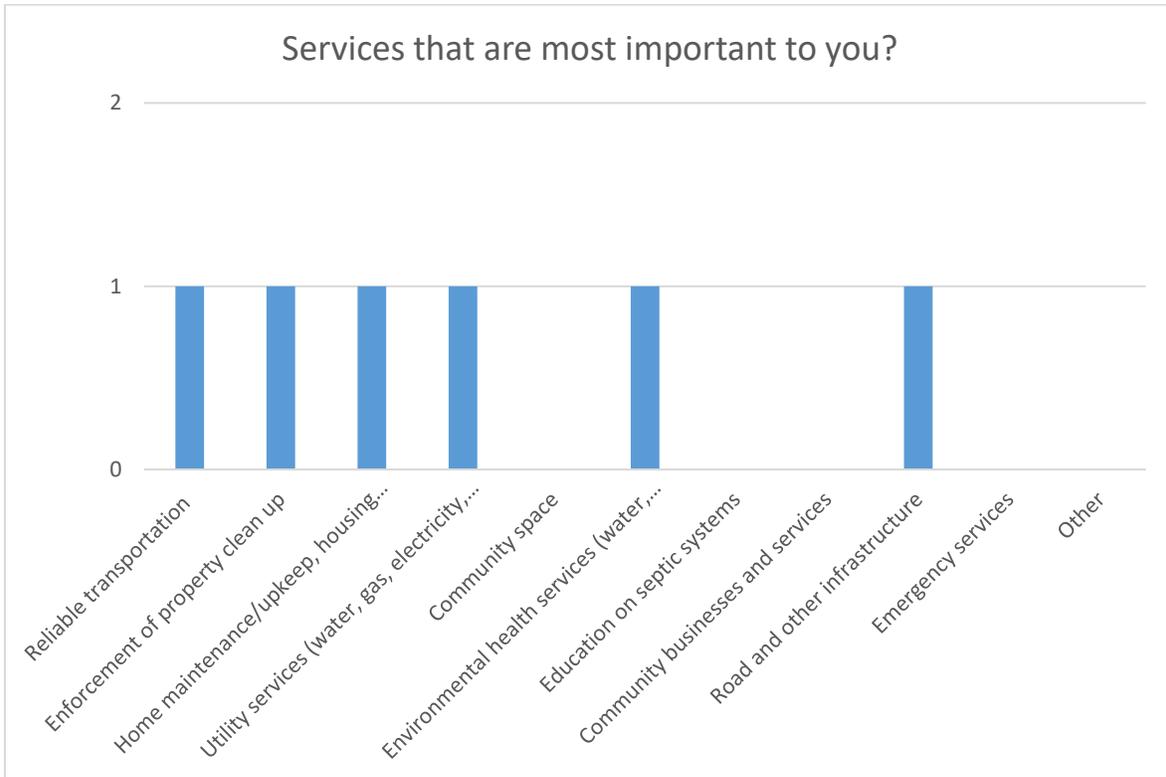
- They have cleaned up some houses in the community, which is nice.
- We enjoy the area!
- The County Crew does excellent clearing roads in winter.
- County funds for cemetery upkeep and maintenance.
- County needs to be more mindful of gravel road upkeep.
- County tile maintenance for fields/ditches/road wash outs.
- We are disappointed that a big Dollar General sign is now the first thing you see when you enter Maxwell.
- There are 24 property driveways thin the 0.7 mile stretch that goes through IA Center. Many of these are school bus stops. In my 30 years in Iowa Center I have never seen a Story County deputy pull over a speeder. I have also never seen an officer parked trying to clock a speeder. The only time I see an officer in Iowa Center is when they themselves speed throughout community as they head south to Maxwell. Please consider reducing the speed limit adding signage for bus stops and blind drive as well as increasing the enforcement of the speed limit.
- Iowa Center has been around for a long time, so it's not like it's a "pop up" community.

Phone call comments

- One call: Concerned about farm erosion control/farm flooding
- Two other calls: Stated that they would be completing the survey and sending it in

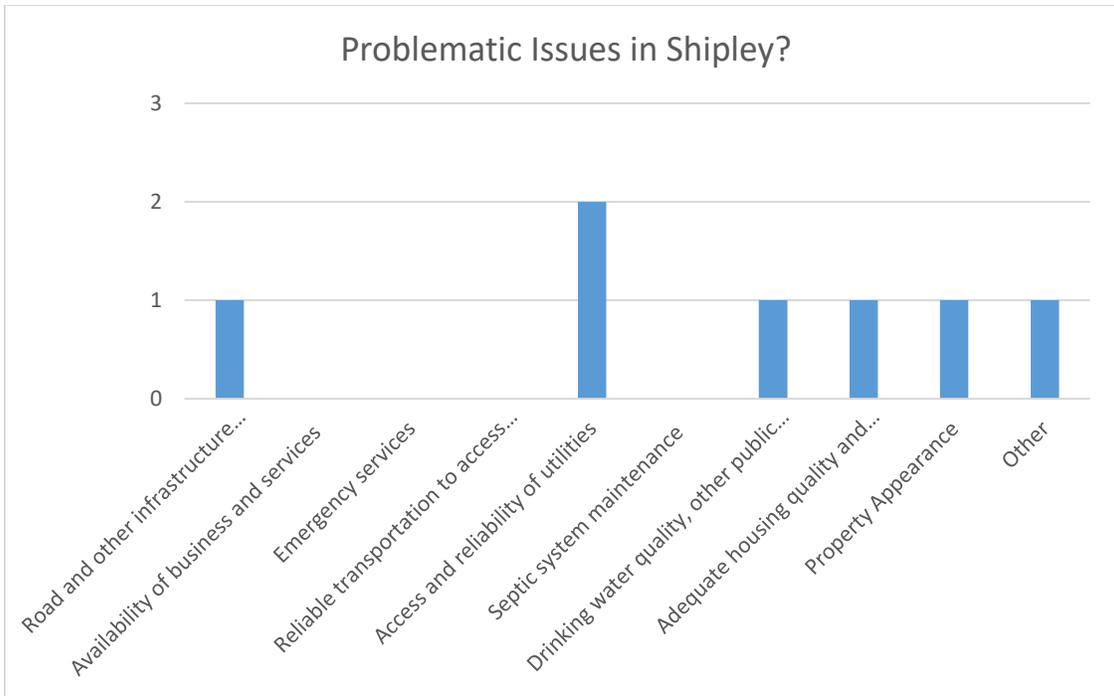
Results from Shipley Survey

(2 Surveys, 1 Phone Call)

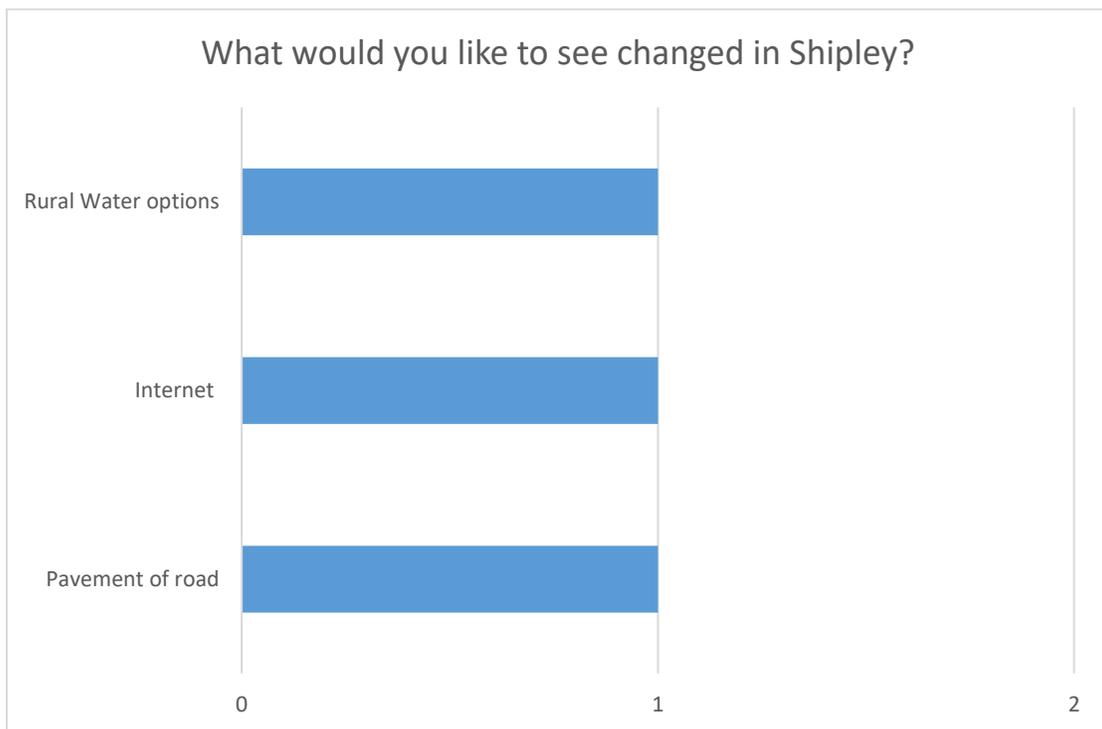


Likes listed individually:

- Rural location
- Close proximity to shopping, etc.

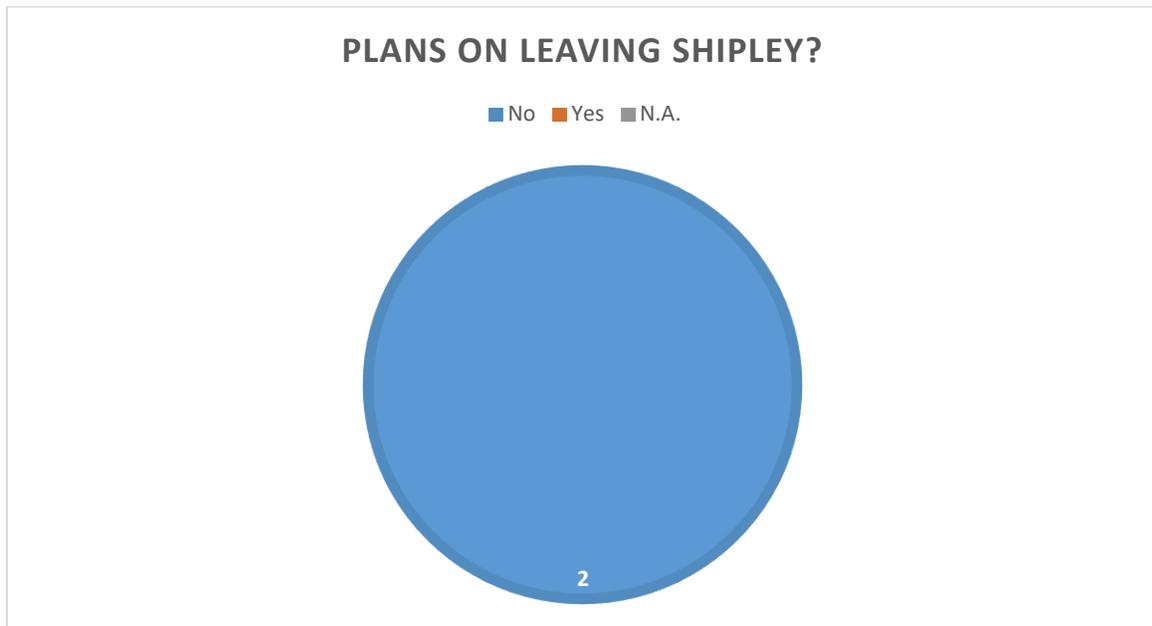
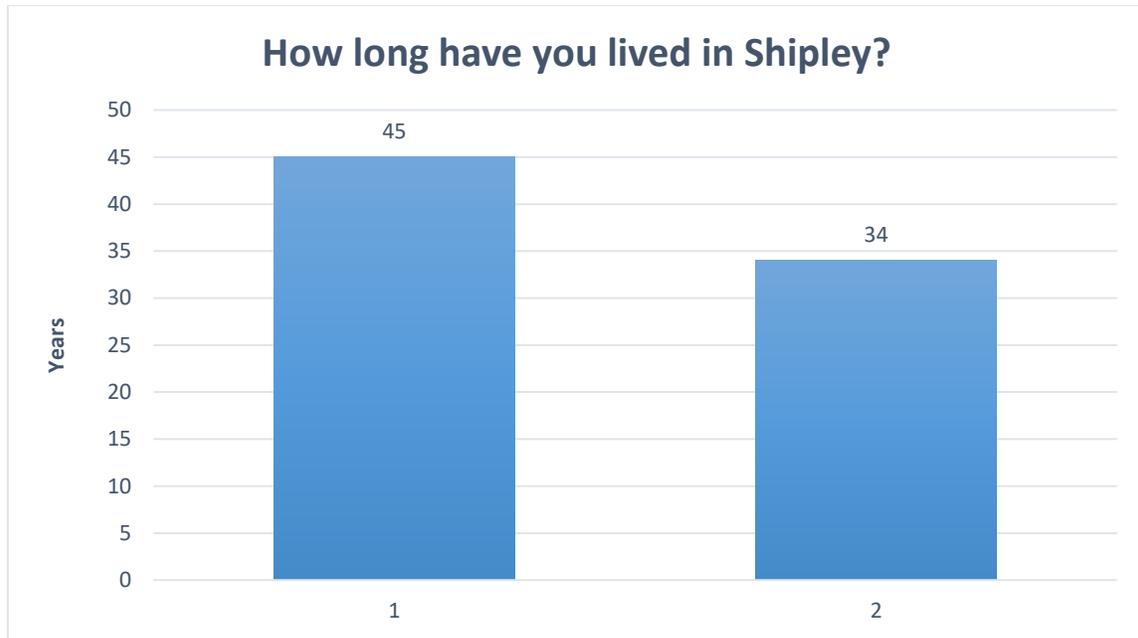


- **It should be noted that the person who noted that utilities were an issues circled water and internet**
- **Breaking down "Other": Dust control**



Changes listed individually:

- Pave the 1 mile from Shipley blacktop to R70
- Get quality, reliable and affordable internet service
- Provide access to rural water options. This has never been offered to us.



Additional questions/comments?

- Would like to see property upkeep a little better but don't want to lose the property owners presence as a result.
- Being so close to highway 30 seems so hard to believe that broadband internet service is not yet available in the area. I wish Windstream or Colo Telephone would take an interest in the area for these services.
- Rural water also, I understand that many in the area have no close access to the service.

Phone Call Comments

- One call:
 - Has lived in Shipley for 70 years
 - Does not want additional traffic in Shipley
 - Very happy with rural water
 - Gets along with all neighbors
 - Wants to make sure Highway 30 access is not cut off
 - Concerned about the fast growth of Ames

Staff Report

Story County

Planning and Zoning Commission

Date of Meeting:
March 4, 2020

Case Number CUP01-20

Windstream Broadband Communications Tower (Utility Pole)

APPLICANT: Ashlee Miller

11124 Kingston Pike, Suite 119-234
Knoxville, TN 37934

STAFF PROJECT MANAGER: Marcus Amman, Planner

SUMMARY: Windstream is proposing to erect a 105 foot communications tower utility pole to provide broadband access to rural customers. The pole will include the installation of a galvanized steel finish utility pole. The pole will be 100 feet, with a 5 foot lightning rod for the total height of 105 feet.



Story County Planning and Development Staff Recommends approval of the Conditional Use Permit for the Windstream Broadband Communications Tower Utility Pole CUP01-20 with the condition:

- **The written access and utility easement will be recorded with the Story County Recorder prior to the issuance of a zoning permit for the Communications Tower.**
- **Preliminary Zoning permit for the Communications Tower will not be issued until Story County Land Development Regulations Chapter 88.08 (4) Parking and Circulation Standards are met for well-defined circulation routes and clearly marked parking spaces acceptable to Planning and Development Staff.**



Property Information

PROPERTY OWNERS

Donald & Lisa Moody
70064 320th St
Collins, IA 50055

GENERAL PROPERTY LOCATION

Section: 28 Township: 82 Range: 21 NW NW

SITE ADDRESS

70064 320th St
Collins, IA 50055

PARCEL IDENTIFICATION NUMBER(S)

16-28-100-102

CURRENT ZONING

A-1, Agricultural District

CURRENT LAND USE

The current land use at the proposed site of the Windstream Broadband Communications Tower Utility Pole is agricultural use. The property is mainly surrounded by agricultural uses to the north, south, and east. Directly west, Landus Cooperative, is located in an A-2 Agribusiness district.

FUTURE LAND USE MAP DESIGNATION

Rural Residential District

CITIES WITHIN TWO MILES

Collins

Floodplain

None.

The following items were submitted by the applicant: CUP Application, Site Plan, narrative describing need of the Windstream Broadband Communications Tower Utility Pole, proposed structure specifications, and responses to County Staff review comments.

Background

This proposed Windstream Broadband Communications Tower Utility Pole will be used to provide broadband access to rural customers. Commercial communications towers are allowed in the A-1 Zoning district through a conditional use permit process per Chapter 90 of the Story County Land Development Regulations with supplemental standards under 90.04. This communications pole will be a 105-foot tall, galvanized steel finish utility pole.



The proposed tower will meet the County's setback requirements. The minimum setback requirement for this tower is 200 feet from the right-of-ways and 50 percent of the height or 52.5 feet for all other property lines. The proposed tower will be located 308 feet south of the 320th street right-of-way, approximately 524 feet east of the U.S. Highway 65 right-of-way, 66 feet north of the southern property line, and 100 feet from the eastern property line. The purpose of this tower is to provide rural customers access to broadband services under the federal initiative. The tower will have four WIFI antenna, one pointed in each cardinal direction. These antenna will have a range of 5 miles and are 14 inches by 8.85 inches in size. There will not be a communications building for this proposal. There will be an H-Frame where the communications equipment will be mounted. This frame will be 6 feet tall and 5 feet wide.

The property is located a quarter mile south of the City of Collins. The property on which the proposed structure is to be constructed is 5.92 net acres and currently has a residence and outbuildings constructed on it. The existing residence's garage is approximately 296 feet northwest of the proposed structure with the residence being further northwest. The proposed structure will be approximately 203 feet south of the existing outbuilding on the property. The property is located directly east of the Landus Cooperative property that contains a large agricultural storage operation taking place. The rest of the surrounding parcels are all in agricultural production. The nearest residence is approximately 1,500 feet to the northwest of the proposed structure site. This proposed structure will be partially screened from 320th Street to the north by the existing buildings on the parcel, but will be visible from U.S. Highway 65 to the west.

The traffic impacts from this proposal will be minimal. U.S. Highway 65 has an average daily traffic count of 1640, last counted in 2015. Once the construction of the tower is completed the only traffic to the site will be for maintenance to the communications tower which is anticipated to be once a month. During the construction of the tower all parking will take place on the subject property. There will be no parking on any of the right-of-way. There will be a turnaround/parking area constructed just south of the leased area where the tower will be constructed. This parking will also be where all vehicles will park when maintenance is being conducted. The access easement and the parking will be left as bare ground with no intention of adding rock to either area. There is also no signs or lighting proposed for this project. The tower does not meet the height threshold for FAA required lighting.

Throughout construction and after no significant environmental impacts are expected. This proposed structure is not anticipated to impact the supply or quality of light or air to the surrounding properties. The tower is also not anticipated to impact any property values in the area and will likely blend in with the commercial use to the west as well as the utility poles along U.S. Highway 65. The proposed site is not located in a floodplain.

The applicant provided search rings for collocation opportunities. It was determined from their analysis that the existing towers would not meet their needs, and to ensure their data's integrity. The technology the applicant uses has a limit to its capacity to provide adequate services beyond this distance. This tower is being constructed solely for Windstream's use, they are not prohibiting collocation however they do not anticipate any requests for collocation.

Analysis

A. Applicable Regulations: Chapter 90.04: Standards for Approval



The Planning and Zoning Commission shall review the proposed development for conformance to the following development criteria:

1. **Compatibility.** The proposed buildings or use shall be constructed, arranged and operated so as to be compatible with the character of the zoning district and immediate vicinity, and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations. The proposed development shall not be unsightly, obnoxious, nor offensive in appearance to abutting or nearby properties.

Applicant Comment: Windstream’s proposed development will be constructed, arranged and operated so as to be compatible with the character of the Agriculture zoning district and immediate vicinity, and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations. The proposed development will not be unsightly, obnoxious nor offensive in appearance to abutting or nearby properties.

Staff Comment: Commercial communications towers are a conditional use in the A-1 District. The requirement for a conditional use permit is based on the provision of Chapter 90 Table 90-1 of the Story County Code of Ordinances. Communication towers under the conditional use have supplemental standards under 90.04. The property on which the proposed structure is to be constructed is 5.92 net acres and currently has a residence and some out buildings located on it. The property directly to the west of the subject property is owned by the Landus Cooperative and has a large agricultural grain storage operation taking place. The proposed structure will most likely blend with the existing utility poles and the commercial operation across U.S. Highway 65 to the west.

2. **Transition.** The development shall provide for a suitable transition, and if necessary, buffer between the proposed buildings or use and surrounding properties.

Applicant Comment: Windstream’s development will provide for a suitable transition, and if necessary, buffer between the proposed buildings or use and surrounding properties with the included fencing and screening designed around the easement base will accomplish this requirement.

Staff Comment: The proposed structure will meet the setbacks from all property lines. The overall proposed structure height will be 105 feet. The minimum setback requirement for this tower is 50 percent of the overall height or 52.5 feet. The proposed structure will be 308 feet from the north property line, 66 feet from the south property line, approximately 524 feet from the west property line, and over 100 feet from the east property line. The proposed structure will likely be seen by immediately adjacent property owners. Part of the proposed communication tower would be buffered from 320th street by the existing structures on the parcel. The proposed tower will be visible from U.S. Highway 65.

3. **Traffic.** The development shall provide for adequate ingress and egress, with particular attention to vehicular and pedestrian safety and convenience, traffic flow and control, and emergency access.

Applicant Comment: Windstream’s development will provide for adequate ingress and egress, with particular attention to vehicular and pedestrian safety and convenience, traffic



flow and control, and emergency access. This requirement is met and called out on provided construction drawings.

Staff Comment: The traffic impact of the proposed structure is expected to be minimal. Once construction of the proposed structure is completed, the only traffic that will visit the site for this structure when maintenance is required, on average once a month.

- 4. Parking and Loading.** The development shall provide all off-street parking and loading areas as required by this Ordinance, and adequate service entrances and areas. Appropriate screening shall be provided around parking and service areas to minimize visual impacts, glare from headlights, noise, fumes or other detrimental impacts.

Applicant Comment: Windstream's development will provide all off-street parking and loading areas as required by the Ordinance, and adequate service entrances and areas. Given the setbacks of at least 300 feet from each right of way line, the visual impact is minimized. Due to the nearest neighbor residence dwelling to be further than .25 miles away the potential light or noise disturbance will be minimal.

Staff Comment: During the installation of the proposed tower, parking will take place on the subject property using existing access points to the property. No parking or equipment storage will take place in the right of way. There is a new turnaround/parking area proposed to be located to the south of the fenced in area surrounding the proposed tower. Parking use for this will consist of parking for maintenance as required at the site.

- 5. Signs and Lighting.** Permitted signage shall be in accordance with the applicable district regulations and shall be compatible with the immediate vicinity. Exterior lighting, if provided, shall be with consideration given to glare, traffic safety and compatibility with property in the immediate vicinity.

Applicant Comment: No signs will be required for development. This requirement is met and called out on provided construction drawings.

Staff Comment: There is no signs or lighting proposed for this communications tower. The tower will not be high enough for the FAA to require lighting.

- 6. Environmental Protection.** The development shall be planned and operated in such a manner that will safeguard environmental and visual resources. The development shall not generate excessive noise, vibration, dust, smoke, fumes, odor, glare, groundwater pollution or other undesirable, hazardous or nuisance conditions, including weeds.

Applicant Comment: Windstream's development will not generate excessive noise, vibration, dust, smoke, fumes, odor, glare, groundwater pollution or other undesirable, hazardous or nuisance conditions, including weeds.

Staff Comment: No excessive noise, vibration, dust, smoke, fumes, odor, glare, groundwater pollution or other undesirable, hazardous or nuisance conditions, including weeds, are anticipated.



If the Board concludes that all the above development criteria will be met, it must recommend approval of the application unless it concludes that, if completed as proposed, there is a strong probability the development will:

- 1. Not adequately safeguard the health, safety and general welfare of persons residing or working in adjoining or surrounding property.**

Applicant Comment: Windstream will adequately safeguard the health, safety and general welfare of persons residing or working in adjoining or surrounding property. Windstream's licensed contractors will uphold OSHA standards throughout the installation and maintenance of the site.

Staff Comment: The proposed structure will meet the setbacks from all property lines. The overall proposed structure height will be 105 feet. The minimum setback requirement for this tower is 50 percent of the overall height or 52.5 feet. The proposed structure will be 308 feet from the north property line, 66 feet from the south property line, approximately 537 feet from the west property line, and over 100 feet from the east property line. The proposed structure will likely be seen by immediately adjacent property owners. Part of the proposed communication tower would be buffered from 320th street by the existing structures on the parcel. The proposed tower will be visible from U.S. Highway 65.

- 2. Impair an adequate supply (including quality) of light and air to surrounding properties.**

Applicant Comment: Windstream will not impair an adequate supply (including quality) of light and air to surrounding property due to its small footprint and equipment used.

Staff Comment: The proposed structure will be a 105' utility pole with four Wi-Fi antennas and will have little to no impact on the supply of light and air to surrounding properties.

- 3. Unduly increase congestion in the roads, or the hazard from fire, flood, or similar dangers.**

Applicant Comment: Windstream will not increase congestion in the roads, or the hazard from fire, flood or similar dangers due to its setback requirements met from right of ways and/or structures within property.

Staff Comment: Following the construction of the proposed structure, there will be very little traffic to and from the structure. Traffic will be for maintenance to the communications tower. The proposed structure will not be located within the floodplain.

- 4. Diminish or impair established property values on adjoining or surrounding property.**

Applicant Comment: Windstream will not diminish or impair established property values on adjoining or surrounding property due to equipment used.

Staff Comment: The Story County Assessor's Office raised no concerns with this item from



the review of the requested Conditional Use Permit application. No impacts on property values are anticipated.

5. Not be in accord with the intent, purpose and spirit of the Land Development Regulations or County Cornerstone to Capstone (C2C) Plan.

Applicant Comment: we believe that the implementation of a fixed, wireless internet solution will promote and address several values and goals outlined throughout the C2C and from staff members, elected officials and County Board and Commission members.

In particular, the Story County Strategic Plan discusses the need to provide services efficiently and effectively that continually meet the needs of Story County citizens. Introducing a fixed-wireless internet solution improves quality of life for both individuals and businesses alike throughout Story County and address an underlying goal outlined within the Strategic Plan, which focuses on addressing both the evolution of technology itself and the expectations of citizens in regards to the availability of such technology.

Similarly, Chapter 3, Section 6, of The C2C Plan addresses the commitment by Story County to maintaining a high level of communication to ensure County residents remain both safe and informed. Access to reliable internet services, especially in rural areas, improves the dissemination of crucial information and promotes the County's communication objectives.

More specifically, Chapter 3, Section 9, of The C2C Plan discusses the County's strategy to support the expansion of all broadband/internet access service options to residents and businesses throughout the county, which is the primary objective of this project.

Furthermore, the implementation of a fixed-wireless internet option mitigates the need of unnecessary utility poles and overhead lines, which we believe compliments the long-term vision and goals set forth throughout the C2C and Strategic Plan. Specifically, in regard to Chapter 90.04, (1) (A), we believe that the use of a fixed-wireless solution addresses excessive proposed development of traditional wireline and utility pole infrastructure by offering a single-point solution that improves both access and reliability to internet services.

Also, in regard to Section 90.04, we want to ensure the review board that the development of this project will be in accordance with the requirements set forth in Section 1 (F).

Staff Comment: The C2C plan is oriented toward preserving the county's rural character and high value agricultural land, protecting environmentally-sensitive areas, and identifying areas for future growth and development. The proposed tower will support the expansion of all broadband/internet access service options to residents and businesses throughout the county under the C2C Infrastructure and Utilities Goal 1 strategy list. The remainder of the parcel will continue to be used for its existing use.

B. Burden of Persuasion.



1. **The burden of persuasion as to whether the development, if completed as proposed, will comply with the requirements of this Chapter is at all times on the applicant.**
2. **The burden of presenting evidence to the Board of Adjustment sufficient enough for it to conclude that the application does not comply with the requirements of this Chapter is upon the person or persons recommending such a conclusion, unless the information presented by the applicant warrants such a conclusion.**

Commentary

The following comments are part of the official record of the proposed **Windstream Broadband Utility Pole CUP01-20**. If necessary, conditions of approval may be formulated based off these comments.

Conceptual Review – February 6, 2020

Comments from the Environmental Health

Environmental Health has no concerns with the CUP application #01-20 for a Windstream Utility Pole and H-frame. The existing house on this parcel has a septic system located west of the house, and a water well east of the garage; neither will be impacted by the proposed construction.

Comments from the Auditors Office

No comment

Comments from the Interagency Review Team

1. Please confirm the height of the tower. Will the tower be 95' with antennas that extends 5' above for a total of 100'? **Communications tower will be 100 feet with a lightning rod being another 5 feet for a total of 105 feet.**
2. The site plan identifies the pole is proposed to be wood. Chapter 90.08 4 F1 states that towers/facilities shall maintain a galvanized steel finish. Please address this. **Corrected to a galvanized steel finish utility pole.**
3. In accordance with 90.08 (4) E 1, how is the fence being made to not be climbable? **Barbed wire on the top of the fence and a black privacy wrap around the chain link.**
4. Chapter 90.08 (4) E 2 states screening of the lowest six feet of the tower is required. Screening is required from the right-of-ways to the north (320th Street) and west (HWY 65) of the proposed tower. Chain link is identified as the fencing, please indicate how this will meet the requirement. **Black privacy wrap around the chain link.**
5. Please identify the surface type proposed for the access and driveway extending to the compound area. Chapter 88.08 (4) Parking and Circulation Standards require well designed and efficient parking layout and circulation. The provision indicates, parking lots shall provide well defined circulation routes for vehicles and pedestrians. All parking spaces shall be clearly marked. Appropriately placed pavement markings shall be employed where necessary to guide internal circulation and traffic ingress and egress. **We will not be graveling the easement for vehicle movement from the access to the leased area.**
6. Please label the dimensions of the access/driveway and utility easement on the drawing. **Provided**



7. Please label the dimensions of the compound lease area on the drawing. **Provided**
8. In accordance with Chapter 90.08 (4) C, please demonstrate that the proposed height is the minimum necessary to accommodate the proposal's requirements, as documented by a qualified engineer. **Letter stating need provided**
9. Please provide responses to 90.04 1 A-F Standards of Approval from the Story County Land Development Regulations. **Provided**
10. In accordance with Chapter 90.08 (4) (F) 3, signs are not allowed other than safety or warning signs. Please confirm there are no proposed signs. **No signs are proposed.**
11. Is any lighting proposed? If so it must be required by the FAA as identified in Chapter 90.08 (4) (F) 2. Please provide any correspondence from the FAA regarding lighting. **No lighting is proposed.**
12. In accordance with Chapter 90.08 (4) J 7, please indicate if the tower will be available for collocation in the future. **The tower is being constructed solely for Windstream's use. Windstream is not prohibiting future collocation, but it does not anticipate that function.**
13. Have you contacted the County Engineer's office regarding if the access to the parcel is sufficient for the use? **Not county road, spoke with IDOT and received written approval.**
14. What is the range of the proposed tower's Wi-Fi antenna? **Distance of (5) five miles.**
15. Please provide any additional drawings that show more details of the antennas planned to be mounted on the communications tower. **Provided**
16. In accordance with Chapter 90.08 (4) J 10, please provide a copy of the signed lease agreement with the property owner. The fees may be redacted. **Provided**
17. Please have an engineer sign and certify the submitted drawings. **Provided**
18. Please submit a conditional use permit application for this proposed project by February 14th, 2020 to make the deadline for the March 4th, 2020 Planning and Zoning Commission meeting and the March 18th, 2020 Board of Adjustment meeting. **Provided**

Public notices were mailed to adjacent property owners within ¼ mile of the proposed site on February 19, 2020.

Comments from the General Public:

No comments were received as of the date of this staff report.

Points to Consider for the Conditional Use Permit Request

1. Applicant addressed the need for the broadband utility pole.
2. Utility pole will help support the federal initiative to provide broadband access to rural customers.
3. The communications tower utility pole will be compatible with the surrounding landscape.
4. Traffic impact will be limited.
5. No environmental impacts are expected.

Conditions of Approval

Chapter 90.05: Recommendations on Applications

Staff Recommendation:

Based on review of the site, application materials, responses to County Staff comments, and the information and analysis in this staff report, Planning and Development staff



recommend approval of the Conditional Use Permit application CUP01-20 with the condition:

- **The written access and utility easement will be recorded with the Story County Recorder prior to the issuance of a zoning permit for the Communications Tower.**
- **Preliminary Zoning permit for the Communications Tower will not be issued until Story County Land Development Regulations Chapter 88.08 (4) Parking and Circulation Standards are met for well-defined circulation routes and clearly marked parking spaces acceptable to Planning and Development Staff.**

Recommendation by Planning and Zoning Commission

Alternatives

The Story County Planning and Zoning Commission may consider the following alternatives:

- 1) The Story County Planning and Zoning Commission recommends approval of the Conditional Use Permit for the Windstream Broadband Utility Pole as put forth in case CUP01-20, as submitted.
- 2) **The Story County Planning and Zoning Commission recommends approval of the Conditional Use Permit for the Windstream Broadband Utility Pole as put forth in case CUP01-20, with conditions.**
- 3) The Story County Planning and Zoning Commission recommends denial of the Conditional Use Permit for the Windstream Broadband Utility Pole as put forth in case CUP01-20.
- 4) The Story County Planning and Zoning Commission remands the Conditional Use Permit for the Windstream Broadband Utility Pole as put forth in case CUP01-20, back to the applicant for further review and/or modifications, and directs staff to place this item on a future Story County Planning and Zoning Commission agenda.

Story County Planning and Development

900 6th Street, Nevada, Iowa 50201

(515) 382-7245 — pzweb@storycountyiowa.gov — www.storycountyiowa.gov

CONDITIONAL USE PERMITS



1. Property Owner*

(Last Name) Moody

(First Name) Donald S and Lisa M

(Address) 70064 320th Street

(City) Collins (State) IA (Zip) 50055

(Phone) 515-770-5754 (Email) ds.moody1@hotmail.com

2. Applicant (if different than owner)

(Last Name) Miller Windstream Site ID: WS-CLNS-RL01

(First Name) Ashlee

(Address) 11124 Kingston Pike, Suite 119-234

(City) Knoxville (State) TN (Zip) 37934

(Phone) 713-471-0206 (Email) ashlee.miller@flexdeploys.com

3. Property Address 70064 320th Street, Collins IA 50055

Parcel ID Number(s) 1628100102

4. Certification and Signature

I/we certify that the information and exhibits submitted are true and correct to the best of my knowledge and that in filing this application I am acting with the knowledge, consent and authority of the owners of the property. Pursuant to said authority, I hereby permit County officials to enter upon the property for the purpose of inspection.

***Acknowledgement of property owner is required and may occur via email or by signature of this application.**

Property Owner Signature _____ Date _____ Applicant Signature _____ Date _____

There are 3 types of CUP Modifications: insignificant, minor, and major. The Director of Planning and Development makes the determination of the type. Insignificant modifications are reviewed by the director. Minor modifications are reviewed by the Board of Adjustment. Major modifications are considered new conditional use applications and follow the same review process as a new conditional use permit application.

New Conditional Use Permit

Proposed Conditional Use: Windstream Utility Pole and H-frame

Submittal Requirements:

- Attend conceptual review meeting (prior to submittal of CUP application, see conceptual review application and deadline on Planning and Development website)
- Filing Fee (required prior to processing): **\$275**
- Site development plan
- Written narrative explaining justification for proposed conditional use permit and conformance to the standards for approval in Section 90.04 of the Story County Code of Ordinances.

Conditional Use Permit Modification

Previous CUP and Number: _____

Submittal Requirements:

- Filing Fee (required prior to processing) : **\$50** (If determined to be a minor modification by the Planning and Development Director, the fee amount is \$175.)
- Site development plan
- Written narrative explaining modification of approved conditional use permit and response to the standards for approval in Section 90.04 of the Story County Code of Ordinances. **RECEIVED FEB 14 2020**

Receipt No. _____
 Receipt Amount _____

WS-CLNS-RL01

70064 320TH ST
COLLINS, IA 50055



DRAWN BY:	AMC
DATE:	02/13/2020

REV	DATE	DESCRIPTION	BY
A	01/16/2020	90% CD	AMC
B	01/21/2020	99% CD	AMC
0	02/13/2020	100% FINAL CD	AMC



02/13/2020
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

WS-CLNS-RL01
70064 320TH ST
COLLINS, IA 50055
STORY COUNTY

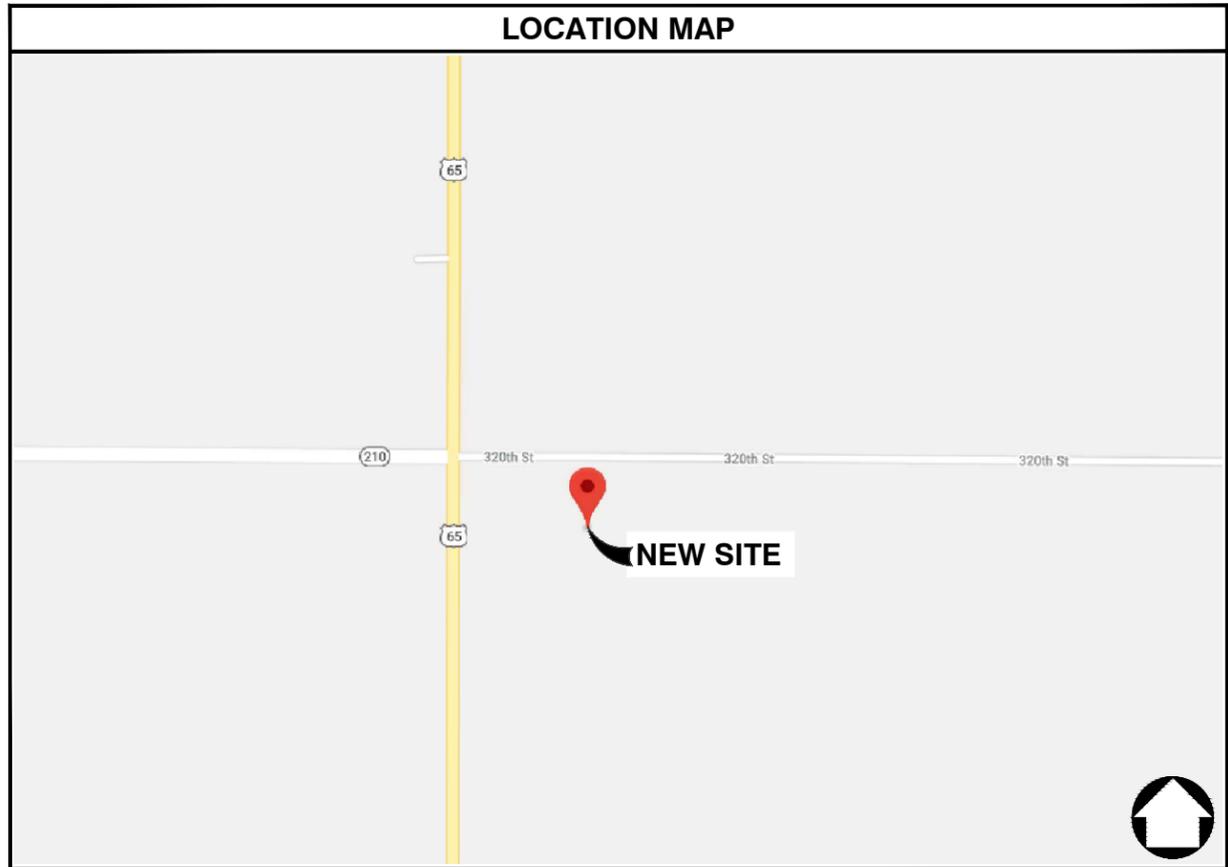
SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

SITE INFORMATION	
SITE ID:	WS-CLNS-RL01
ADDRESS:	70064 320TH ST COLLINS, IA 50055
COUNTY:	STORY COUNTY
LATITUDE:	41.8910564°
LONGITUDE:	-93.3068789°
JURISDICTION:	STORY COUNTY

CONTACTS	
PROJECT MANAGER:	WINDSTREAM
PROFESSIONAL ENGINEER:	IRISH TOWER, LLC 4603 BERMUDA DRIVE SUGAR LAND, TEXAS 77479 jacob.goralski@irishtower.com
PROPERTY OWNER:	NA

GENERAL NOTES
THE FACILITY IS NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE, NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW. THE SITE LOCATION IS SUBJECT TO MOVING, UP TO 10' FROM PROPOSED LOCATION, AS NEEDED TO KEEP WITHIN PUBLIC ROW, AVOID EXISTING UTILITY LINES, AND AVOID LINE-OF-SIGHT OBSTRUCTIONS WITH BOTH FOOT AND AUTOMOTIVE TRAFFIC. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD PRIOR TO ANY CHANGES.



PROJECT DESCRIPTION
THESE DRAWINGS DEPICT AN UTILITY POLE WITH ANTENNA INSTALLATION TO PROVIDE HIGH SPEED INTERNET SERVICE IN RURAL AREAS. THIS INSTALLATION SHALL CONSIST OF THE PLACEMENT OF A NEW POLE, FOUR (4) ANTENNAS, ONE (1) CONCEALMENT CABINET AND ASSOCIATED ELECTRICAL COMPONENTS AND MOUNTING BRACKETS AS REQUIRED

ENGINEERING
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
2011 NATIONAL ELECTRICAL CODE 2012 INTERNATIONAL FIRE CODE
2012 INTERNATIONAL BUILDING CODE CITY AND/OR COUNTY ORDINANCES
2012 INTERNATIONAL MECHANICAL CODE LOCAL BUILDING CODE(S)
2012 INTERNATIONAL PLUMBING CODE ANSI EIA/TIA 222-G
2012 LIFE SAFETY CODE (NFPA 101)

DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
T-2	GENERAL NOTES
B-1	SURVEY
C-1	SITE PLANS
C-2	ELEVATION DETAILS
C-3	ANTENNA LAYOUT DETAILS
D-1	EQUIPMENT DETAILS
E-1	ELECTRICAL & GROUNDING DETAILS
Z-1	ZONING CLASSIFICATIONS

NOTE: DRAWINGS ARE SCALED TO 11X17

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DAMAGED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DAMAGED, SUCH MONUMENTS SHALL BE REPLACED WITH APPROPRIATE MONUMENTS BY A LAND SURVEYOR. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT.
2. IMPORTANT NOTICE: CONTRACTOR SHALL CALL LOCAL UNDERGROUND LOCATE SERVICE THREE WORKING DAYS BEFORE ANY CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WITHIN PROPOSED EXCAVATIONS AND MUST MAINTAIN MINIMUM VERTICAL AND HORIZONTAL CLEARANCES AS CALLED FOR BY LOCAL CODES AND/OR ORDINANCES.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING STRUCTURES OR LANDSCAPING DAMAGED DURING CONSTRUCTION.
5. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUIT, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
6. THIS PROJECT WILL BE INSPECTED BY ENGINEERING AND FIELD ENGINEERING DIVISION.
7. ANY MANHOLES OR COVERS INSTALLED AS PART OF THIS PROJECT SHALL BE LABELED COMMUNICATIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF AN EROSION CONTROL PLAN WHICH MEETS ALL APPLICABLE REQUIREMENTS OF STATE AND LOCAL AGENCIES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL MAINTAIN MATERIALS AND EQUIPMENT ON SITE FOR UNFORESEEN SITUATIONS INCLUDING DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHICH COULD GENERATE FLOWS ABLE TO CAUSE EROSION AND SEDIMENT POLLUTION.

SPECIAL NOTES

1. INDEMNIFICATION CLAUSE: THE CONTRACTOR AGREES AND SHALL: ASSUME SOLE AND COMPLETE RESPONSIBILITY OF THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTIES. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONDITIONS. THE CONTRACTOR FURTHER AGREES TO DEFEND INDEMNITY AND HOLD OWNER, REPRESENTATIVES, AND ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.
2. PRIOR TO START OF CONSTRUCTION AND THROUGH PROJECT COMPLETION, THE CONTRACTOR SHALL REMAIN IN FULL COMPLIANCE WITH CURRENT FEDERAL, STATE, AND LOCAL OCCUPATIONAL HEALTH AND SAFETY REGULATIONS.
3. ALL WORK SHALL CONFORM TO THE LATEST STANDARD "SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AS ADOPTED BY THE CITY, COUNTY OR STATE AND AS MODIFIED BY STANDARD PLANS AND ADDENDUMS.
4. ALL UTILITIES AND OTHER FACILITIES DEPICTED ON THE PLANS ARE BASED ON A SEARCH OF AVAILABLE RECORDS AND FIELD OBSERVATIONS. THE CONTRACTOR SHALL VERIFY PRIOR TO CONSTRUCTION START AND USE EXTREME CARE AND PROTECTIVE MEASURES TO AVOID DAMAGE TO ANY FACILITIES WHETHER OR NOT INDICATED ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL FACILITIES WITHIN THE LIMITS OF WORK, WHETHER OR NOT DEPICTED ON THESE PLANS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF ANY CITY, COUNTY OR STATE ENGINEER INSPECTION DEPARTMENT A MINIMUM TWO DAYS PRIOR TO COMMENCEMENT OF ACTIVITY REQUIRING THEIR INVOLVEMENT.
6. THE EXPIRATION OF THE PERMIT FOR THIS PROJECT SHALL BE SPECIFIED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
7. ALL UNDERGROUND CONDUITS PLACED AS PART OF THIS PROJECT MUST HAVE A MINIMUM COVER OF 48 INCHES UNLESS OTHERWISE APPROVED.
8. THE CONTRACTOR SHALL TUNNEL ALL CURB AND GUTTERS AND BORE ALL CONCRETE DRIVEWAYS AND WALKWAYS AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEER HAVING JURISDICTION.
9. ALL PAVEMENT CUT OR DAMAGED AS PART OF THIS PROJECT SHALL BE REPLACED AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEER HAVING JURISDICTION.
10. ALL SHRUBS, PLANTS OR TREES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, SHALL BE REPLANTED AND/OR REPLACED SO AS TO RESTORE THE WORK SITE TO ITS ORIGINAL CONDITION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROCESSING OF ALL APPLICANT PERMIT FORMS ALONG WITH REQUIRED LIABILITY INSURANCE FORMS CLEARLY DEMONSTRATING OWNER, OWNER REPRESENTATIVES, ENGINEER, AND CITY, COUNTY OR STATE ARE ALSO INSURED WITH THE REQUIRED LIABILITY INSURANCE FOR THIS CONSTRUCTION PROJECT.
12. ALL SUBSURFACE STRUCTURES INCLUDING BUT NOT LIMITED TO VAULTS, PEDESTALS, AND CONDUITS SHALL BE AS SPECIFIED IN THESE PLANS OR AS SPECIFIED BY THE ENGINEER. ANY DEVIATIONS SHALL BE APPROVED BY THE ENGINEER IN WRITING PRIOR TO INSTALLATION.
13. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO SEWER LATERALS AND WATER SERVICES, BOTH VERTICAL AND HORIZONTAL, PRIOR TO COMMENCING IMPROVEMENT OPERATIONS.
14. THE CONTRACTOR IS RESPONSIBLE FOR COMPLETION OF EXPLORATION EXCAVATIONS CONDUCTED FOR THE PURPOSE OF LOCATING EXISTING FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS AS REQUIRED.
15. LOCATIONS OF EXISTING UTILITIES ON THESE PLANS ARE BASED UPON EXISTING RECORDS VERIFIED WHERE POSSIBLE WITH FIELD TIES. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCATIONS SHOWN, BOTH HORIZONTAL AND VERTICALLY. PRIOR TO CONSTRUCTION, SUBSTANTIAL VARIANCES FROM THE PLANS SHALL BE COMMUNICATED TO THE ENGINEER TO FACILITATE CHANGES TO CONSTRUCTION DRAWINGS AS REQUIRED.

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL PRIOR TO COMPLETION OF FINAL IMPROVEMENTS SHALL BE INSTALLED BY CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY, COUNTY AND STATE "STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WATER QUALITY TECHNICAL REPORT (WQTR), AND/ OR WATER POLLUTION CONTROL PLAN (WPCP).
2. A GRAVEL BAG SILT BASIN SHALL BE INSTALLED IMMEDIATELY UPSTREAM OF STORM DRAIN INLETS AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES. THE CONTRACTOR SHALL INSURE WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. THE CONTRACTOR SHALL MAINTAIN EQUIPMENT AND WORKERS FOR EMERGENCY WORK AT ALL TIMES DURING THE RAINY SEASON. MATERIALS NECESSARY FOR EMERGENCY MEASURES SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY/COUNTY/STATE ENGINEER OR RESIDENT ENGINEER FOLLOWING ANY RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HERON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. UPON COMPLETION OF WORK EACH DAY, GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. GRADING, INCLUDING CLEARING AND GRUBBING SHALL ONLY BE CONDUCTED IN AREAS WHERE THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/DEDIMENT CONTROL MEASURES.

ROW GROUND CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL REMOVE/CLEAN ALL DEBRIS, NAILS, STAPLES, OR NON-USED VERTICALS OFF THE POLE.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH MUNICIPAL, COUNTY, STATE, AND FEDERAL STANDARDS AND REGULATIONS.
 3. THE CONTRACTOR SHALL CALL LOCAL UNDERGROUND LOCATE SERVICE THREE WORKING DAYS BEFORE ANY CONSTRUCTION IS STARTED.
 4. ALL EXISTING LANDSCAPING SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
 5. ALL EQUIPMENT SHALL BE BONDED.
 6. IF A METERING CABINET IS INSTALLED, A MINIMUM 3' CLEARANCE IS REQUIRED AT DOOR OPENING.
 7. IF A METERING CABINET IS INSTALLED, THE CONTRACTOR SHALL CAULK THE CABINET BASE AT THE PAD.
- STANDARD GROUNDING NOTES:**
1. GROUND SHALL BE TESTED AT 25 OHMS OR LESS.
 2. GROUND RODS SHALL BE 5/8"x8'. ATTACHMENT TO GROUND RODS SHALL BE EXOTHERMIC WELD OR UL LISTED DIRECT BURY CLAMP BELOW GRADE.
 3. BURIED GROUND AND BONDING WIRE SHALL BE #6 AWG.
 4. MOLDING SHALL BE STAPLED EVERY 1' AND AT EACH END.

STANDARD CONDUIT NOTES:

1. SCHEDULE 40 CONDUIT SHALL BE USED UNDERGROUND.
2. SCHEDULE 80 CONDUIT SHALL BE USED FOR RISERS.
3. RISERS SHALL BE ATTACHED TO POLE WITH STANDARD U-CLAMPS AND LAG SCREWS.
4. RISER U-CLAMPS TO BE INSTALLED EVERY 5'.
5. FOR UG POWER INSTALLATIONS, 2" SDR-11 RED CONDUIT SHALL BE UTILIZED.
6. GROUND WIRE MOLDING STAPLES MAY BE BE UTILIZED FOR ATTACHING CONDUIT LESS THAN 1" DIAMETER.
7. ALL CONDUIT SHALL BE PROOFED WITH A MANDREL AND EQUIPPED WITH A PULL ROPE OR MULE TAPE.

STANDARD TRENCHING NOTES:

1. A MINIMUM OF 2'-6" OF COVER SHALL BE MAINTAINED OVER ALL ELECTRICAL CONDUITS.
2. A MINIMUM OF 4'-0" OF COVER SHALL BE MAINTAINED OVER ALL COMMUNICATIONS CONDUITS.
3. IN STREETS, SLURRY TO GRADE AND MILL DOWN 1-1/2" FOR AC CAP.
4. IN DIRT, SLURRY TO 18" FROM GRADE AND FILL WITH 95% COMPACTION NATIVE SOIL FOR BALANCE.
5. WARNING TAPE SHALL BE INSTALLED 1'-0" ABOVE ALL CONDUITS. #18 WARNING TAPE SHALL BE INSTALLED ABOVE GROUND RING.

ROW UTILITY POLE CONSTRUCTION NOTES:

1. BOLT THREADS SHALL NOT PROTRUDE MORE THAN 1-1/2".
2. HOLES LEFT IN POLE DUE TO REARRANGEMENT OF CLIMBERS SHALL BE FILLED.
3. CLIMB STEPS ADJACENT TO CONDUIT SHALL HAVE EXTENDED STEPS.
4. CABLE SHALL NOT IMPEDE 15" CLEAR SPACE OFF POLE FACE (12:00).
5. 90° SHORT SWEEPS SHALL BE USED UNDER ANTENNA ARM. CABLES MUST TRANSITION ON THE INSIDE OR BOTTOM OF ARMS. (NO CABLE SHALL BE INSTALLED ON TOP OF ARMS.)
6. CABLE CLAMPS SHALL BE UTILIZED TO SECURE CABLE TO ARMS; 2" CARRIER CABLE ID TAGS SHALL BE PLACED ON BOTH SIDES OF ARMS.
7. UTILIZE A 90° CONNECTOR AT CABLE CONNECTION TO ANTENNA.
8. 1/2" CABLE TO BE UTILIZED UNLESS NOTED OTHERWISE.
9. VOIDS AROUND CABLES AT CONDUIT OPENINGS SHALL BE FILLED WITH FOAM SEALANT TO PREVENT WATER INTRUSION.



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A	01/16/2020	90% CD	AMC
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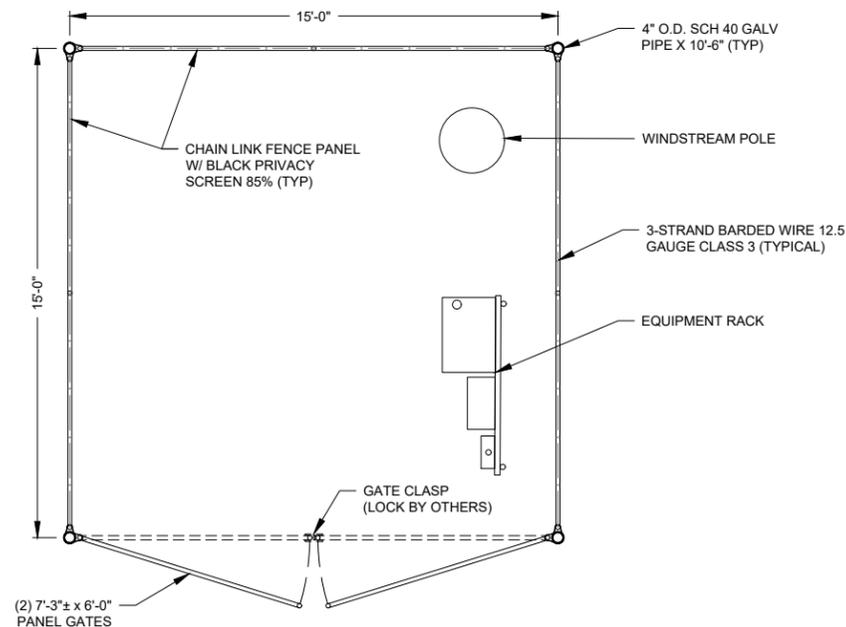
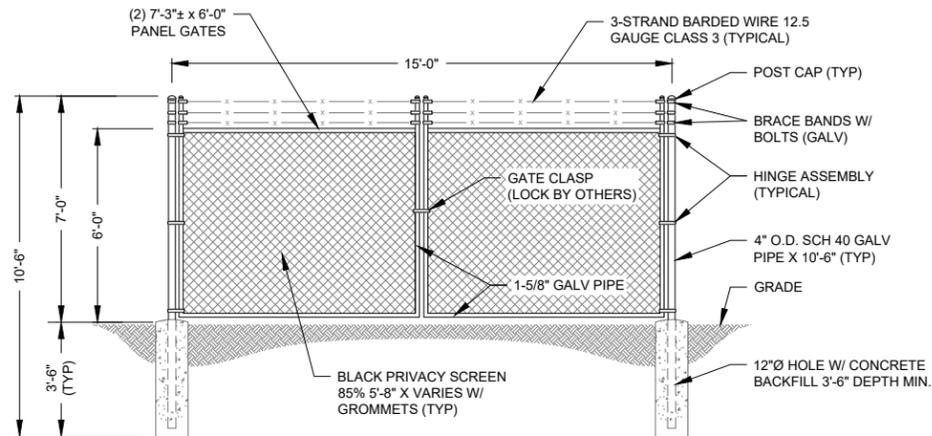
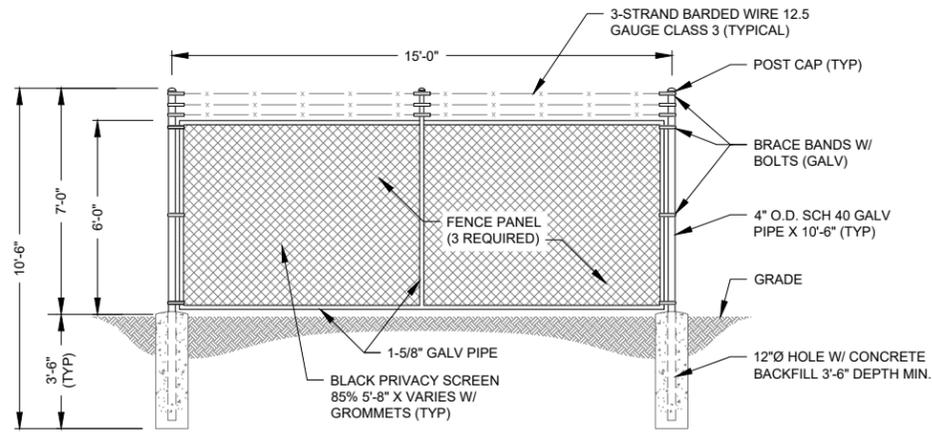


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STORY COUNTY

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
T-2



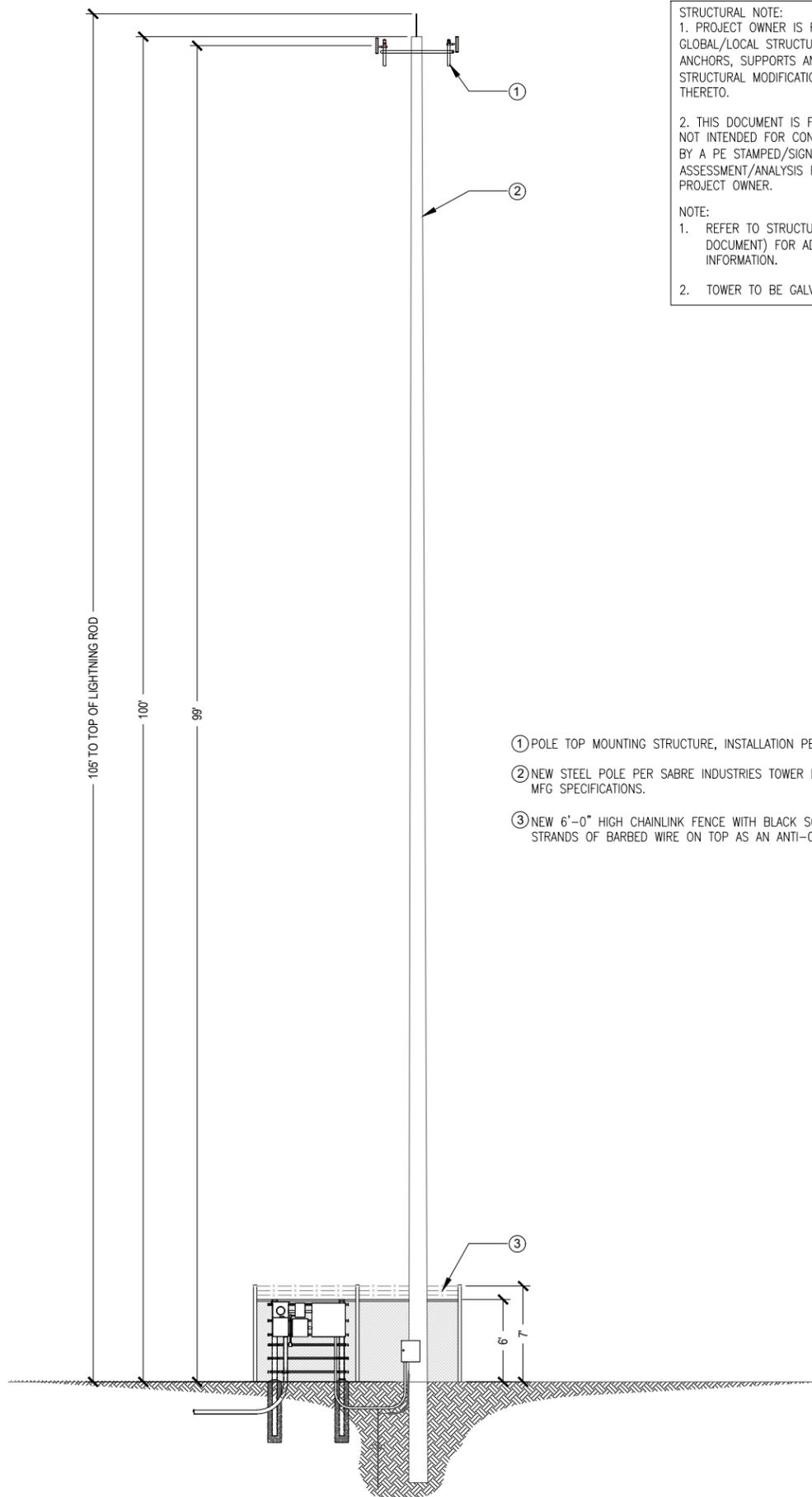
NOTE:
ORIENTATION SHOWN FOR
REFERENCE ONLY, SEE SHEET C-1
FOR LOCATION OF GATE.

FENCE DETAILS

22"x34" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"

1

NEW STRUCTURE ELEVATION



- ① POLE TOP MOUNTING STRUCTURE, INSTALLATION PER POLE MFG SPECIFICATIONS.
- ② NEW STEEL POLE PER SABRE INDUSTRIES TOWER DESIGN. TO BE ERECTED PER MFG SPECIFICATIONS.
- ③ NEW 6'-0" HIGH CHAINLINK FENCE WITH BLACK SCREEN MATERIAL AND 3 STRANDS OF BARBED WIRE ON TOP AS AN ANTI-CLIMB APPARATUS.

STRUCTURAL NOTE:
1. PROJECT OWNER IS RESPONSIBLE FOR PROVIDING A GLOBAL/LOCAL STRUCTURAL ANALYSIS OF EQUIPMENT ANCHORS, SUPPORTS AND DESIGN/DETAILING OF ANY STRUCTURAL MODIFICATIONS/REINFORCEMENT REQUIRED THERETO.
2. THIS DOCUMENT IS FOR PERMITTING ONLY AND IS NOT INTENDED FOR CONSTRUCTION UNLESS ACCOMPANIED BY A PE STAMPED/SIGNED STRUCTURAL ASSESSMENT/ANALYSIS REPORT AS PROVIDED BY THE PROJECT OWNER.
NOTE:
1. REFER TO STRUCTURAL ANALYSIS REPORT (SEPARATE DOCUMENT) FOR ADDITIONAL STRUCTURAL INFORMATION.
2. TOWER TO BE GALVANIZED STEEL FINISH

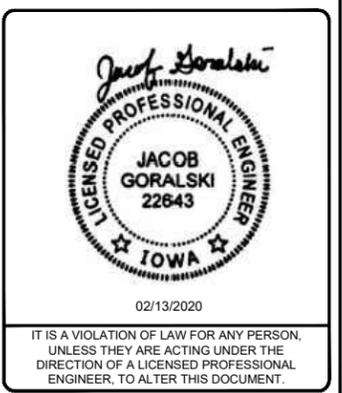
22"x34" SCALE: 3/16" = 1'-0"
11"x17" SCALE: 3/32" = 1'-0"

2



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SHEET TITLE
**ELEVATION
DETAILS**

SHEET NUMBER
C-2



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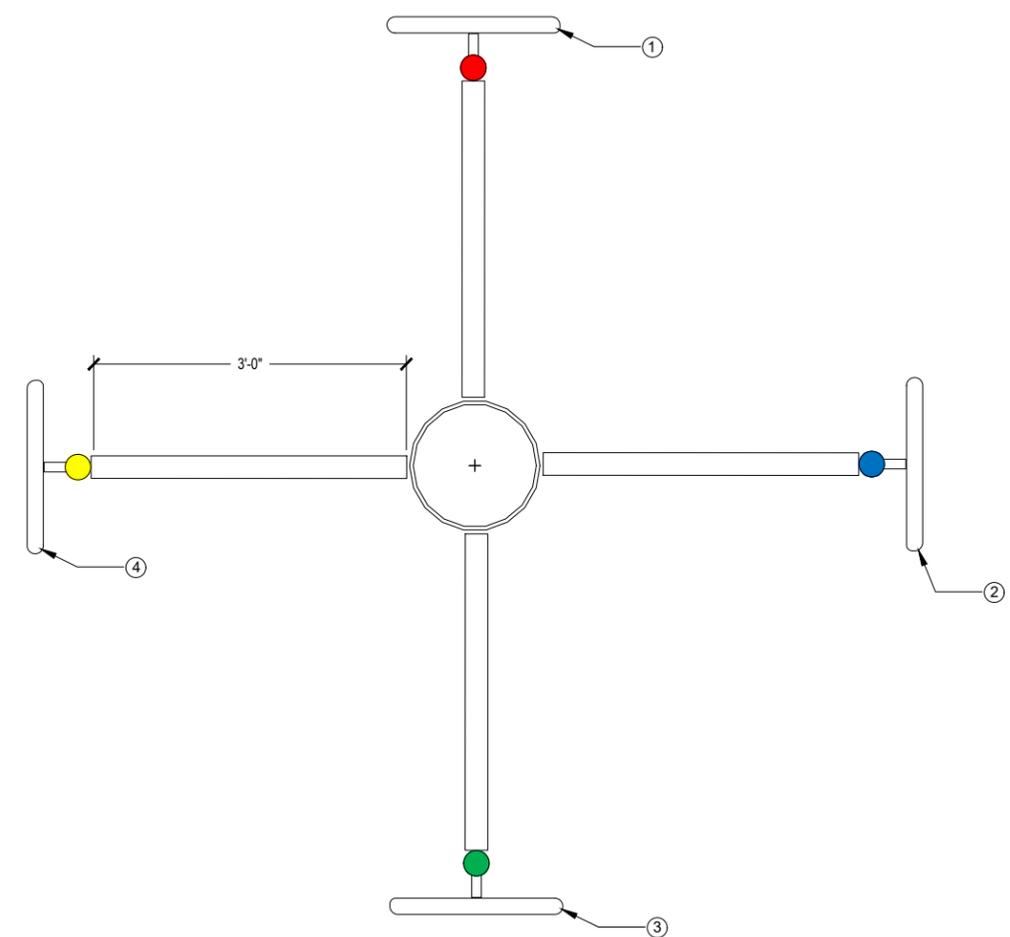


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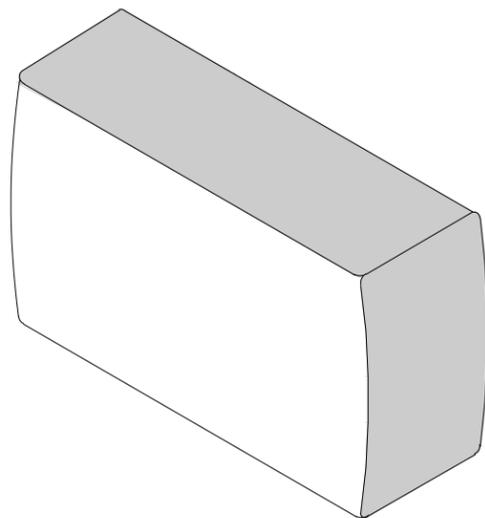
SHEET TITLE
**ANTENNA LAYOUT
DETAILS**

SHEET NUMBER
C-3

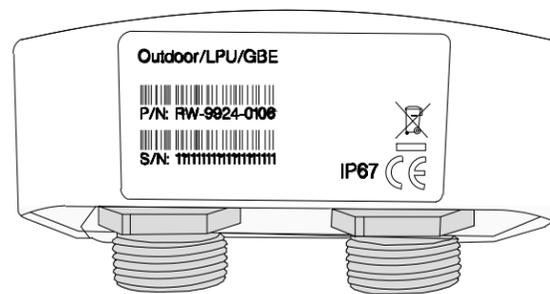


- ① AZIMUTH 01 (0° NORTH) HAS A SINGLE BS AT 99°ACL, 0° AZIMUTH WITH 0° PHYSICAL DOWN TILT AND PROVISIONED WITH A 40 MHZ WIDE CHANNEL IN THE 5.8 GHZ RANGE (SEE RFDS FOR SPECIFIC FREQUENCY. AZIMUTH 01 (NORTH) IS LABELED WITH RED TAPE, THE TOP OF THE PIPE IS MARKED WITH A SINGLE WRAP OF RED TAPE. THE BS SHOULD HAVE A SINGLE WRAP OF RED TAPE ON EACH END OF THE FOLLOWING CABLES; THE JUMPER CABLE BETWEEN THE LPU AND THE BS, THE VERTICAL CABLE RUN BETWEEN THE TOP LPU AND THE BOTTOM LPU AND THE JUMPER BETWEEN THE BOTTOM LPU AND POE SWITCH PORT.
- ② AZIMUTH 02 (90° EAST) HAS A SINGLE BS AT 99°ACL, 90° AZIMUTH WITH 0° PHYSICAL DOWN TILT AND PROVISIONED WITH A 40 MHZ WIDE CHANNEL IN THE 5.8 GHZ RANGE (SEE RFDS FOR SPECIFIC FREQUENCY. AZIMUTH 02 (EAST) IS LABELED WITH BLUE TAPE, THE TOP OF THE PIPE IS MARKED WITH A SINGLE WRAP OF BLUE TAPE. THE BS SHOULD HAVE A SINGLE WRAP OF BLUE TAPE ON EACH END OF THE FOLLOWING CABLES; THE JUMPER CABLE BETWEEN THE LPU AND THE BS, THE VERTICAL CABLE RUN BETWEEN THE TOP LPU AND THE BOTTOM LPU AND THE JUMPER BETWEEN THE BOTTOM LPU AND POE SWITCH PORT.
- ③ AZIMUTH 03 (180° SOUTH) HAS A SINGLE BS AT 99°ACL, 180° AZIMUTH WITH 0° PHYSICAL DOWN TILT AND PROVISIONED WITH A 40 MHZ WIDE CHANNEL IN THE 5.8 GHZ RANGE (SEE RFDS FOR SPECIFIC FREQUENCY. AZIMUTH 04 (WEST) IS LABELED WITH GREEN TAPE, THE TOP OF THE PIPE IS MARKED WITH A SINGLE WRAP OF GREEN TAPE. THE BS SHOULD HAVE A SINGLE WRAP OF GREEN TAPE ON EACH END OF THE FOLLOWING CABLES; THE JUMPER CABLE BETWEEN THE LPU AND THE BS, THE VERTICAL CABLE RUN BETWEEN THE TOP LPU AND THE BOTTOM LPU AND THE JUMPER BETWEEN THE BOTTOM LPU AND POE SWITCH PORT.
- ④ AZIMUTH 04 (270° WEST) HAS A SINGLE BS AT 99°ACL, 270° AZIMUTH WITH 0° PHYSICAL DOWN TILT AND PROVISIONED WITH A 40 MHZ WIDE CHANNEL IN THE 5.8 GHZ RANGE (SEE RFDS FOR SPECIFIC FREQUENCY. AZIMUTH 04 (WEST) IS LABELED WITH YELLOW TAPE, THE TOP OF THE PIPE IS MARKED WITH A SINGLE WRAP OF YELLOW TAPE. THE BS SHOULD HAVE A SINGLE WRAP OF YELLOW TAPE ON EACH END OF THE FOLLOWING CABLES; THE JUMPER CABLE BETWEEN THE LPU AND THE BS, THE VERTICAL CABLE RUN BETWEEN THE TOP LPU AND THE BOTTOM LPU AND THE JUMPER BETWEEN THE BOTTOM LPU AND POE SWITCH PORT.





BASE STATION	
MANUF:	RADWIN
PART #:	RW-5BG5-0649
HEIGHT:	8.86"
WIDTH:	14.01"
DEPTH:	3.7"
WEIGHT:	7.28 LBS



FRONT VIEW

LIGHTNING PROTECTION	
MANUF:	RADWIN
PART #:	RW-9924-0106
HEIGHT:	2.04"
WIDTH:	3.87"
DEPTH:	1.88"
WEIGHT:	0.49 LBS



CABINET	
MANUF:	WESTELL
PART #:	BXM1019-NHE3
HEIGHT:	22.5"
WIDTH:	25.5"
DEPTH:	27.8"
WEIGHT:	70.00 LBS



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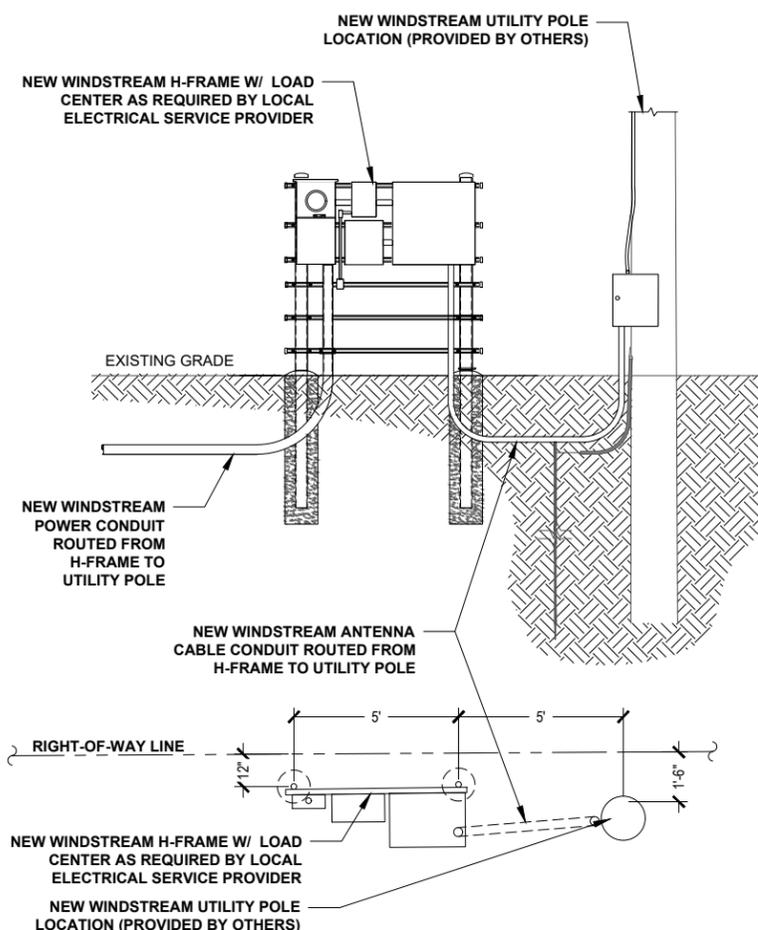
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RADWIN BASE STATION

1 LIGHTNING PROTECTOR

2 WESTELL BOXER OUTDOOR CABINET

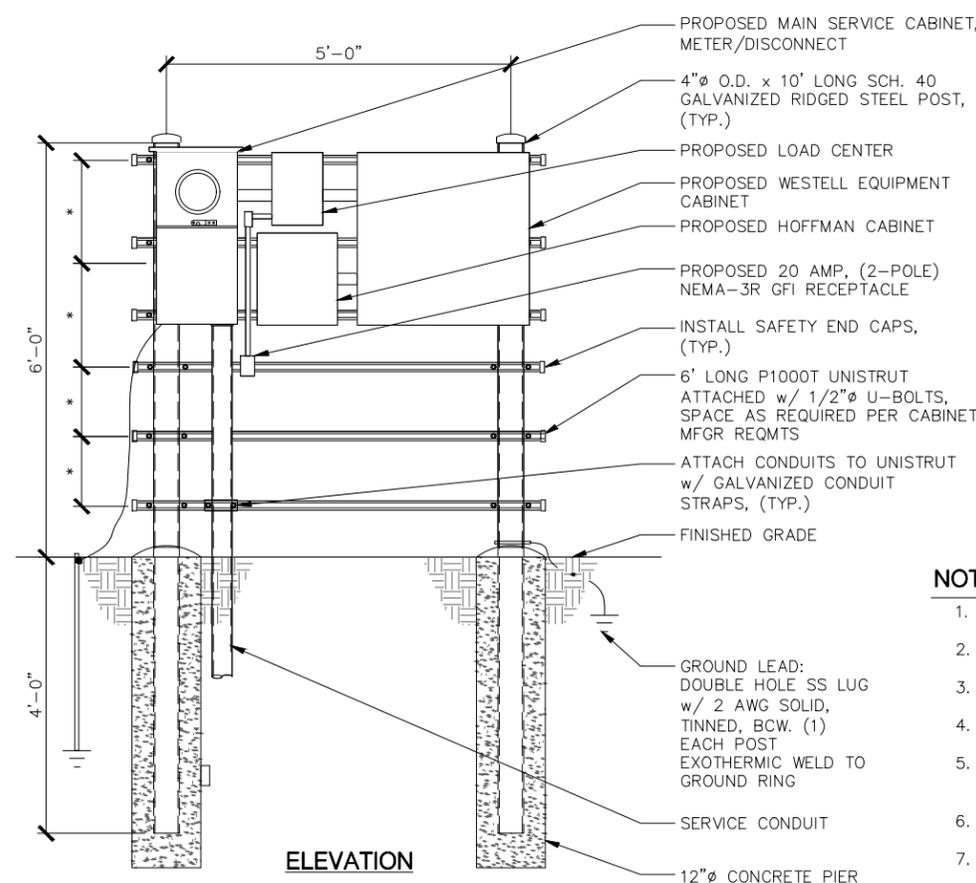
3



DETAIL RACK ELEVATION

4 H-FRAME DETAIL

5



NOTES:

- *- COORDINATE ELEVATIONS WITH EQUIPMENT/MOUNTING HEIGHT.
- STEEL SHALL BE HOT DIP GALVANIZED.
- CABINETS SHALL BE MOUNTED WITH STAINLESS STEEL BOLTS.
- METAL POSTS ARE NOT ALLOWED TO SERVE AS EQUIPMENT GROUNDING CONDUCTOR.
- UNISTRUT SHALL NOT EXTEND BEYOND POST & MUST HAVE SAFETY END CAPS FOR SAFETY REASONS.
- METALLIC PARTS SHALL BE BONDED ACCORDING TO THE NEC.
- GROUNDING SHALL CONFORM TO NEC AND SECTION 436-439.



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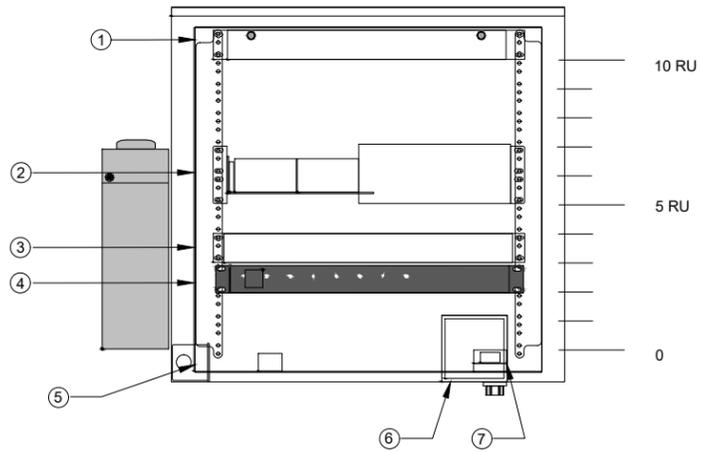
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STORY COUNTY

**SHEET TITLE
EQUIPMENT
DETAILS**

SHEET NUMBER

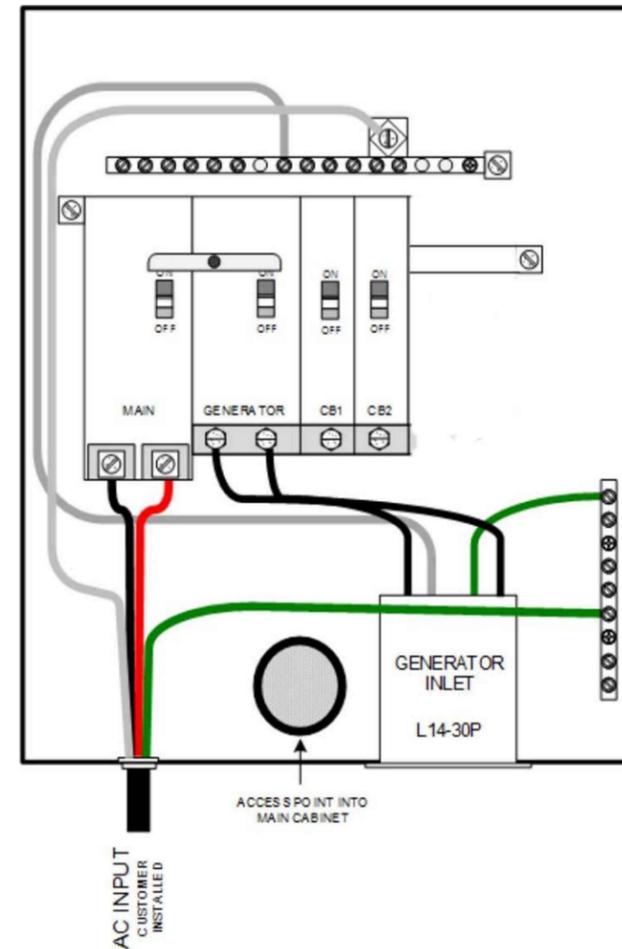
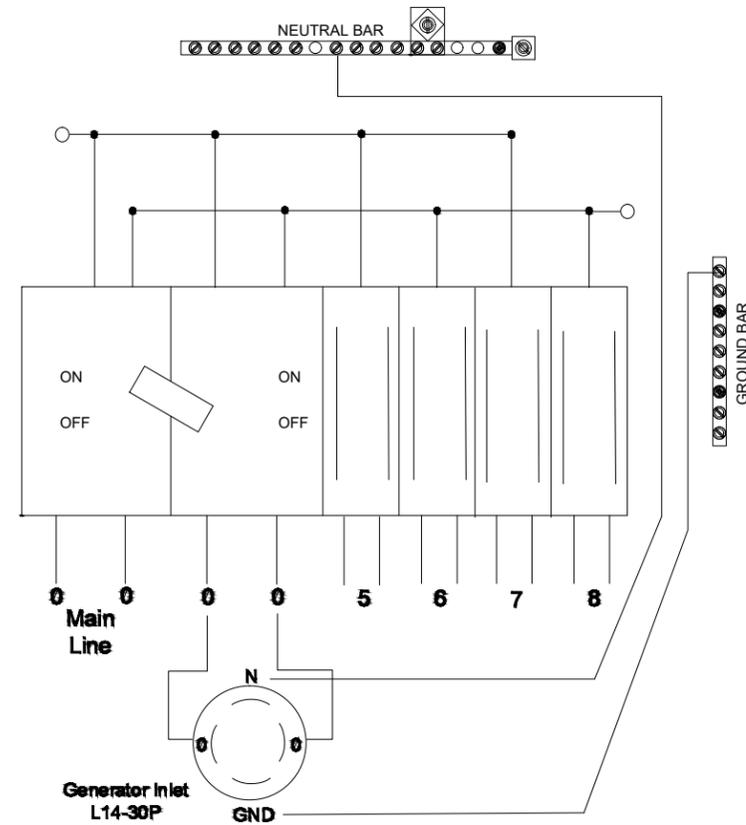
D-1



- ① LOCATION OF THE CORNING FIBER MANAGEMENT TRAY
- ② LOCATION OF THE ALCATEL-LUCENT OMI SWITCH
- ③ LOCATION OF THE ALPHA CORDEX RECTIFIER
- ④ LOCATION OF THE AC PDU
- ⑤ LOCATION OF THE DUPLEX GFCI OUTLET
- ⑥ LOCATION OF THE 2-GANG ELECTRICAL BOX
- ⑦ LOCATION OF THE DOOR SWITCH ASSEMBLY

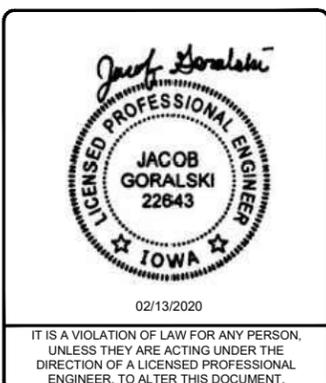
CABINET DETAIL

1



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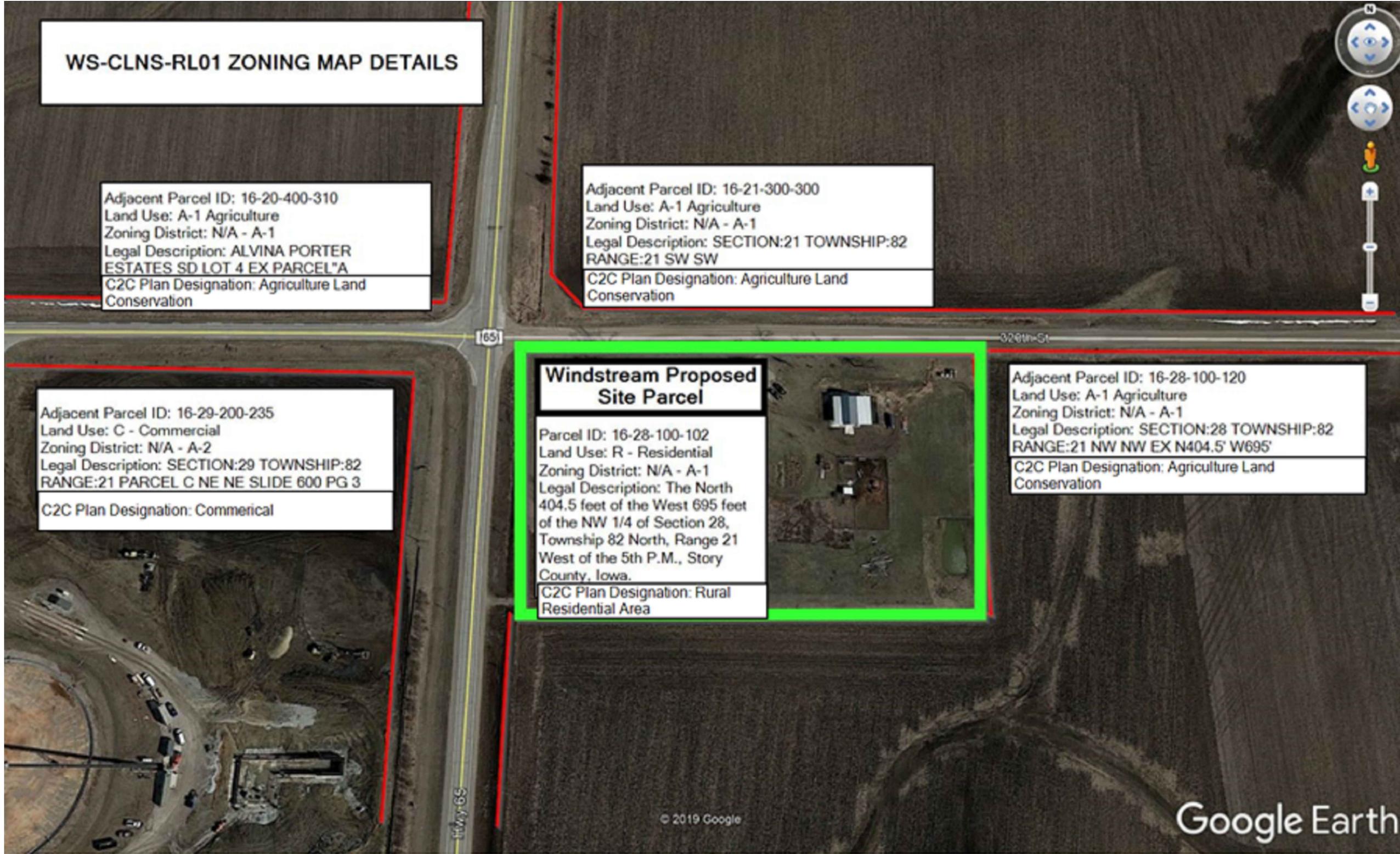
SHEET TITLE
ELECTRICAL & GROUNDING DETAILS

SHEET NUMBER
E-1

NOT USED

2 LOAD CENTER

3



WS-CLNS-RL01 ZONING MAP DETAILS

Adjacent Parcel ID: 16-20-400-310
 Land Use: A-1 Agriculture
 Zoning District: N/A - A-1
 Legal Description: ALVINA PORTER ESTATES SD LOT 4 EX PARCEL "A"
 C2C Plan Designation: Agriculture Land Conservation

Adjacent Parcel ID: 16-21-300-300
 Land Use: A-1 Agriculture
 Zoning District: N/A - A-1
 Legal Description: SECTION:21 TOWNSHIP:82 RANGE:21 SW SW
 C2C Plan Designation: Agriculture Land Conservation

Adjacent Parcel ID: 16-29-200-235
 Land Use: C - Commercial
 Zoning District: N/A - A-2
 Legal Description: SECTION:29 TOWNSHIP:82 RANGE:21 PARCEL C NE NE SLIDE 600 PG 3
 C2C Plan Designation: Commerical

Windstream Proposed Site Parcel
 Parcel ID: 16-28-100-102
 Land Use: R - Residential
 Zoning District: N/A - A-1
 Legal Description: The North 404.5 feet of the West 695 feet of the NW 1/4 of Section 28, Township 82 North, Range 21 West of the 5th P.M., Story County, Iowa.
 C2C Plan Designation: Rural Residential Area

Adjacent Parcel ID: 16-28-100-120
 Land Use: A-1 Agriculture
 Zoning District: N/A - A-1
 Legal Description: SECTION:28 TOWNSHIP:82 RANGE:21 NW NW EX N404.5' W695'
 C2C Plan Designation: Agriculture Land Conservation



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 STORY COUNTY

SHEET TITLE
ZONING CLASSIFICATIONS

SHEET NUMBER
Z-1



RADWIN 5000 PtMP

Ride the RADWIN 5000 PtMP Wireless Highway

RADWIN 5000 is a Point-to-Multipoint (PtMP) solution with a unique air interface that ensures robust performance in harsh spectrum conditions.

This cost-effective solution delivers up to 250 Mbps and is greatly suitable for last mile enterprise and residential connectivity in rural and low-density areas when budget is limited.

RADWIN 5000 Highlights

- » OFDM, MIMO 2x2 / Diversity enables real nLOS deployment
- » Multi-Band Capabilities - All in a Single Unit
- » Fixed and Nomadic capabilities
- » Full Span of Asymmetric Traffic
- » Coexists with RADWIN's PtP and PtMP solutions

RADWIN 5000 Base Stations

- » Up to 250 Mbps per base station sector
- » Guaranteed SLA/Best-Effort
- » Long range – 40 Km / 25 miles
- » Low and constant latency
- » IP67 certified

RADWIN 5000 Subscriber Units

- » High-capacity SUs – up to 250 Mbps
- » Pay-as-you-grow capacity
- » Various antenna configurations
- » Small form factor for low visual impact
- » Innovative operational simplicity



RADWIN 5000 Applications

CARRIERS & ISPS

RADWIN 5000 PtMP is an excellent revenue generator for carriers and ISPs that are looking to deploy last mile enterprise connectivity and deliver high-capacity broadband access to end users.

Carriers can leverage RADWIN 5000 PtMP capabilities and nLOS outstanding performance to backhaul wireless and landline access systems such as Wi-Fi hot spots.



GOVERNMENT & ENTERPRISE NETWORKS

RADWIN 5000 PtMP offers exclusive wireless broadband infrastructure for government and enterprise networks to dramatically reduce their total cost of ownership when implementing the following applications:

- » Connectivity of high resolution video surveillance
- » Wide range inter-office connectivity
- » Mission critical broadband applications





RADWIN 5000 Base Stations

RADWIN 5000 Base Station is a high capacity OFDM / MIMO 2x2 outdoor Base Station unit that can cover a single sector in MIMO mode, using dual polarized antenna, or dual sectors when working with two single-polarized antennas. It enables TDD synchronization of all collocated sectors within a site and between base stations located in different sites. This synchronization prevents mutual interference between closely situated radio units and saves tower space and spectrum.

RADWIN 5000 Base Stations portfolio supports fixed and nomadic applications, providing varying levels of capacity: 50, 100 and 250 Mbps.

Two versions of RADWIN 5000 Base Stations are available:

- » RADWIN 5000 BS-AIR (5.X GHz) supporting Best effort service
- » RADWIN 5000 BS-PRO (5.x GHz /3.x GHz) also enables to offer SLA for bandwidth-demanding applications based on Committed Information Rate (CIR)

RADWIN 5000 Subscriber Units

RADWIN's powerful Subscriber Units (SUs) deliver fiber-like connectivity with high Packet-Per-Second (PPS) processing power to maintain highest capacity even in small packet applications.

Designed for low visual impact, RADWIN's ruggedized SUs assure long lasting operation even in the harshest conditions. Innovative operational simplicity concepts and cutting-edge technology streamline operations and maintenance procedures.

High-capacity subscriber units (4.9 - 5.9 GHz)

- » Pay-as-you-grow 25 up to 250Mbps
- » Multiple antenna configurations
- » High durability – IP 66/IP67 enclosure
- » Compatible with all RADWIN base stations
- » Available Models:
 - › SU-AIR: Designed for residential subscribers
 - › SU-PRO: Offers SLA for enterprise and bandwidth-demanding applications, based on CIR



High-capacity subscriber units (3.3 - 3.8 GHz / 3.65 GHz)

- » Pay-as-you-grow 25 up to 100Mbps
- » Available as connectorized unit or with integrated antenna
- » High durability – IP 67 enclosure
- » Available Models:
 - › HSU-R: Designed for residential subscribers
 - › HSU: Offers SLA for enterprise and bandwidth-demanding applications, based on CIR



Innovative operational simplicity

Smartphone installation application

RADWIN SU series includes a smartphone app designed to speed up and simplify installation.

WINTouch APP

Enables automated installation, alignment & commissioning

Simple, fast and precise installation



Multiple antenna configurations

RADWIN SU series includes an embedded antenna and is compatible with RADWIN's new and innovative slide-on antenna to achieve greater range. An option for third-party external antennas is also available.

TurboGain™ antenna

Slide-on antenna

Doubles the service range



Product specifications (See individual Product Data Sheets for detailed spec.)

Maximum Net Aggregate Capacity

	Base station	High-Capacity Subscriber Units
4.9 - 5.9 GHz	250 Mbps	SU <i>AIR</i> – Up 100Mbps, SU <i>PRO</i> – Up to 250Mbps
3.3 - 3.8 GHz, 3.65 GHz		10, 25, 50 Mbps, upgradable to 100Mbps

Antenna Configurations

4.9 - 5.9 GHz	11dBi, 13dBi, Connectorized	16dBi, 22dBi, Connectorized
3.3 - 3.8 GHz, 3.65 GHz	Connectorized	13dBi, 20dBi, Connectorized

Radio

Number of SUs / HBS	Up to 32 SUs simultaneously
Range	Up to 40 km / 25 miles
Frequency Bands	Multiband radio supporting 4.9 - 5.9 GHz or 3.3-3.8 / 3.65 GHz /2.3-2.5 GHz
Channel Bandwidth	5.x GHz- Configurable: 10, 20, 40 MHz, 3.x GHz: 5, 7, 10, 14, 20, 40MHz
Radio Access scheme	OFDM, Auto MIMO 2x2 or Diversity per SU
Adaptive Modulation & Coding	BPSK/QPSK/QAM16/QAM64
SLA management	CIR, MIR, Best-Effort
End to End Latency	Typical: 3.5msec
Duplex Technology	TDD, Configurable Uplink / Downlink ratio
Max Tx Power	HBS : 25dBm @ 5.x GHz, 25dBm@ 3.x GHz (in all modulation schemes) HSU: 25dBm, SU (embedded) 24dBm, SU (integrated) 26dBm
DFS (FCC & ETSI)	Supported
Spectrum Viewer	Supported at HBS & SU/ HSU
TDD Synchronization	Inter & Intra site synchronization, using GSU
Encryption	AES 128

Interfaces

Ethernet Interface	HBS: Single port for Data & management, 10/100/1000BaseT, SU: 10/100/1000BaseT
--------------------	--

Networking

Sub convergence layer	Layer 2
QoS	Packet classification to 4 queues according to 802.1p and Diffserv, Strict Priority, TTL
VLAN	802.1Q, QinQ, 4094 VLANs

Management

Management Application	HBS: RADWIN Manager & Web based management, SU: Smartphone App.
Protocol	SNMPv1, SNMPv3, Telnet, HTTP, IPv4 & IPv6, RADIUS for AAA Server
NMS Application	RADWIN NMS (WINManage) or integration with 3rd party NMS system via standard MIBs

Power

Power Feeding	Provided over PoE interface
Power Consumption	HBS < 25W, SU (embedded) & HSU < 12W, SU (integrated) < 9W

Environmental

Operating Temperatures	-35°C to 60°C / -31°F to 140°F
Humidity	100% condensing HBS, HSU & SU (Integrated): IP67 SU (embedded): IP66

Radio Regulations FCC, IC, ETSI, WPC, MII

Safety FCC/IC (cTUVus), ETSI

EMC FCC, ETSI, CAN/CSA, AS/NZS





Memorandum of Understanding ("MOU") form revised 3/4/15

Work Order /JobTrac # _____ Exchange 17-CLNSIA,CMBRIA,MXWLIA,NEVDIA

Check one box: Funding by BU# _____ or, by CAF Funds

Landowner/s Donald S. and Lisa M. Moody

Phone/email 515-770-5754/ email - ds.moody1@hotmail.com

Mailing Address of Landowner/s 70064 320th Street Collins, IA 50055

Address of Easement Property, if different SAME AS ABOVE

Brief description of Easement (approx. size / facilities / location from intersection, etc.)

Located approximately 680ft East of US HWY 65 to include an approximate 680ft access and utility easement with a leased area of 15'x15' for pole and H-frame installation.

Payment ("consideration") amount offered by "Windstream" \$ _____

Subject to approval and signing of an Easement Agreement by Windstream management, Windstream is offering the amount stated above to the landowner/s to obtain an Easement Agreement for placing its communications facilities on the land described above.

Payment will be made to Landowner/s within 6 to 8 weeks of the last to occur:

- (1) Windstream and Landowner/s signing/notarizing an Easement Agreement;
- (2) Windstream's receiving a signed W-9 form with Landowner's Social Security Number;
- (3) Windstream's receipt of requested documents required to show the authority of the Landowner/s to sign.

Nothing in this "MOU" shall be deemed to obligate either the Landowner/s or Windstream to sign an Easement Agreement. If an Easement Agreement is not signed by both parties, then Windstream shall not have the right to use the property described above for its communications facilities and Windstream shall not pay any amount to the Landowner/s.

Signed this 21 day of January, 2020, by Landowner/s and
(print name) _____, representative of Windstream.

"corporate," */// If owner is*

Signature of Landowner Donald S. Moody

Signature of Landowner Lisa M. Moody

Signature of Windstream representative _____

WIN rep's phone number _____

Memorandum of Understanding #1 with funding source -- Revised 3/4/15

Additional Language to be added to Easement Agreement Grantee may terminate this easement at a future date and grantee will bear the responsibility of removing communications equipment and restoring the ground to its pre-construction condition, reasonable wear and tear excepted, and except for loss by casualty or other cause beyond Windstream Communication's control. In the event of such termination, the Easement shall be quitclaimed from Grantee to Grantor, without expense to Grantor, and any and all interest in Grantor's Land conveyed in this Easement shall automatically revert to Grantor or its assigns and successors, without the necessity of any further action to effect said